9 Unit Multi-Family Rezoning & Development Permit Application

600 Dallas Rd., Victoria, B.C.

December 2nd., 2024

BUILDING CODE SYNOPSIS

Project Description:	4 Storey Residential Building
Building Classification:	3.2.2.52, Grou p C, Up to 4 Storeys, Sprinklered
Building Area:	373.82m2 (1800m2 permitted)
Building Construction:	Permitted to be Combustible or Noncombustible
Assembly Ratings:	Floors - Fire separations with 1Hr. F.R.R. Mezzanines - N/A Load Bearing Walls, columns, and arches to have same rating as supported assembly (1Hr.)

Area Calculations:

Site Area = 721 m2

Parkade Level *(Excludes Parking, Bicycle & Elevator Areas)*	=	103.29m2 (1,111.8s.f.)
Floor Levels 2 & 3 (2 x 321.45m2 Ea.) *(Excludes Balconies, & Elevator)*	=	642.9m2 (6,957.9s.f.)
Penthouse Level 4 *(Excludes Balconies, & Elevator)*	=	220.39m2 (2,372.3s.f.)
Total Floor Area =	=	**966.58m2 (10,404.2s.f.)**

FSR : 966.58 ÷ 721 = +/- **1.34 : 1**

Permitted Density with 100% Secured Rental Units and Affordability, Up to 2.5 FSR/Six Storeys

Unix Mix & Areas

(Note: Area for units below measured to *inside* of finished walls)

Floor Level	Unit Type	Unit #	Area
Main (Parkade)	1 Bedroom	101	44.9m2 (483.2s.f.)
Second	2 Bedroom	201	93.6m2 (1,007s.f.)
	2 Bedroom	202	97.3 (1,047s.f.)
	1 Bedroom	103	79.3m2 (854s.f.)
Third	2 Bedroom	301	93.6m2 (1,007s.f.)
	2 Bedroom	302	97.3 (1,047s.f.)
	1 Bedroom	303	79.3m2 (854s.f.)
Fourth (Penthouse)	3 Bedroom	401	109m2 (1,173s.f.)
	2 Bedroom	402	71.5m2 (769.8s.f.)
SUBTOTAL UNITS	1 Bedroom 2 Bedroom 3 Bedroom	3 5 1	
TOTAL # OF SUITES		**9**	
TOTAL SUITE AREA			**958.6m2 (9,209.6s.f.)**

PARKING CALCULATIONS:

Apartment (Rental Dwelling Units Secured in Perpetuity) in "Other" Area

3 - One Bedroom	@ 9 Per Unit	= 2.7	or	3
5 - Two Bedroom	@ 1.30 Per Unit	= 6.5	or	6
1 - Three Bedroom	@ 1.30 Per Unit	= 1.30	or	1
Sub-Total Spaces				10

(1 Space Required To Be Accessible)
9 x .1) = .9 OR 1

Total Parking Required **11 Spaces**

9 Stalls Provided over 1 Level Of At-grade Covered Parking x

All Spaces To Have Electric Charging Stations

Bicycle Parking Required:

Long Term:

1 per dwelling unit < 45m2 = 1

1.25 per dwelling unit > 45m2 (8 units) = 10

Total Bike Spaces Required = **11**

13 Bike Spaces Provided Including 4 Cargo Bike Areas & Bike Wash Station

Short Term:

1 - 6 Space Bike Rack Provided Within 15m Of Front Entry

SITE STATISTICS

Zone R-2 Two Family Dwelling District (Existing	(Proposed) Site Specific
Site area (m2)	721m2 (7,760.8 sq.ft.)
Total floor area (m2)	966.58m2 (See Table at Left)
Floor Space Ratio	966.58 ÷ 721 = **1.34 : 1**
Site Coverage (%) Main Structure = 451.58m2 Lot Area = 721.00m2 Structures ÷ Lot Area = .626, or 63%	63.0%
Number of storeys	4 Storeys
Parking stalls (number) on site	**See Calculations at Left**
Bicycle parking number (Class 1 and Class 2)	**See Calculations at Left**
Average Grade	17.75m Geodetic
Height of Building (Above Average Grade)	**11.3 m** (37'-1")
Building Setbacks (m)	
Front (South)	6.072m (19'-11")
Rear (North)	.774m (2'-5 1/4")
Side (West)	2.019m (6'-7 1/2") (Om to Property Line at Parkade Level
Side (East)	1.898m (6'-2 3/4")

