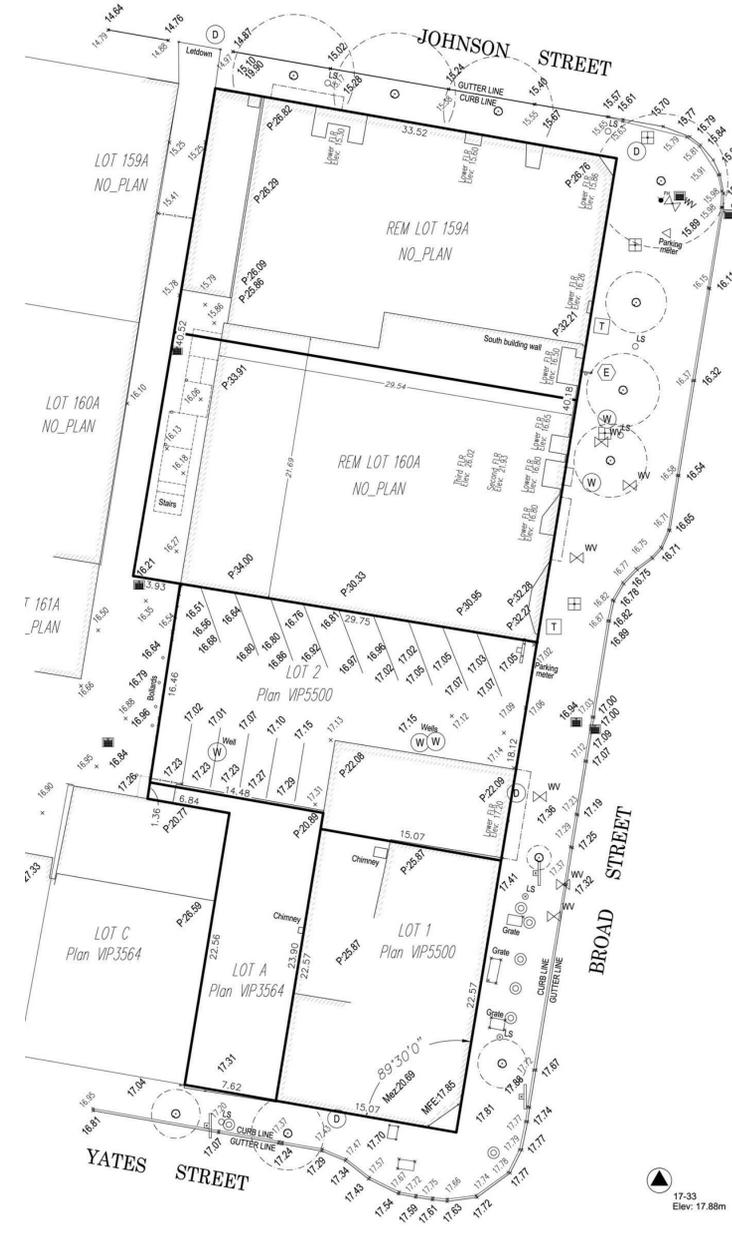
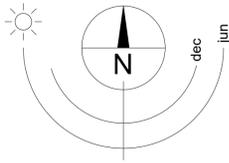


1 Context Aerial
A001 SCALE: N.T.S.



2 Context Survey Plan
A001 SCALE: N.T.S.



PROJECT DESCRIPTION

CIVIC ADDRESS:
1312-1324 BROAD STREET, VICTORIA, BC.

LEGAL DESCRIPTION:
LOT A OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5500, AND REM. LOT 160A ABD REM. LOT 160A.
VICTORIA DISTRICT

REGISTERED OWNER
University of Victoria
3800 Finnerty Rd
P.O. Box 3040 STN. SCC
Victoria, BC
V8W 3N7

DEVELOPER
CHARD DEVELOPMENT LTD
#500, 509 Richards Street
Victoria, BC
V6B 2Z6

Chris Mooi
tel: 604.558-7849
chris@charddevelopment.com

ARCHITECT
de Hoog & Kierulf architects
977 Fort Street
Victoria, BC
V8V 3K3

Charles Kierulf AIBC
tel: 250.658-3367
fax: 250.658-3397
crk@dhk.ca

STRUCTURAL CONSULTANT
RJC
220 - 645 Tyee Road
Victoria, BC
V9A 6X5

Clint Plett
tel: 250.386-7794
fax: 250.381-7900
cplett@rjc.ca

MECHANICAL CONSULTANT
AME Consulting Group
721 Johnson St.
Victoria, BC
V8W 1M8

ELECTRICAL CONSULTANT
Applied Engineering Solutions Ltd.
3rd Floor - 1815 Blanshard Street
Victoria, BC
V8T 5A4

Jay Singh
tel: 250.381-6121
fax: 250.381-6811
jsingh@appliedengineering.ca

LANDSCAPE ARCHITECT
Murdoch de Greeff Inc.
200-524 Cudluthel Rd.
Victoria, BC
V8Z 1G1

Scott Murdoch
tel: 250.412-2819
fax: 250.412-2892
scott@mdidesign.ca

CIVIL CONSULTANT
JE Anderson
4212 Glanford Ave.
Victoria, BC
V8Z 4B7

GEOTECHNICAL
Ryzuk Geotechnical
28 Crease Avenue
Victoria, BC
V8Z 1S3

Isabelle Maltais
tel: 250.475-3131
fax: 250.475-3611
isabelle@ryzuk.com

SURVEYOR
Explorer Land Survey Inc.
101 - 2610 Douglas St.
Victoria, BC
V8T 4M1

Kenneth Ng
tel: 250
fax: 250
kennet@explorersurvey.com

ENVELOPE
RJC
220 - 645 Tyee Road
Victoria, BC
V9A 6X5

Kevin Pickwick
tel: 250.386-7794
fax: 250.381-7900
kpickwick@rjc.ca

VICTORIA ZONING

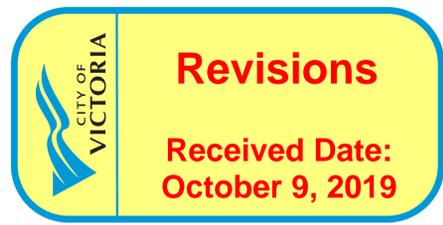
BUILDING DESCRIPTION:
6 STOREY HOTEL BUILDING

USES: RESIDENTIAL OCCUPANCY (HOTEL)

EXISTING ZONE: OTD-1 (2018)

PROPOSED ZONE: SITE SPECIFIC

DEVELOPMENT PERMIT AREA: DPA1 (HC) HISTORIC CORE



Broad Street Redevelopment

Site 1	
Civic Address	1312-1324 Broad St, Victoria, BC.
Legal Address	Rem Lot 159A + Rem Lot 160A + Lot 2 Plan VIP5500 + Part Part Lot A Plan VIP3564
Final Site Area (sm)	1,889
Final Gross Floor Area (sm)	8,252
Final FAR	4.37
Duck's Building Current Floor Area	2346
Duck's Building Retained Floor Area	2346
Total Floor Area (@ ground)	1650
Commercial Floor Area	796
Building Area Over City Property	
Site Coverage	87%
Open Site Space	13%
Average Grade	16.30
Height of Building	18.81
Number of Storys	6
Parking Stalls on Site (Req'd/Provided)	(36)/36
Bicycle Parking Long Term (Req'd/Provided)	(7)/8
Bicycle Parking Short Term (Req'd/Provided)	(10)/10
Building Setbacks	
Front Yard	0 M
Rear Yard	0 M
Side Yard	0 M
Side Yard	0 M
Combined Side Yard	0 M
Residential Use Details	
Total Number of Units	139
Unit Type	Hotel
Ground-Orientated Units	0
Min Unit Floor Area	24
Total Residential Floor Area	6600

LIST OF DRAWINGS

A001	Project Data	A304	West Elevations
A100	Site Survey	A401	Building Sections E-W
A101	Site Plan	A501	Site Context
A202	P1 Parking Plan	A502	Site Context
A203	Level 1	A503	Shadow Studies
A204	Level 2	A503A	Context Massing
A205	Level 2A	A504	Urban Context
A206	Level 3	A505	Urban Context
A207	Level 4	A506	Perspective Studies
A208	Level 5	A507	Perspective Studies
A209	Level 6	A508	Perspective Studies
A301	North Elevation	A509	Perspective Studies
A302	South Elevation	A510	Stone Wall
A303	East Elevation		

Rev	Date	Description	Revision 2
2	Oct-08-19	Revision 2	
1	Oct-08-19	Revision 1	

dhKa dhKarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

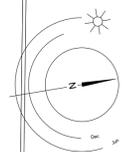
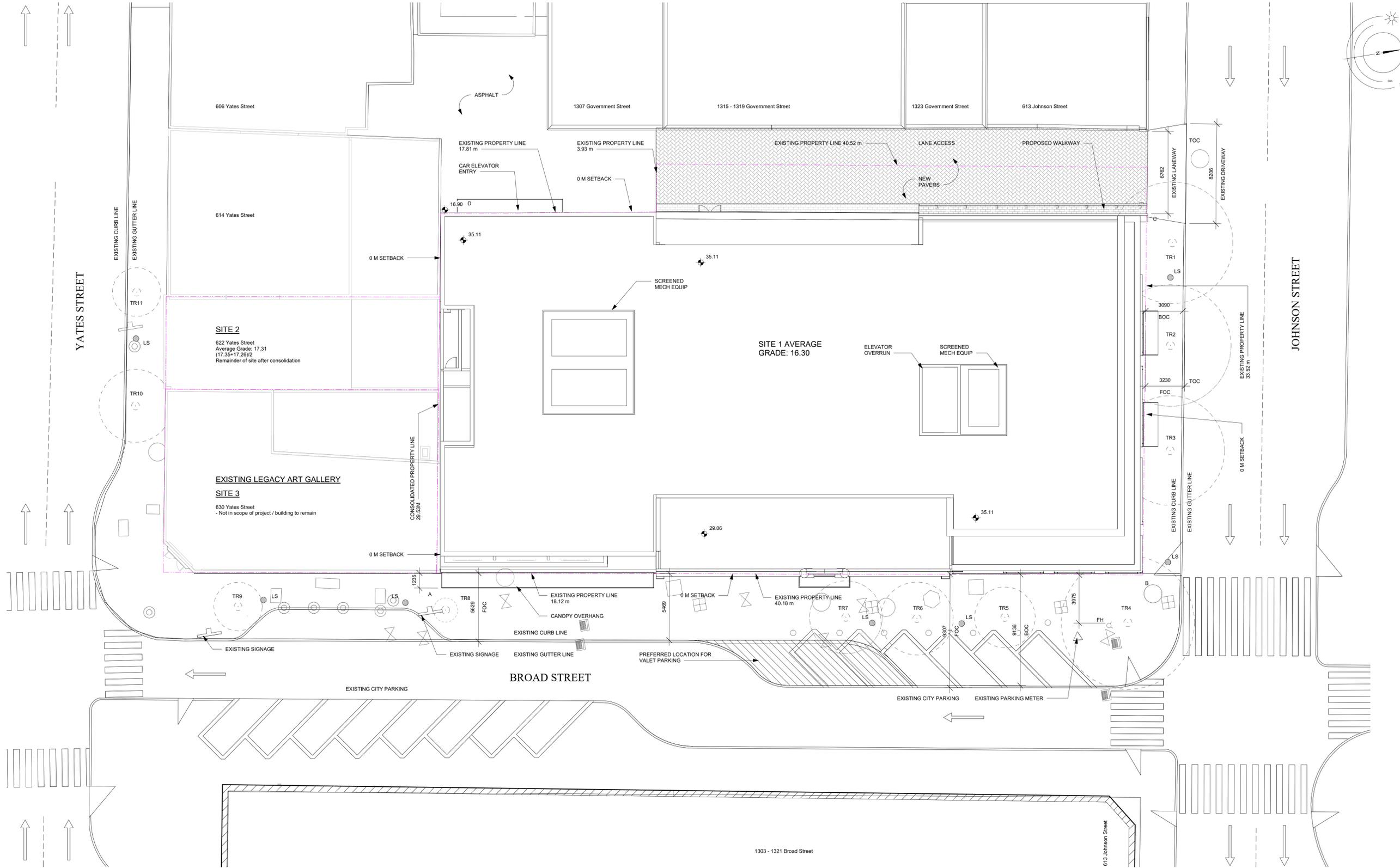
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V8T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

Project Data

drawing	A001	revision	2
---------	------	----------	---

NOTE: All dimensions are shown in millimeters.



1 Site Plan
A101 SCALE: 1 : 150

Average Grade					
Point	Point Value	Grade Points	Average of Points	Distance	
The Duck's Building Redevelopment					
A	17.33	A+B	16.60	57.70	957.53
B	15.86	B+C	15.49	29.30	453.86
C	15.12	C+D	16.01	57.70	923.78
D	16.90	D+A	17.12	29.30	501.47
Average Grade	16.30			Perimeter	Sum
				174.00	2836.64
Existing Duck's Building					
Point	Point Value	Grade Points	Average of Points	Distance	
A	17.02	A+B	16.44	40.31	662.70
B	15.86	B+C	15.49	29.30	453.86
C	15.12	C+D	15.74	40.31	634.48
D	16.36	D+A	16.69	29.30	489.02
Average Grade	16.09			Perimeter	Sum
				139.22	2240.05

Rev	Date	Issue	Revision
1			

dhKa dHKarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

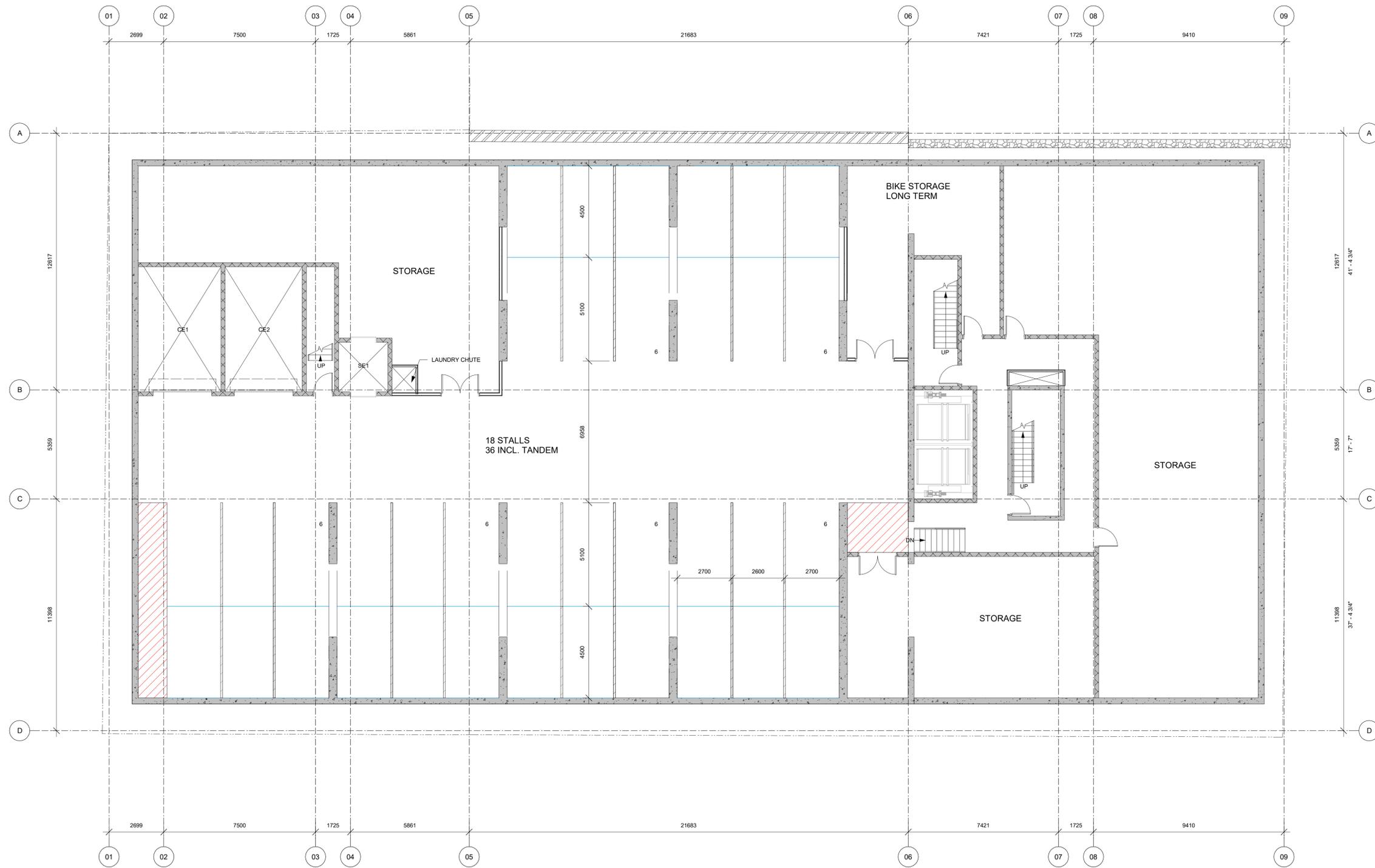
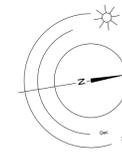
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC

Site Plan

sheet no. **A101** revision no. **1**

NOTE: All dimensions are shown in millimeters.



1 Parkade Lv 1 - Overall
A202 SCALE: 1 : 100

Rev	Date	Issue Date	Description	Revision 2
2	Oct-08-19	Oct-08-19	Revision 2	Revision 2

Author	Checked by	Checker

Scale: 1 : 100
Project Number: 1721

NOTE: All dimensions are shown in millimeters.

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

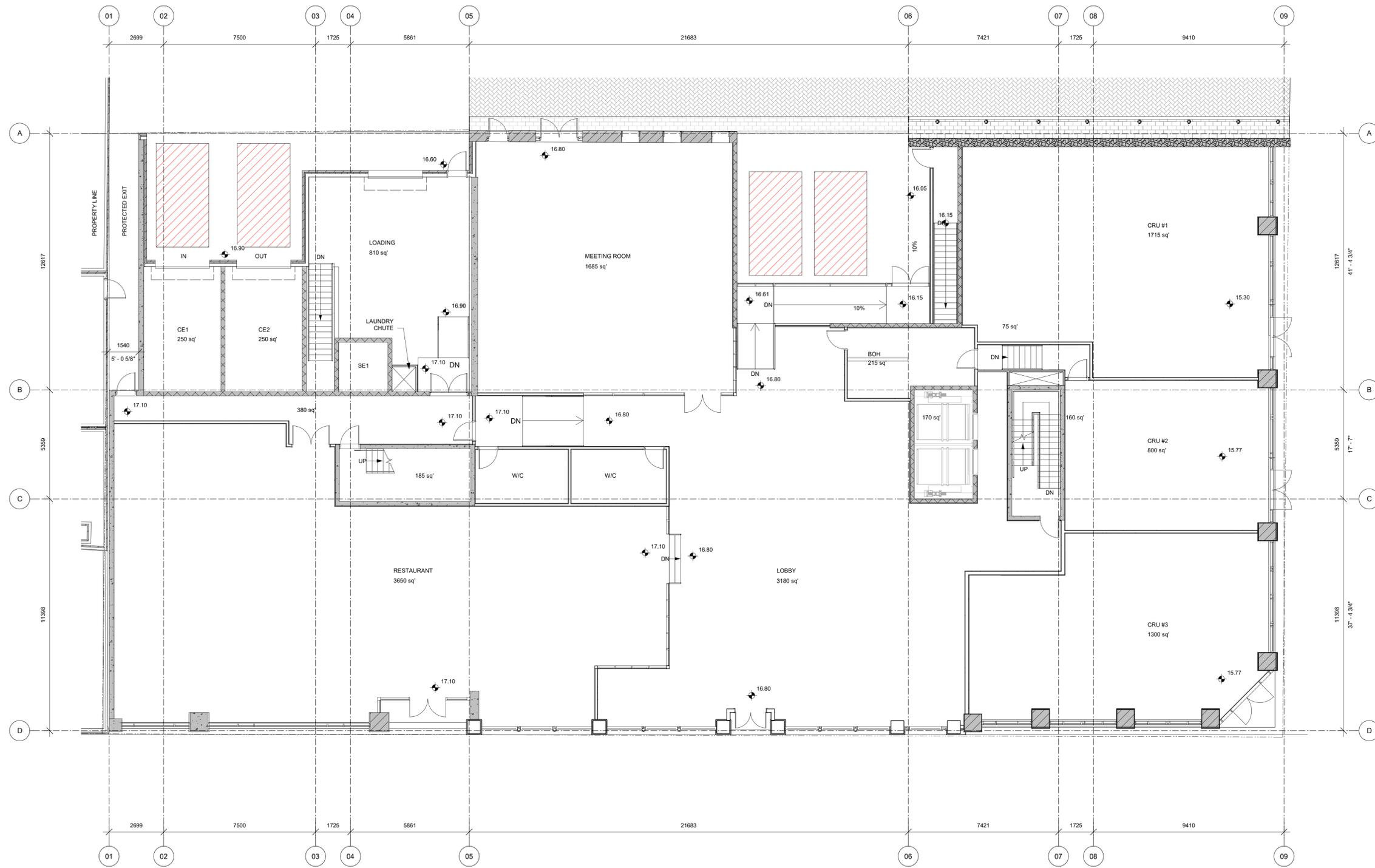
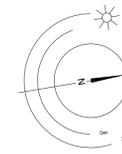
Project Name:
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