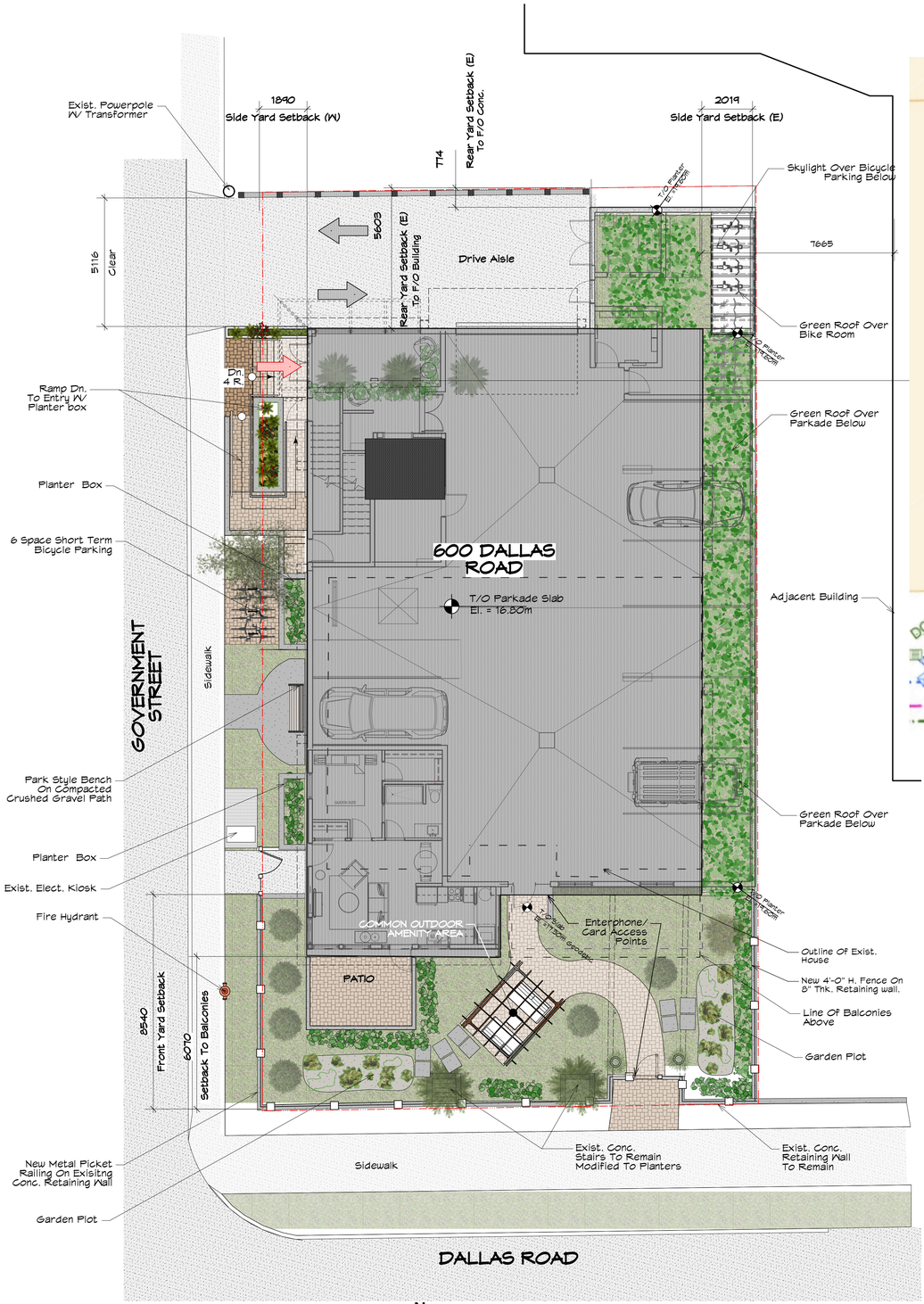
VIEW LOOKING NORTH-EAST

N

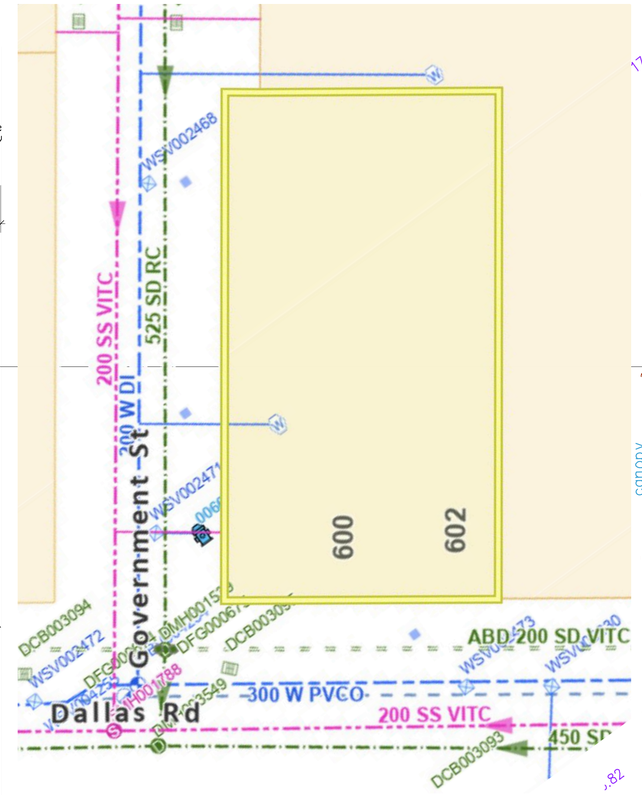
LOCATION PLAN

MJM Architect Inc.
#10, 909 Vancouver Street, Victoria, B.C. V8V 3V6
ph:(250)661-5492 e-mail: mjmoody@shaw.ca

project name: **9 unit Multi-family Rezoning & Development Permit Application**			project no. **2340**
600 Dallas Road, Victoria, B.C.			
drawing title: **Cover Sheet/Site Data**	drawn by: mjm checked by: mjm	scale: As Noted	date: **24/12/02** yy/mm/dd	drawing no. **SK-0**