Project:
P1 Parking Plan

Sheet:
A202

Page:
2

Copyright Reserved: This is a legal document. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of dHk Architects.



2 Level 1 - Overall
A203 SCALE: 1 : 100

Rev	Date	Description	Revision 2
2	Oct-08-19	Revision 2	Revision 2
1	Oct-08-19	Revision 1	Revision 1

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

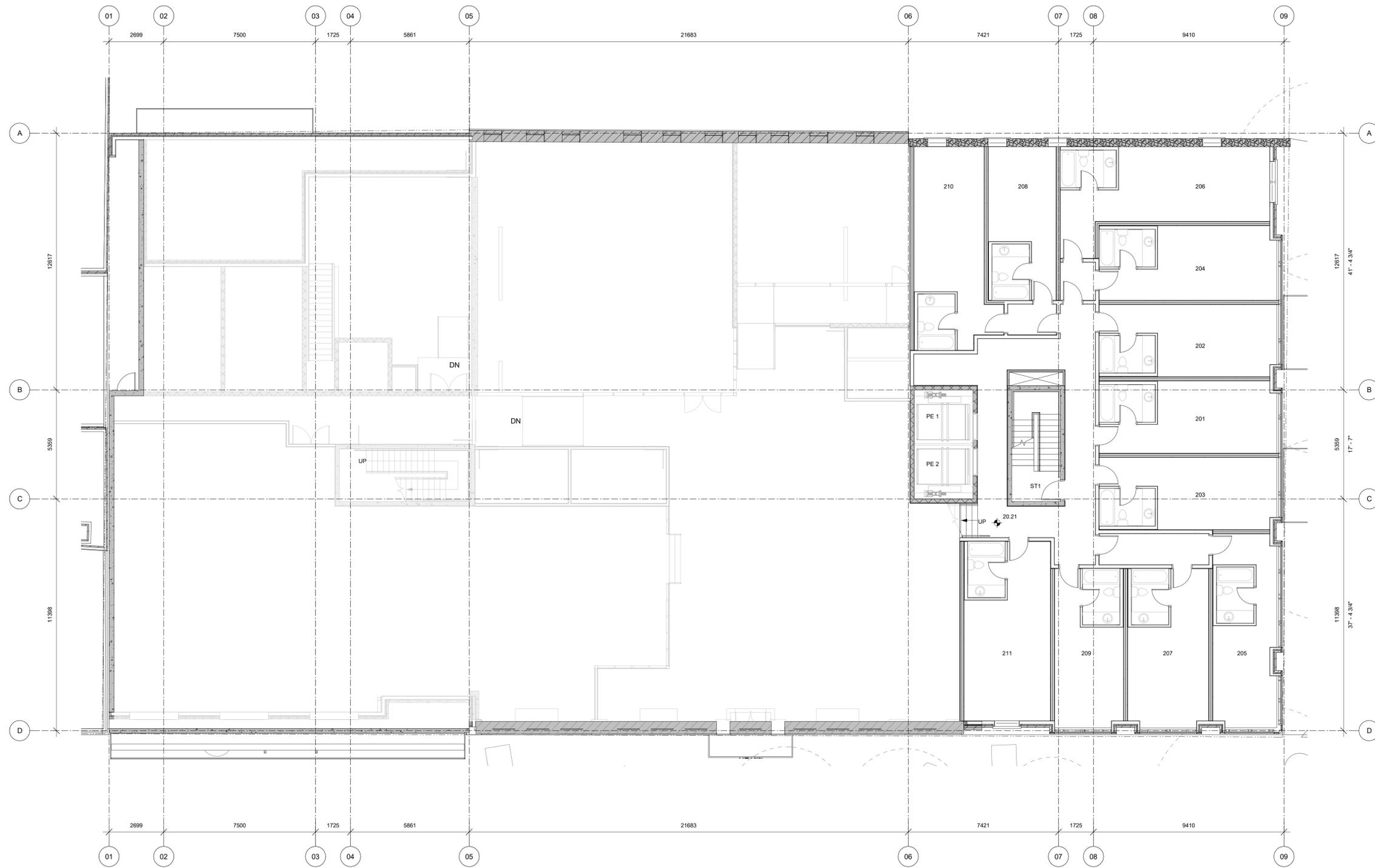
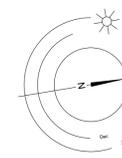
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

Level 1

sheet number
A203

revision number
2

Copyright Reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of dHk Architects.



1 Level 2 - Overall
A204 SCALE: 1 : 100

Rev	Date	Description	Revision 2
2	Oct-08-19	Revision 2	Revision 2
1	Oct-08-19	Revision 1	Revision 1

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

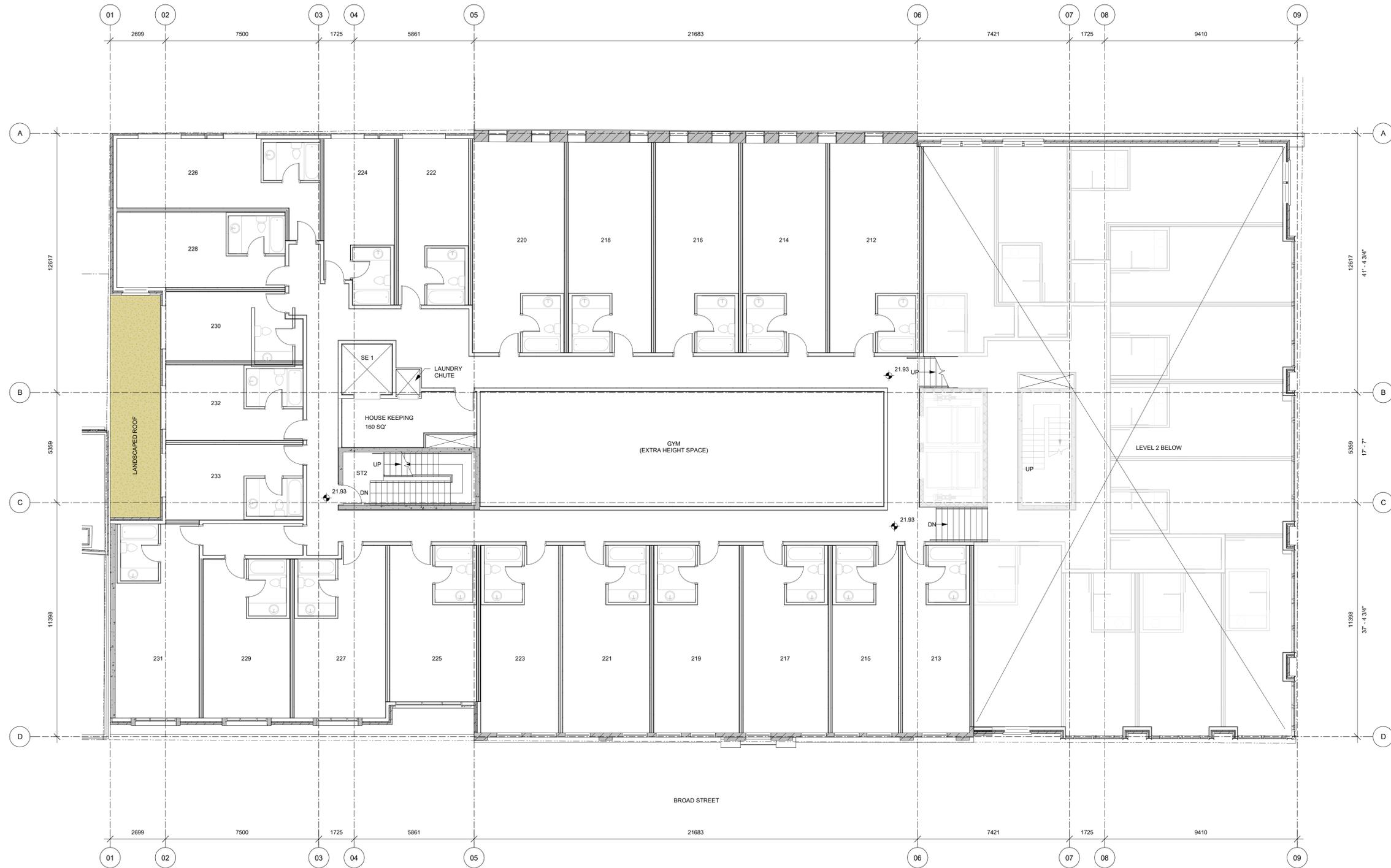
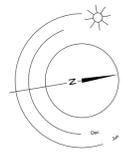
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

revision
Level 2

sheet number
A204

sheet count
2

Copyright reserved. This is a legal document. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of dHk Architects. THIS IS ONE OF THE PROJECT DRAWINGS. NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT.



1 Level 2A - Overall
A205 SCALE: 1 : 100

Rev	Date	Description	Revision 2
2	Oct-08-19	Revision 2	Revision 2
1	Oct-08-19	Revision 1	Revision 1

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

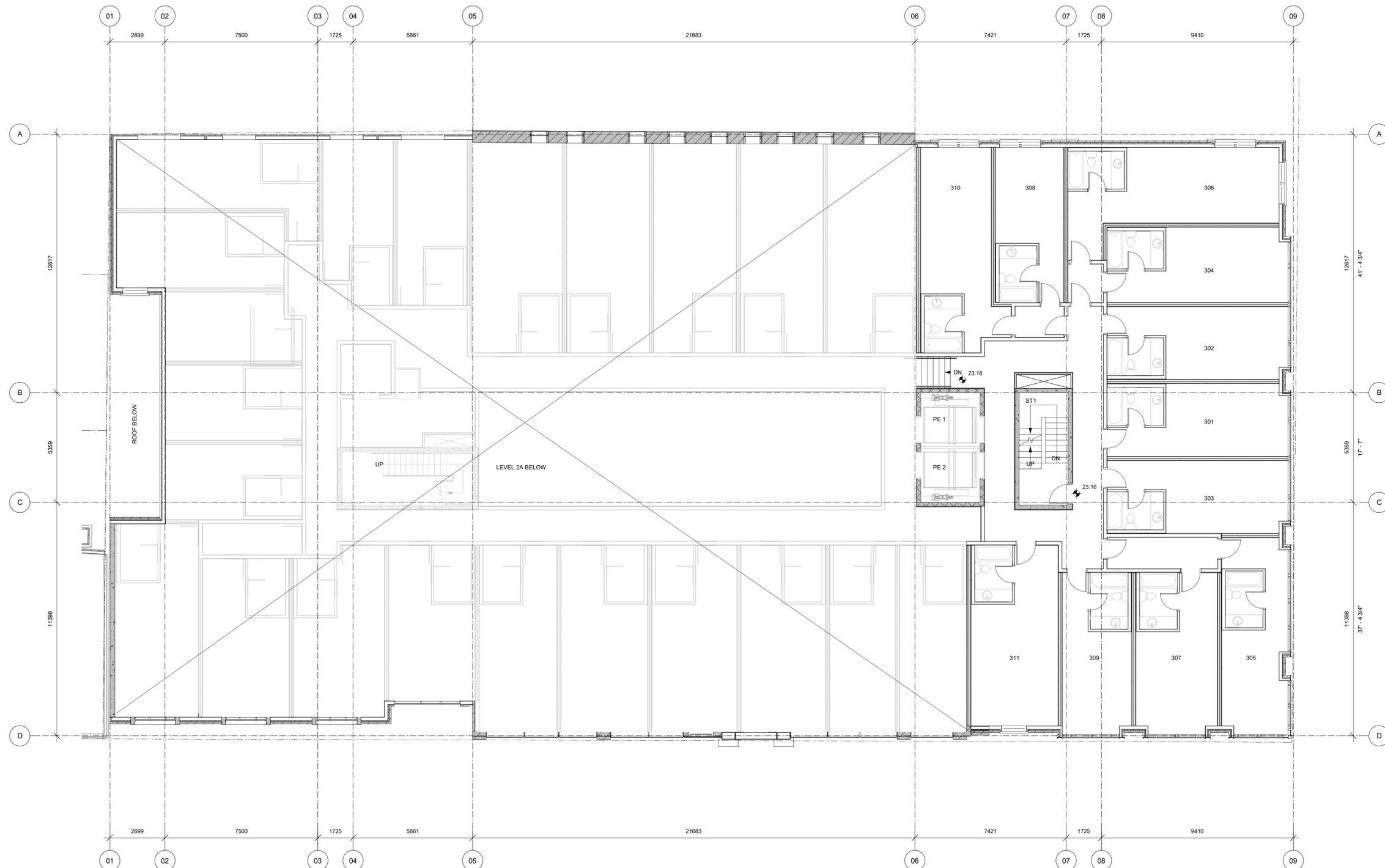
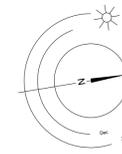
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

Level 2A

sheet number
A205

revision
2

NOTE: All dimensions are shown in millimeters.



1 Level 3 - Overall
A206 SCALE: 1 : 100

Rev	Date	Revision
2	Oct-08-19	Revision 2
1	Oct-08-19	Revision 1

Author	Checked by	Checker

Scale: 1 : 100
Project Number: 1721

NOTE: All dimensions are shown in millimeters.

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

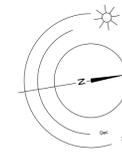
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

drawing
Level 3

sheet
A206

revision
2

Copyright Reserved. This is a legal document. All rights reserved. No part of this document may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying and recording, or by any information storage or retrieval system, without the prior written permission of dHk Architects.



1 Level 4 - Overall
A207 SCALE: 1 : 100

Rev	Date	Description	Revision 2
2	Oct-08-19	Revision 2	
1	Oct-08-19	Revision 1	Revision 2

Author	Checked by	Checker

Scale: 1 : 100
Project Number: 1721

NOTE: All dimensions are shown in millimeters.

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

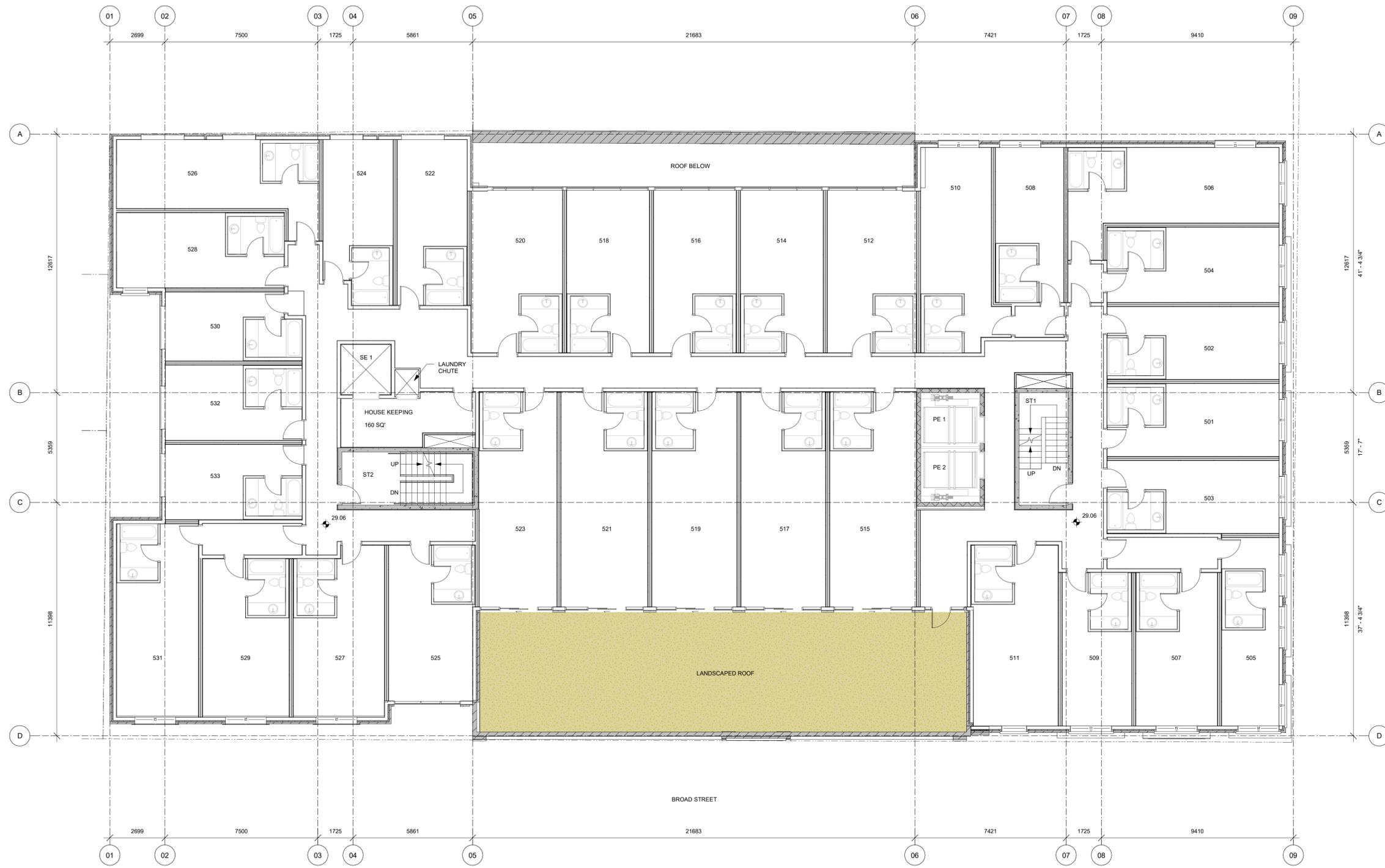
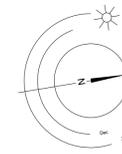
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

revision
Level 4

sheet number
A207

of sheets
2

Copyright Reserved. This is a legal document. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of dHk Architects.



1 Level 5 - Overall
A208 SCALE: 1 : 100

Rev	Date	Description	Revision 2
2	Oct-08-19	Revision 2	Revision 2
1	Oct-08-19	Revision 1	Revision 1

Author	Checked by	Checker

Scale: 1 : 100
Project Number: 1721

NOTE: All dimensions are shown in millimeters.