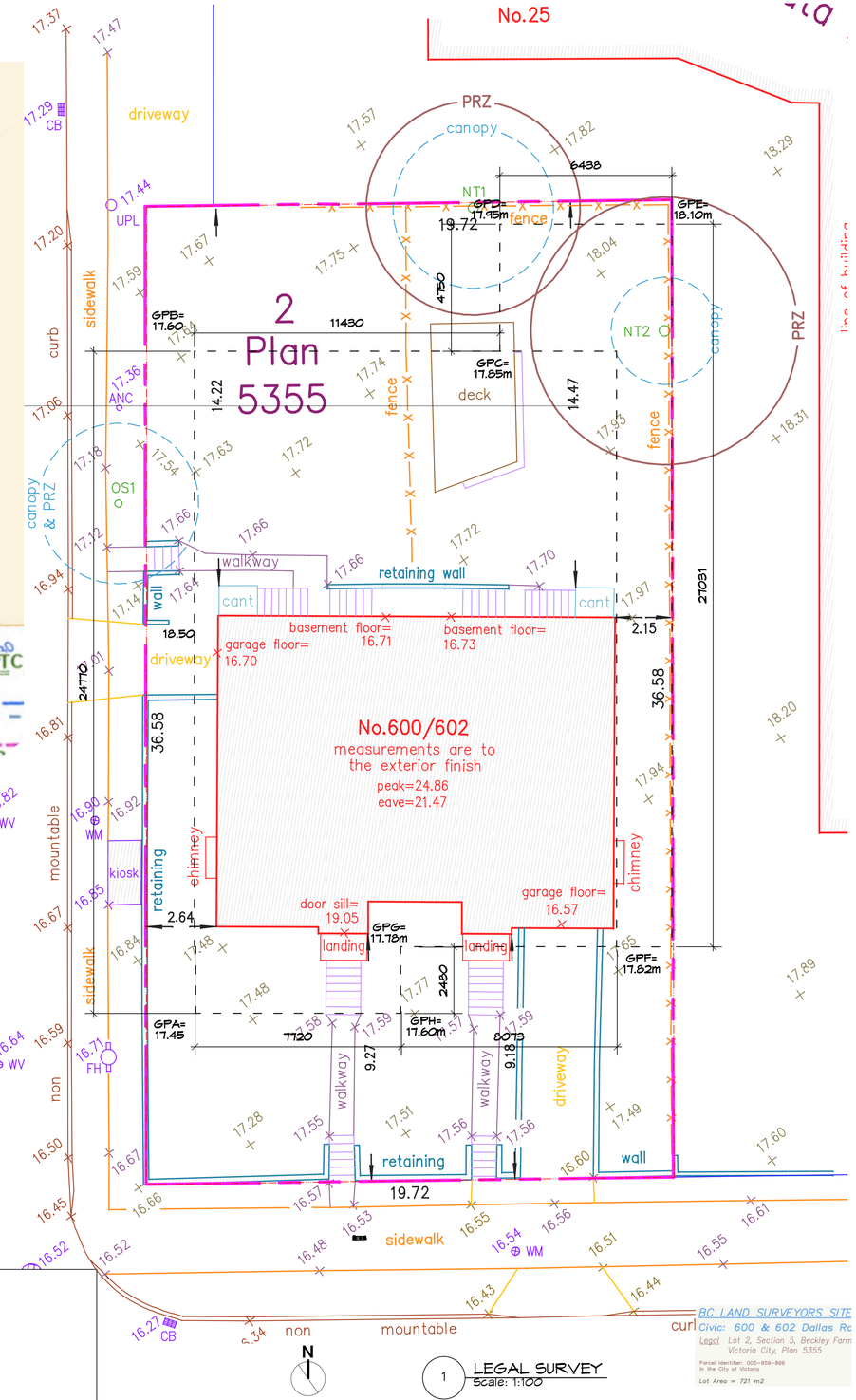


3 SITE PLAN
Scale: 1:100



2 City Infrastructure Plan
Scale: 1:200

See Also Attached Civil Drawing



1 LEGAL SURVEY
Scale: 1:100

Avg. Grade Calculation

2024-02-26

600 Dallas
Average Grade Calculation

Grade Point	Elevation (metres)
GPA	17.45
GPB	17.60
GPC	17.85
GPD	17.95
GPE	18.10
GPF	17.82
GPG	17.78
GPH	x

Grade Point Average			Sub-Total		
GPA + GPB /2	17.53	X	24.77	=	434.09
GPB + GPC/2	17.73	X	11.43	=	202.60
GPC + GPD /2	17.90	X	4.75	=	85.03
GPD + GPE/2	18.03	X	6.44	=	116.08
GPE + GPF /2	17.96	X	27.03	=	485.46
GPF + GPG /2	17.80	X	8.07	=	143.65
GPG + GPH /2	17.78	X	2.48	=	44.09
GPH + GPA /2	17.45	X	7.72	=	134.71
PERIMETER DISTANCE =			**92.69**		
			TOTAL =		**1,645.71**