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

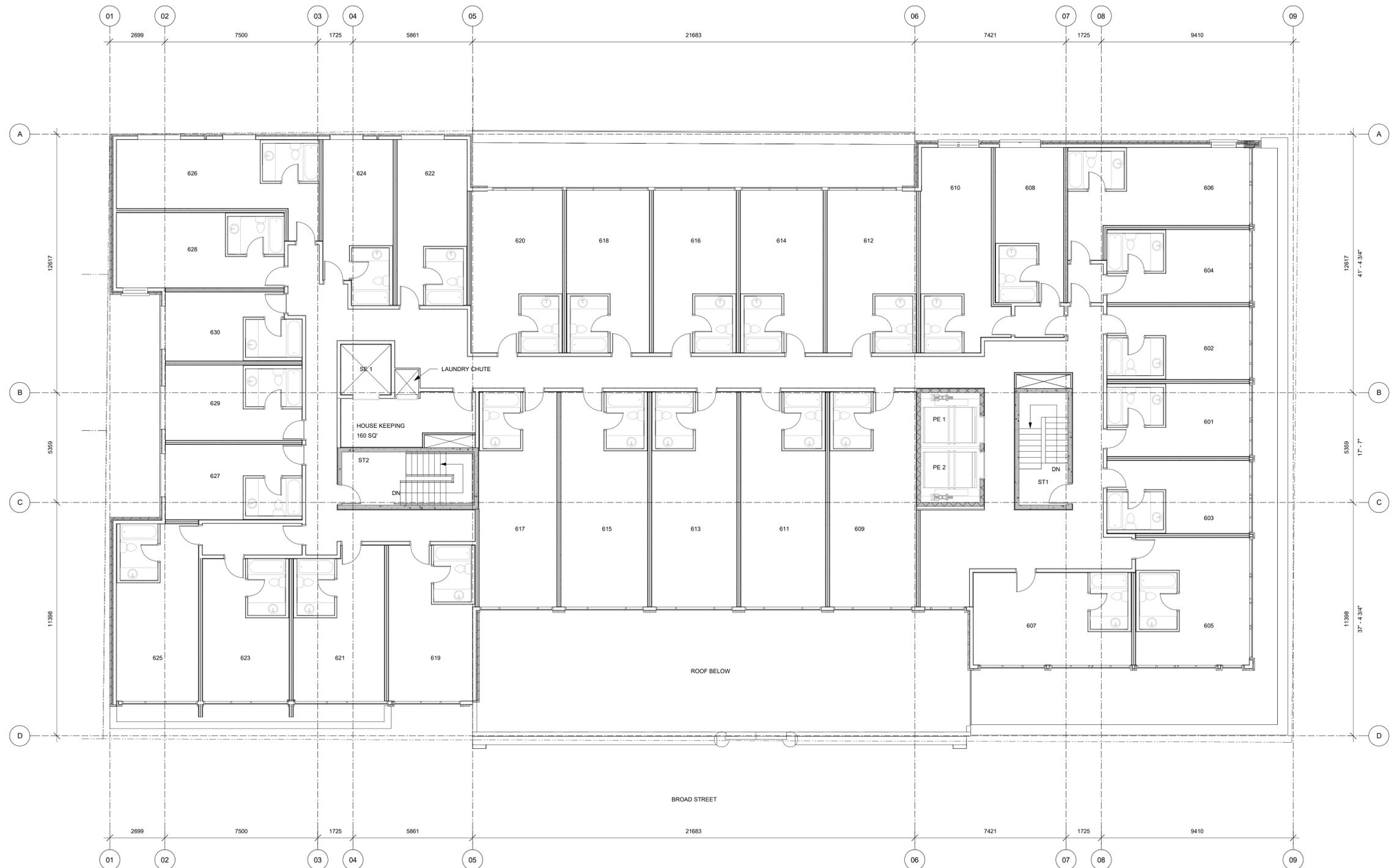
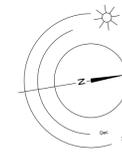
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC

revision
Level 5

sheet number
A208

of sheets
2



1 Level 6 - Overall
A209 SCALE: 1 : 100

Rev	Date	Description	Revision 2
2	Oct-08-19	Revision 2	Revision 2
1	Oct-08-19	Revision 1	Revision 1

Author	Checked by	Checker

Scale: 1 : 100
Project Number: 1721

NOTE: All dimensions are shown in millimeters.

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

revision
Level 6

sheet number
A209

sheet count
2

Copyright Reserved. This is a legal document and all rights are reserved. No part of this document may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of dHk Architects.



1 North Elevation
A301 SCALE: 1 : 100



2 North East Corner @ 45°
A301 SCALE: 1 : 100

Material Schedule North

- 1 Brick Masonry Veneer Cladding - Brown
- 1 Steel Door
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Aluminum Flashing
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- SCW SCW

BRICK AND TILE COLOUR

2 BRICK MASONRY VENEER CLADDING - WHEAT



3 METAL PANEL - LT GREY



1 BRICK MASONRY VENEER CLADDING - MAUNA LOA



4 METAL PANEL - DK GREY



Rev	Date	Description	Revision 2	Revision 2
2	Oct-08-19			

dHk Architects

VICTORIA OFFICE: 977 Fort Street, Victoria BC V8V 3K3, T 1-250-658-3367

NANAIMO OFFICE: 102-5180 Dublin Way, Nanaimo BC V9T 2K3, T 1-250-585-5810

The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

North Elevation

A301 2



1 South Elevation
A302 SCALE: 1 : 100

Material Schedule South

- 1 Brick Masonry Veneer Cladding - Brown
- 1 Steel Door
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Aluminum Flashing
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- SCW SCW



BRICK AND TILE COLOUR

2 BRICK MASONRY VENEER CLADDING - WHEAT



3 METAL PANEL - LT GREY



1 BRICK MASONRY VENEER CLADDING - MAUNA LOA



4 METAL PANEL - DK GREY



Rev	Date	Description

Prep	Issue Date	Revised By

Drawn by	Author	Checked by	Checker

Scale	As Indicated	Project Number	1721

NOTE: All dimensions are shown in millimeters.

dHKA dHKarchitects

VICTORIA OFFICE: 977 Fort Street, Victoria BC V8V 3K3 T 1-250-658-3367
 NANAIMO OFFICE: 102-5180 Dublin Way, Nanaimo BC V9T 2K3 T 1-250-585-5810

Project Name: **The Duck's Building**
 1312-1324 Broad Street, Victoria, BC V8W 1R1

South Elevation

Sheet No: **A302**

Copyright Reserved: This is a confidential document. All rights reserved. No part of this document may be reproduced without written consent.



1 East Elevation
A303 SCALE: 1 : 100

CONSERVATION STRATEGY

- BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)
- EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)
- IRON COLUMNS TO BE RETAINED (typ.)
- ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)
- NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)
- STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule East

- 1 Brick Masonry Veneer Cladding - Brown
- 1 Steel Door
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Aluminum Flashing
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- SCW SCW

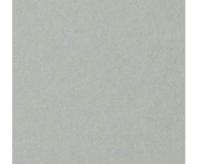


BRICK AND TILE COLOUR

2 BRICK MASONRY VENEER CLADDING - WHEAT



3 METAL PANEL - LT GREY



1 BRICK MASONRY VENEER CLADDING - MAUNA LOA



4 METAL PANEL - DK GREY



Rev	Date	Description

Prep	Issue Date	Issued By	Checked By

NOTE: All dimensions are shown in millimeters.

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

drawing
East Elevation

sheet no.
A303

CONSUMER RIGHTS NOTICE: THIS DRAWING IS THE PROPERTY OF dHk ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT SHOWN AND NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



1 West Elevation
A304 SCALE: 1 : 100

CONSERVATION STRATEGY

- BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)
- EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)
- IRON COLUMNS TO BE RETAINED (typ.)
- ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)
- NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)
- STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule West

- 1 Brick Masonry Veneer Cladding - Brown
- 1 Steel Door
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 3 Metal Panel - Dk Grey
- 4 Metal Panel - Black
- 5 Pre-Cast Concrete
- 6 Curtain Wall Window System - Clear Anodized Aluminum
- 6 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Aluminum Flashing
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- SCW SCW



BRICK AND TILE COLOUR

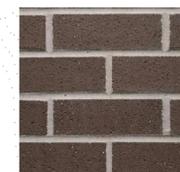
2 BRICK MASONRY VENEER CLADDING - WHEAT



3 METAL PANEL - LT GREY



1 BRICK MASONRY VENEER CLADDING - MAUNA LOA



4 METAL PANEL - DK GREY



Rev	Date	Description	Revision 2
2	Oct-08-19		Revision 2

dHk Architects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-8810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8T 1R1

West Elevations

sheet number
A304

of sheets
2

Copyright reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of dHk Architects.



1298 BROAD STREET SQUARE

YATES STREET

LEGACY ART GALLERY
639 YATES STREET
- NOT IN SCOPE OF PROJECT

THE DUCK'S BUILDING REDEVELOPMENT
1312 - 1324 BROAD STREET

JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

1 East Elevation Context Proposed
A501



1298 BROAD STREET SQUARE

YATES STREET

LEGACY ART GALLERY
639 YATES STREET
- NOT IN SCOPE OF PROJECT

1306 BROAD STREET
- TO BE REMOVED

EXISTING DUCK'S BUILDING
- EXTERIOR TO BE RETAINED

625 JOHNSON STREET
- TO BE REMOVED

JOHNSON STREET

AUDIO VIDEO REPLAY
620 JOHNSON STREET

2 East Elevation Context Existing
A501



631 - 635 JOHNSON STREET

BROAD STREET

THE DUCK'S BUILDING REDEVELOPMENT
1323 - 1314 BROAD STREET

LANEWAY

605 - 613 JOHNSON STREET

EXISTING DUCKS BUILDING
BEYOND

3 North Elevation Context Proposed
A501



631 - 635 JOHNSON STREET

BROAD STREET

EXISTING 615 - 625 JOHNSON
TO BE REMOVED

LANEWAY

605 - 613 JOHNSON STREET

4 North Elevation Context Existing
A501

Rev	Date	Description

prep date	Issue Date	drawing file
drawn by	Author	checked by
scale	1: 225	project number
		1721

NOTE: All dimensions are shown in millimeters.

dhKa dhKarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC

Site Context

sheet no. **A501**



1 Yates & Broad A
A507
D



2 Yates & Broad B
A507
E



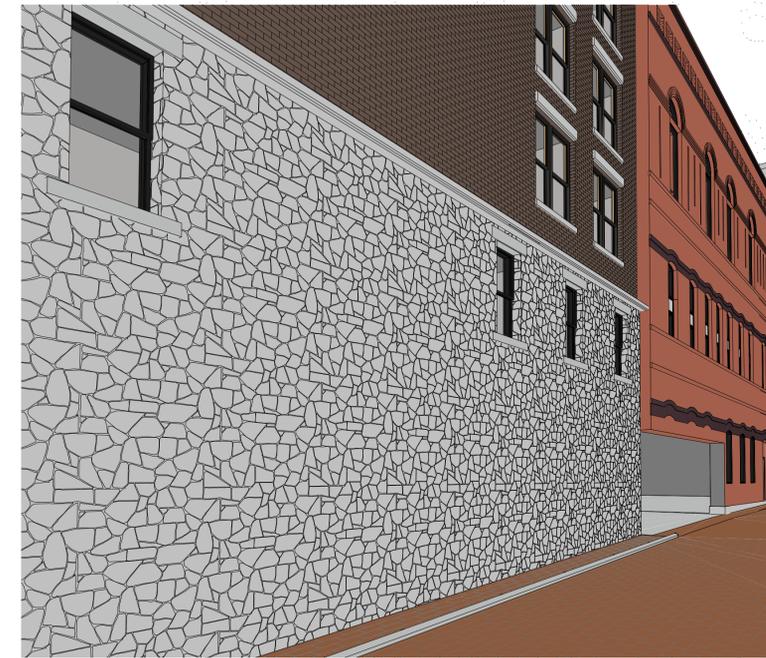
3 Broad & Johnson A
A507
F



4 Broad & Johnson B
A507
G



5 Laneway to Johnson
A507
H



6 Laneway Stonewall
A507
I

Rev	Date	Description	Revision 2	Revision 2
2	Oct-08-19	Revision 2		
1	Oct-08-19	Revision 1		

NOTE: All dimensions are shown in millimeters.

dHk Architects

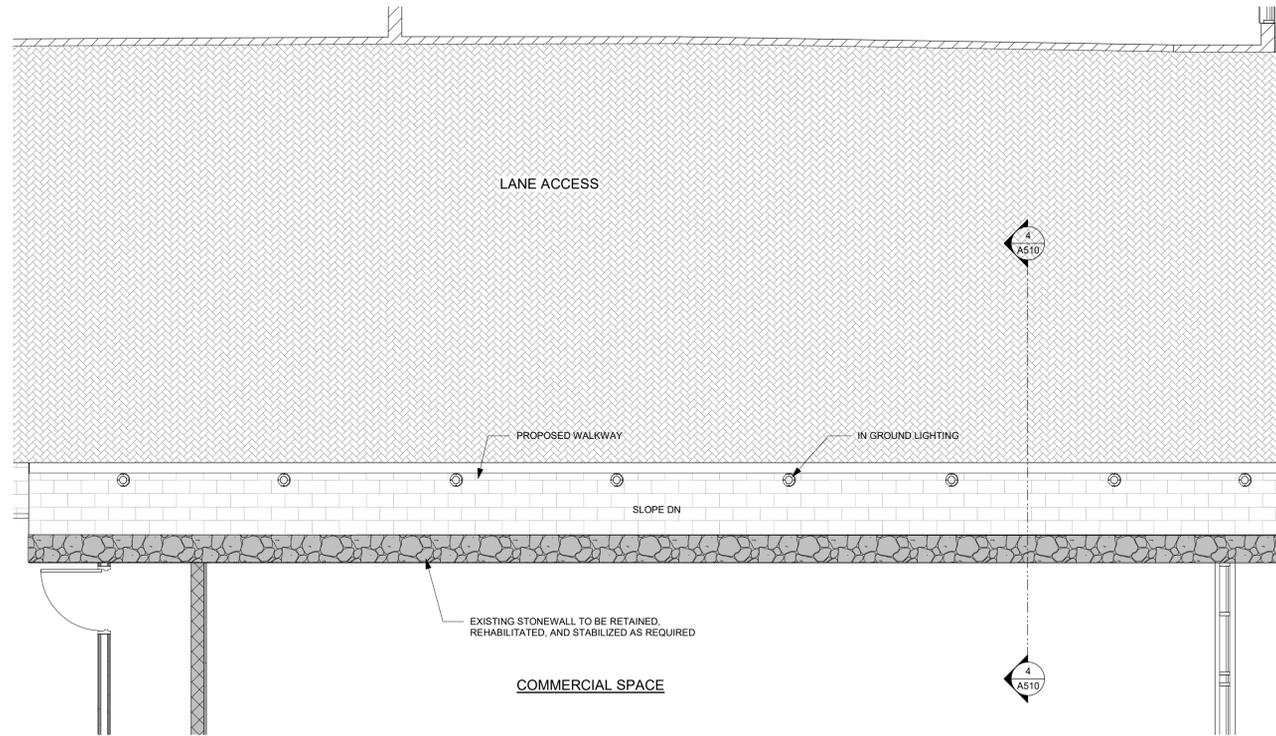
VICTORIA OFFICE: 977 Fort Street, Victoria BC V8V 3K3, T 1-250-658-3367

NANAIMO OFFICE: 102-5180 Dublin Way, Nanaimo BC V8T 2K3, T 1-250-585-5810

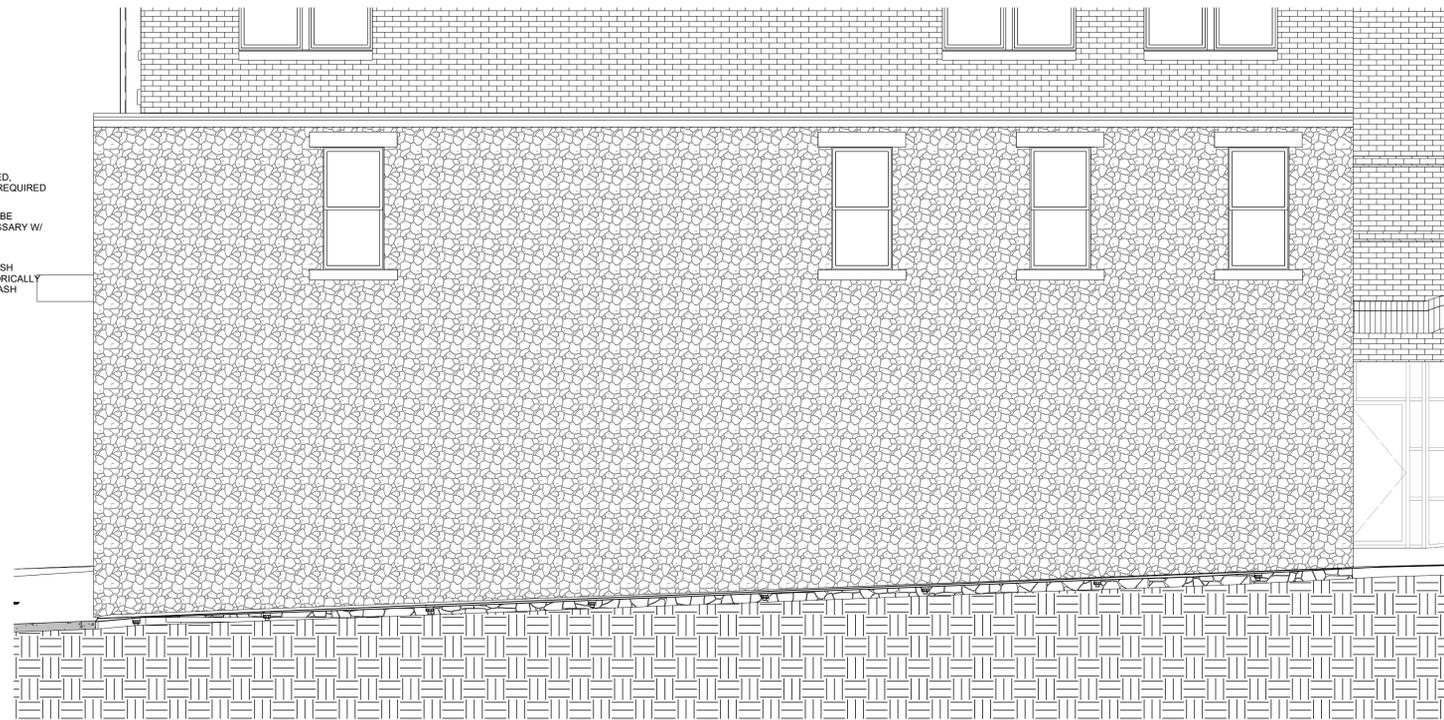
project name: **The Duck's Building**
1312-1324 Broad Street
Victoria, BC V8W 1R1