AVERAGE GRADE = TOTAL/PERIMETER DISTANCE

Average Grade **17.75**

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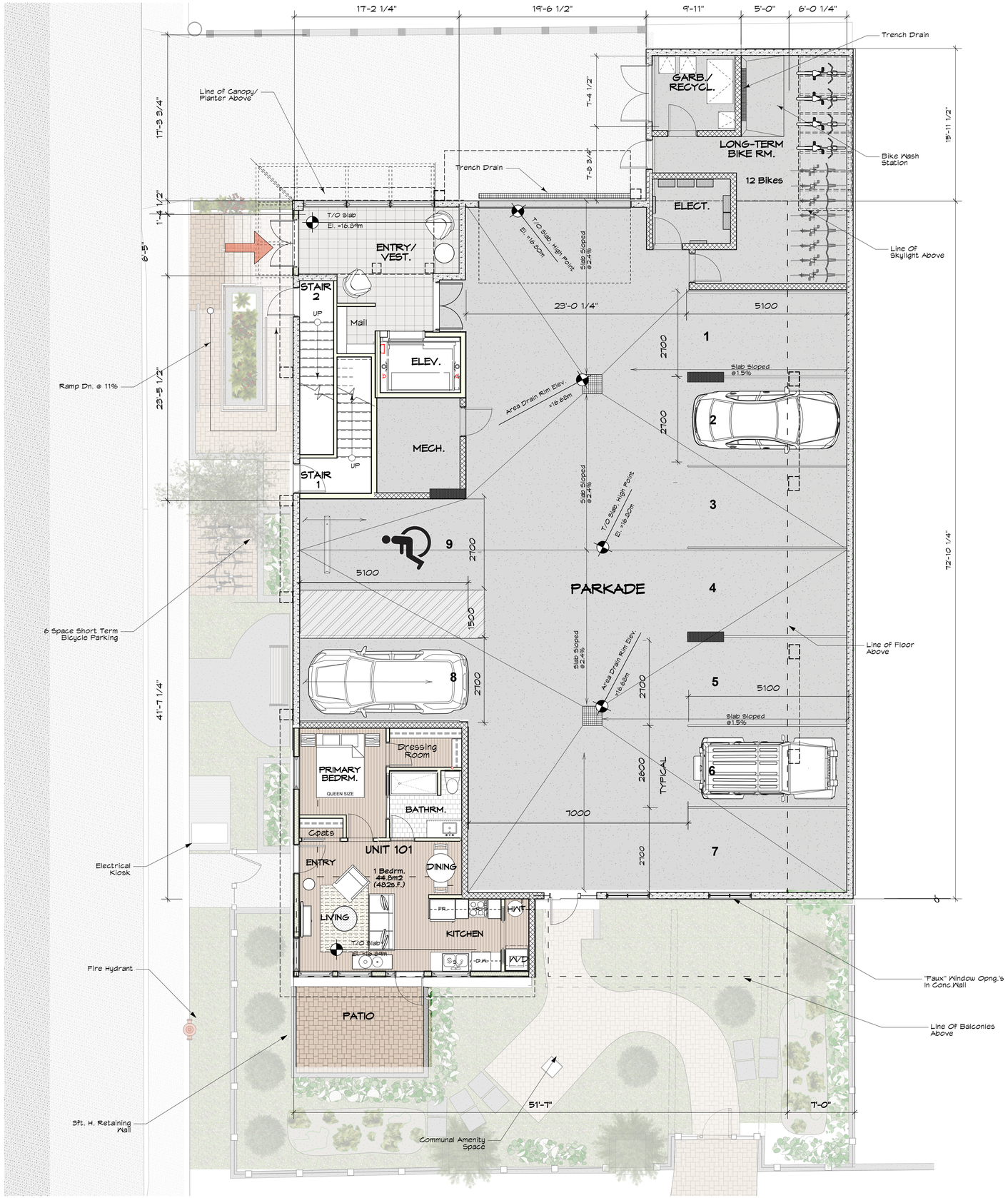
project name:	9 unit Multi-family Rezoning & Development Permit Application
project no.	2340
	600 Dallas Road, Victoria, B.C.
drawing title:	Legal Survey/Site Plan Infrastructure Plan
drawn by:	mjm
checked by:	mjm
scale:	As Noted
date:	24/12/02 yy/mm/dd
drawing no.	SK-1