Perspective Studies

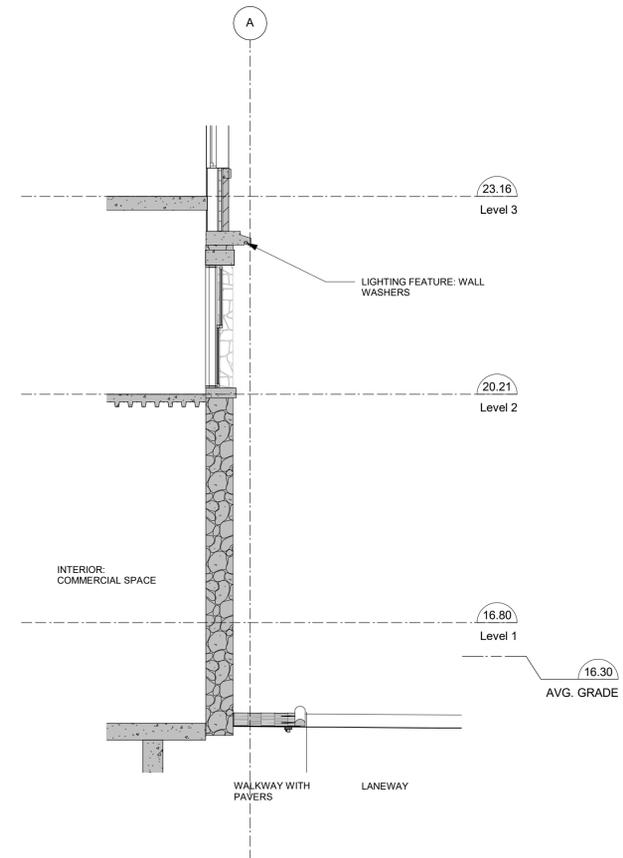
author:	A507	revision:	2
---------	------	-----------	---



1 Stone Wall
A510 / SCALE: 1 : 50



3 Stone Wall - Elevation
A510 / SCALE: 1 : 50



4 Stone Wall - Section
A510 / SCALE: 1 : 50

Rev	Date	Issue Date	Revision	Revision 2
2	Oct-08-19	Oct-08-19	Revision 2	Revision 2
author	Author	checked by	Checker	
scale	1 : 50	project number	1721	

dHk Architects

VICTORIA OFFICE: 977 Fort Street, Victoria BC V8V 3K3, T 1-250-658-3367

NANAIMO OFFICE: 102-5180 Dublin Way, Nanaimo BC V9T 2K3, T 1-250-585-8810

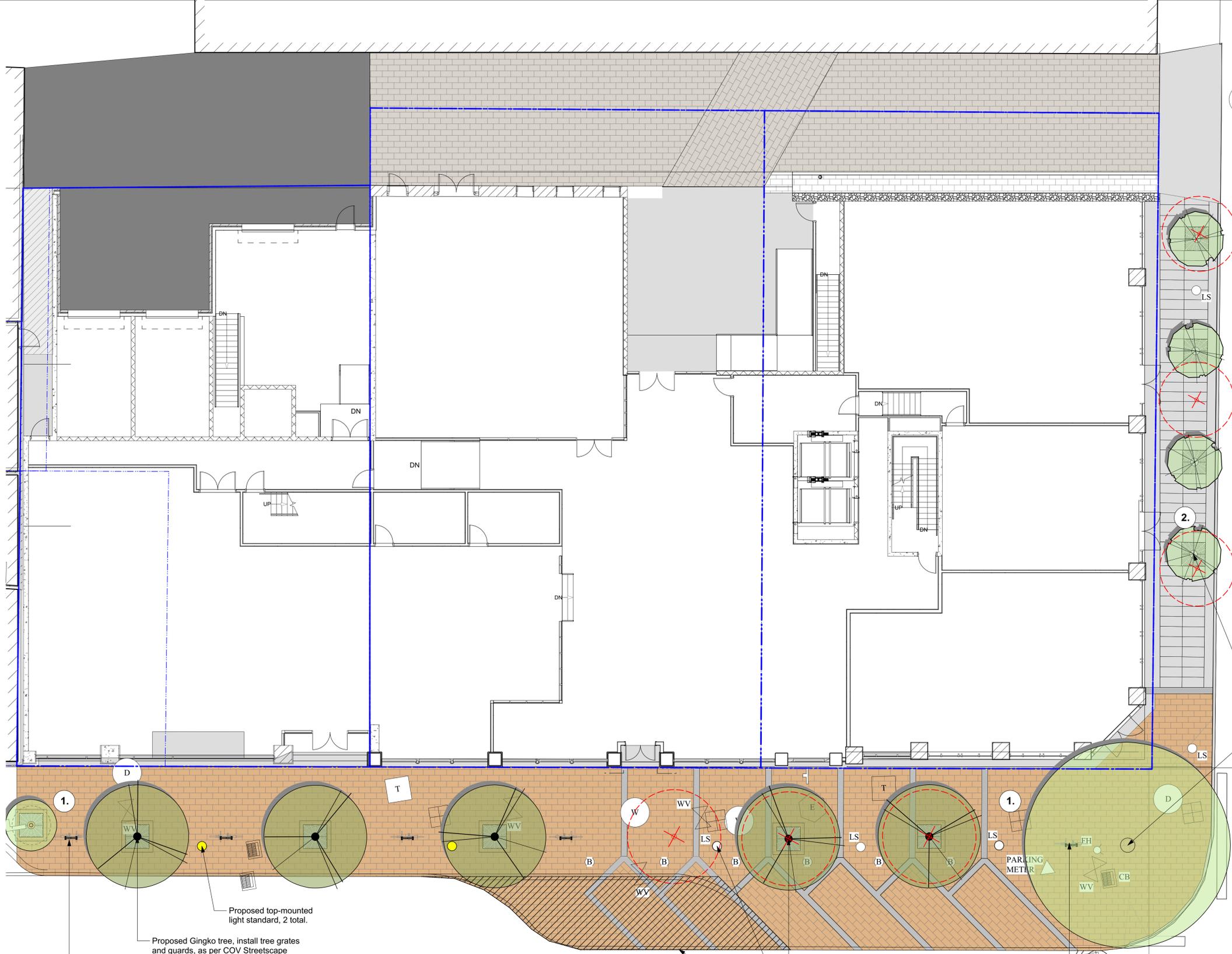
project name: **The Duck's Building**
1312-1324 Broad Street
Victoria, BC

sheet title: **Stone Wall**

sheet number: **A510**

revision: **2**

Copyright Reserved: This is a legal document and all rights are reserved. This drawing is the property of dHk Architects. It is not to be reproduced without written consent.



LEGEND

--- Property line

LANDSCAPE MATERIALS

- Broad Street Paving, to match existing paving on Broad Street (retained and reinstated as necessary on street frontage)
- Broad Street building entrances - Cast in Place Concrete Paving
- Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Pavers, as per COV Streetscape Guidelines.
- Vehicular Paving in Laneway - Concrete Unit Paving, Abbotsford Concrete Standard Series 80mm thickness, or approved equivalent.
- Pedestrian Paving in Laneway - Concrete Unit Paving, Abbotsford Concrete Standard Series, or approved equivalent.
- Vehicular Paving in Services areas of Laneway - Asphalt Paving
- Bicycle rack, 2 bicycle capacity, to meet City of Victoria standards. 4 total.
- Top mounted light standard, to match existing Broad Street fixtures. 2 total.

- Existing Tree to be Retained
- Existing Tree to be Removed

LANDSCAPE ELEMENTS

1. Broad Street Landscape. Existing Pin Oak to be retained, 5 - Ginkgo trees to be removed and 5 - Ginkgo trees to be replanted, install 2 - new top-mounted light standards, and 4 - new bike racks. All streetlighting and site furnishings to match existing, and meet City of Victoria Streetscape Guidelines.
2. Johnson Street. Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines. Existing trees to be removed and replaced. Species to be confirmed, in consultation with City of Victoria Parks department.

Proposed Columnar Beech tree, install tree grates and guards, as per COV Streetscape Guidelines.

Existing Pin Oak tree to be retained. Tree protection measures to be determined by Project Arborist at time of Building Permit Application.

NOT FOR CONSTRUCTION

rev no	description	date
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

Murdoch de Greeff INC
Landscape Planning & Design
200 - 524 Columbia Road Victoria, BC V8Z 1G1 Phone: 250.412.2891 Fax: 250.412.2892

Oct. 9, 2019
client
CHARD DEVELOPMENT

project
DUCKS BLOCK REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

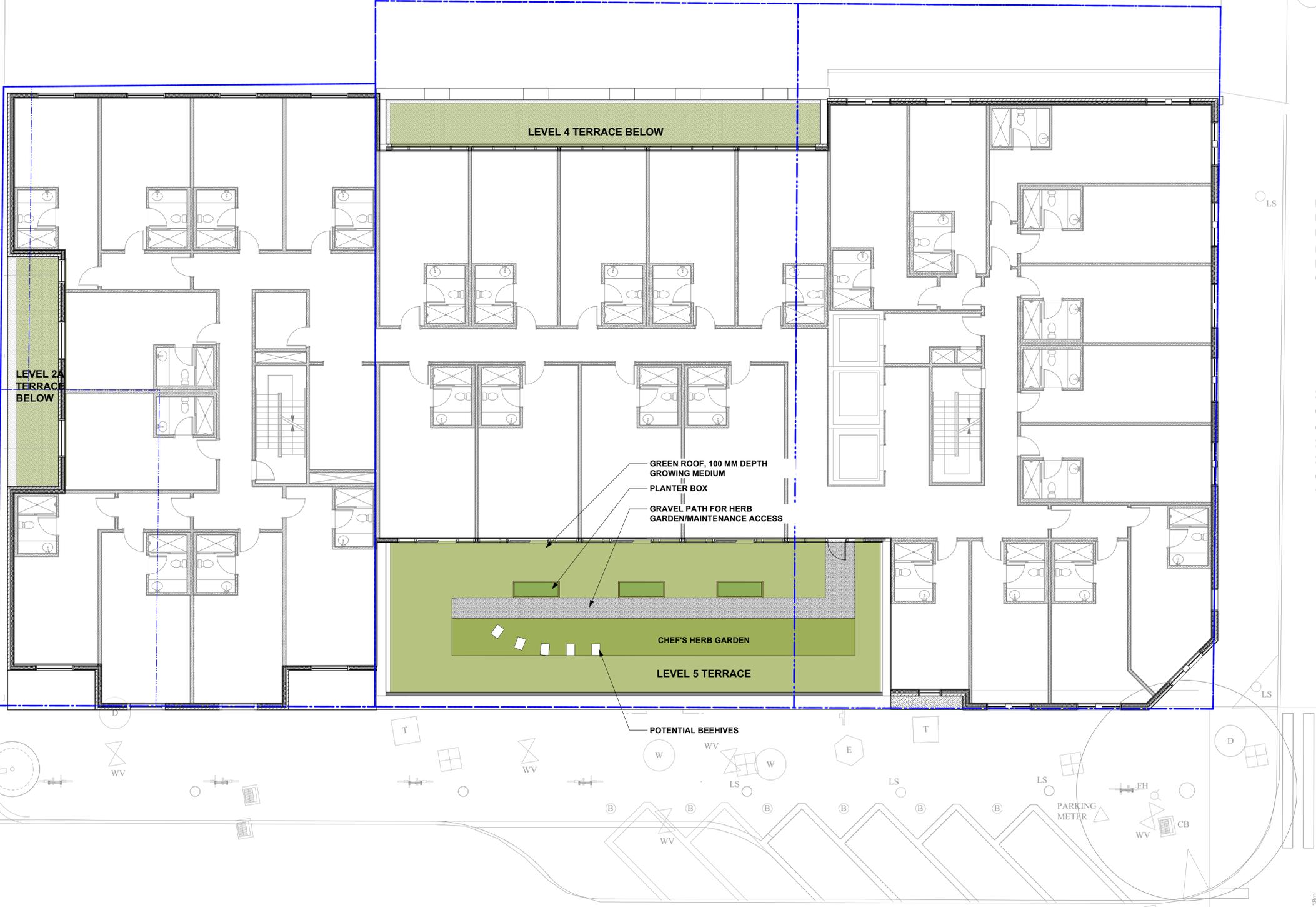
Landscape Materials Plan - At Grade

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

3 **L1.01**

DRAWING NOTES

1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
7. All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
8. Landscape installation to carry a 1 year warranty from date of acceptance.
9. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
10. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
11. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work



LEGEND

--- Property line

LANDSCAPE MATERIALS

Gravel pathway for maintenance access

Green roof area, 100 mm depth growing medium

NOT FOR CONSTRUCTION

rev no	description	date
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

Murdoch de Greeff INC
Landscape Planning & Design

200 - 524 Cuskubel Road
Victoria, BC V8Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

client
CHARD DEVELOPMENT

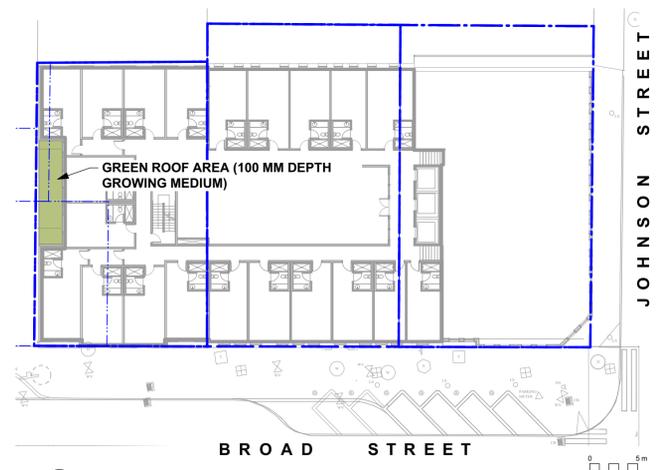
project
DUCKS BLOCK REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

Landscape Materials Plan - Terrace Levels

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

L1.02

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work



1 Level 2A Landscape Plan
Scale: 1:350

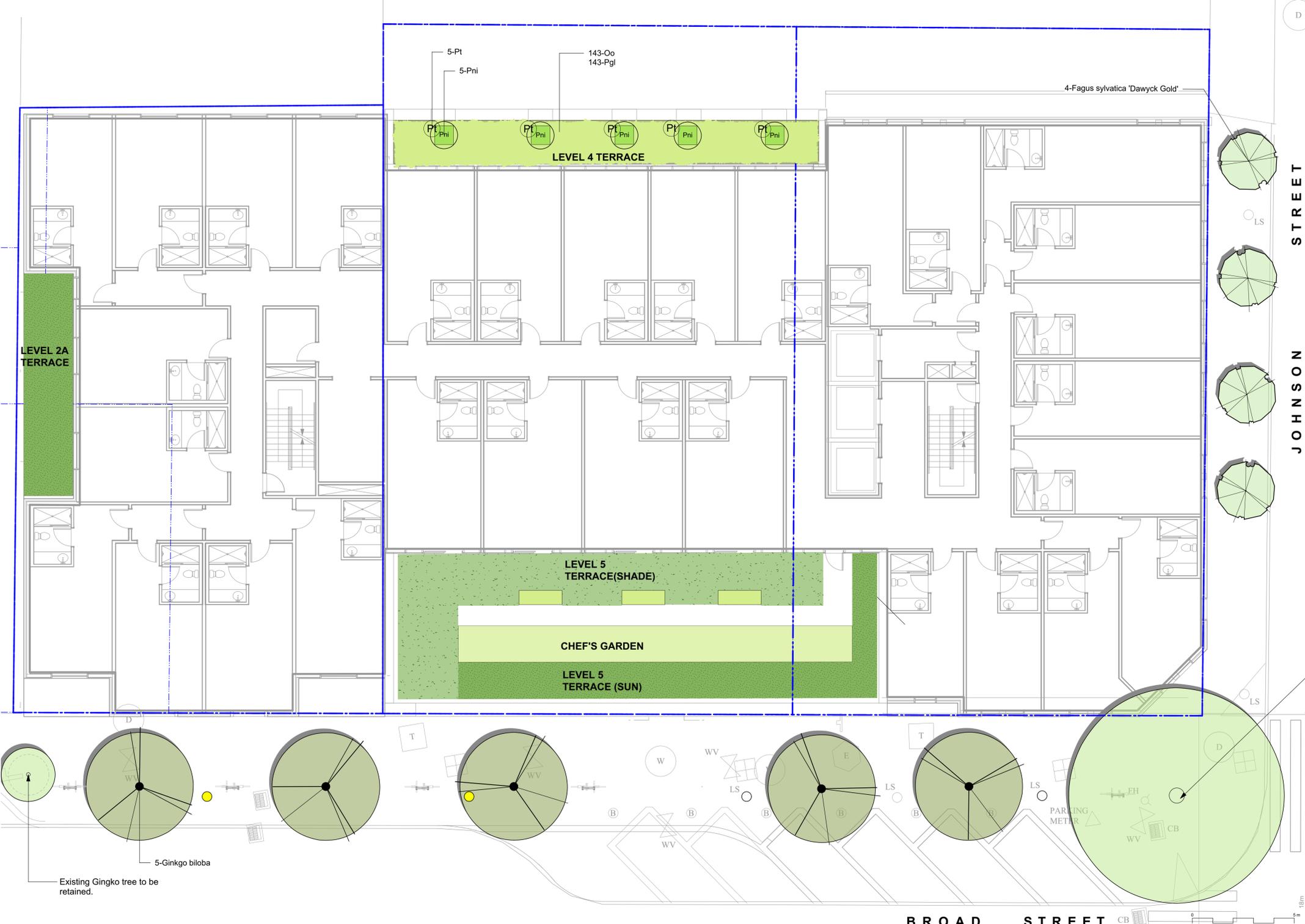


2 Level 4 Landscape Plan
Scale: 1:350

BROAD STREET

JOHNSON STREET

0 5m



D
STREET
JOHNSON

NOT FOR CONSTRUCTION

3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07
rev no	description	date

Murdoch deGreeff INC
Landscape Planning & Design
200 - 524 Columbia Road
Victoria, BC V8Z 1G1
Phone: 250.412-2891
Fax: 250.412-2992

Existing Pin Oak tree to be retained.

Existing Ginkgo tree to be retained.

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
PLANT LIST - LEVEL 1				
TREES:				
4		Fagus sylvatica 'Dawyck Gold'	Columnar Golden European Beech	6.0 cm cal, b&b
5		Ginkgo biloba	Maidenhair Tree	7.0cm cal, b&b
PLANT LIST - LEVEL 2A				
SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 26.1 sq m				
20%		Sedum acre		
20%		Sedum album 'Coral Carpet'		
20%		Sedum kamtschaticum		
20%		Sedum rupestre		
20%		Sedum spurium		
PLANT LIST - LEVEL 4				
143		Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
5		Parthenocissus tricuspidata	Boston Ivy	#1 pot
5		Phyllostachys nigra	Black Bamboo	#5 pot
143		Polystichum glycyrrhiza	Licorice Fern	Sp3
0				

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
PLANT LIST - LEVEL 5				
CHEF'S GARDEN				
71		Allium schoenoprasum	Chives	Sp3, 30cm o.c.
71		Artemisia dracuncululus	French Tarragon	Sp3, 30cm o.c.
71		Mentha spicata	Spearmint	Sp3, 30cm o.c.
71		Origanum vulgare hirtum	Greek Oregano	Sp3, 30cm o.c.
71		Rosmarinus officinalis	Rosemary	Sp3, 30cm o.c.
71		Salvia officianalis 'Minimus'	Dwarf Sage	Sp3, 30cm o.c.
71		Thymus vulgaris	English Thyme	Sp3, 30cm o.c.
GREEN ROOF AREA - SUN				
SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 43.1 sq m				
20%		Sedum acre		
20%		Sedum album 'Coral Carpet'		
20%		Sedum kamtschaticum		
20%		Sedum rupestre		
20%		Sedum spurium		
GREEN ROOF AREA - SHADE				
133		Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
133		Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
133		Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
133		Gaultheria shallon	Salal	Sp3, 30cm o.c.
133		Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
133		Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
 - Final selection of boulevard trees to be determined through consultation with City of Victoria Parks staff.

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

Oct. 9, 2019
client
CHARD DEVELOPMENT
project
DUCKS BLOCK REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC
sheet title

Planting Plan

project no. 117.33
scale 1:100 @ 24"x36"
drawn by ML
checked by SM/PdG
revision no. 3
sheet no. **L3.01**