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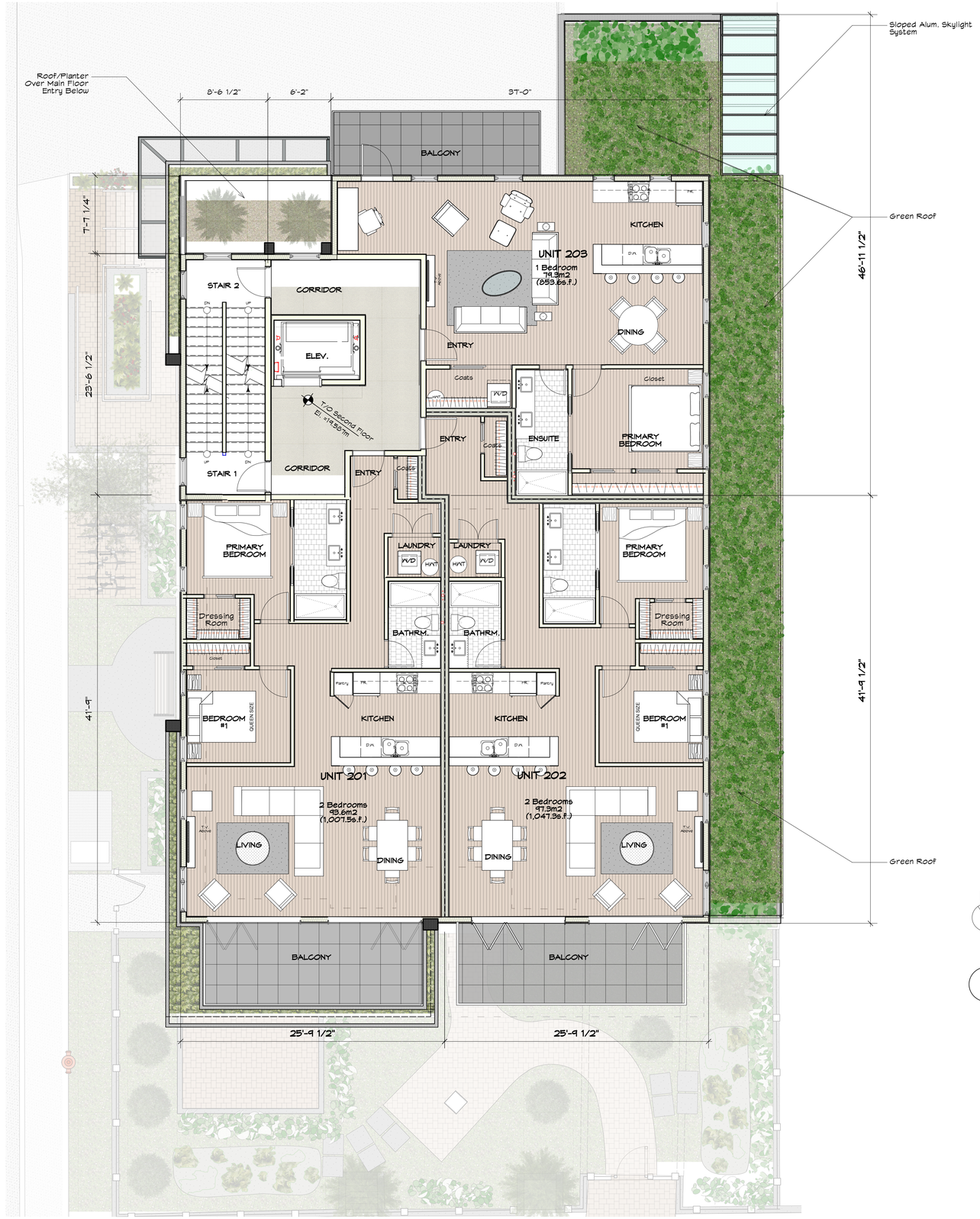
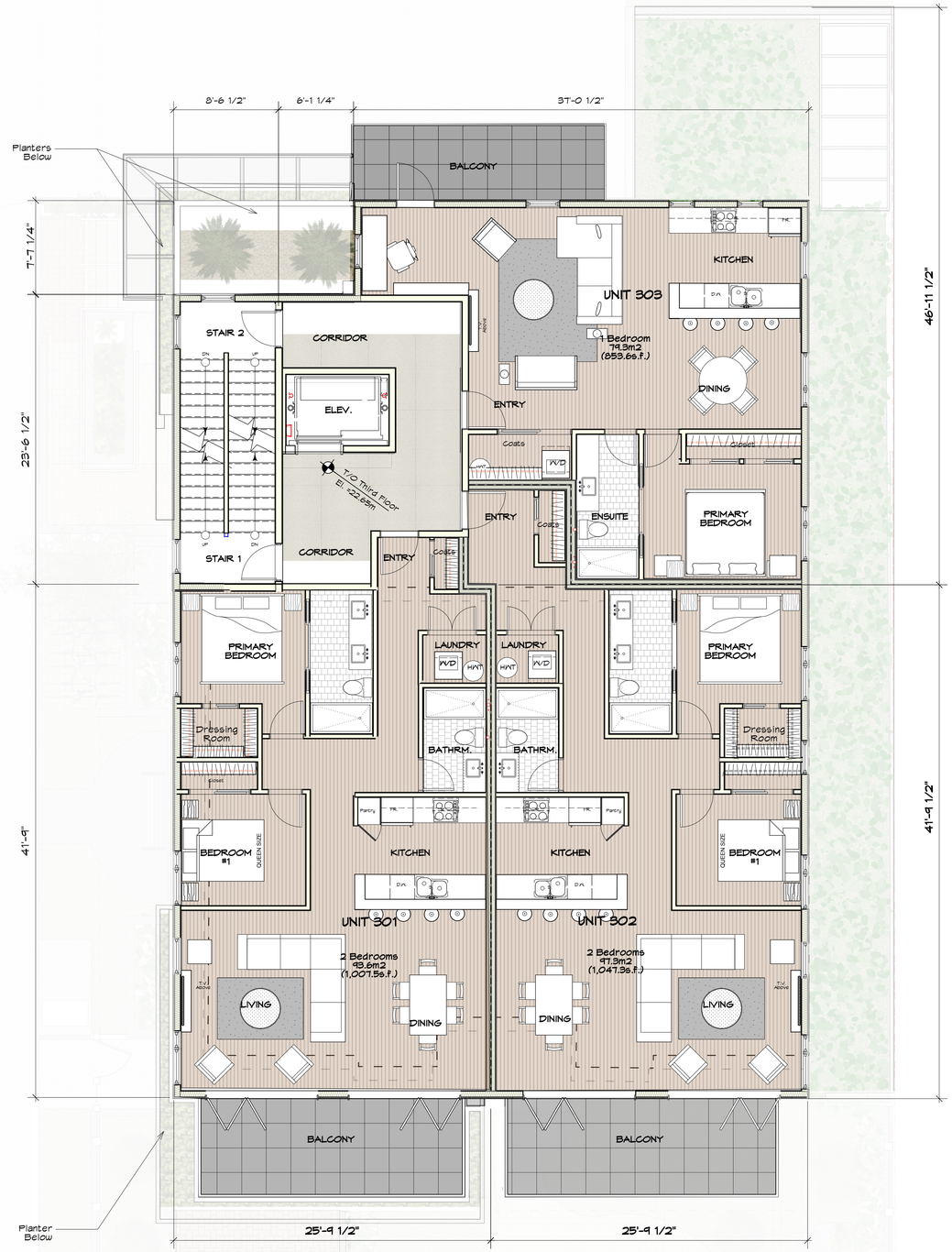
1 Parkade (Main) Floor Plan
Scale: 3/16" = 1'-0"

project name: 9 unit Multi-family Rezoning & Development Permit Application				project no. 2340
600 Dallas Road, Victoria, B.C.				
drawing title: Parkade & Main FLoor Plans	drawn by: mjm / checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-2.1



1 Second Floor Plan
Scale: 1/8" = 1'-0"

project name: 9 unit Multi-family Rezoning & Development Permit Application				project no. 2340
600 Dallas Road, Victoria, B.C.				
drawing title: Second Floor Plans	drawn by: mjm / checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-2.2



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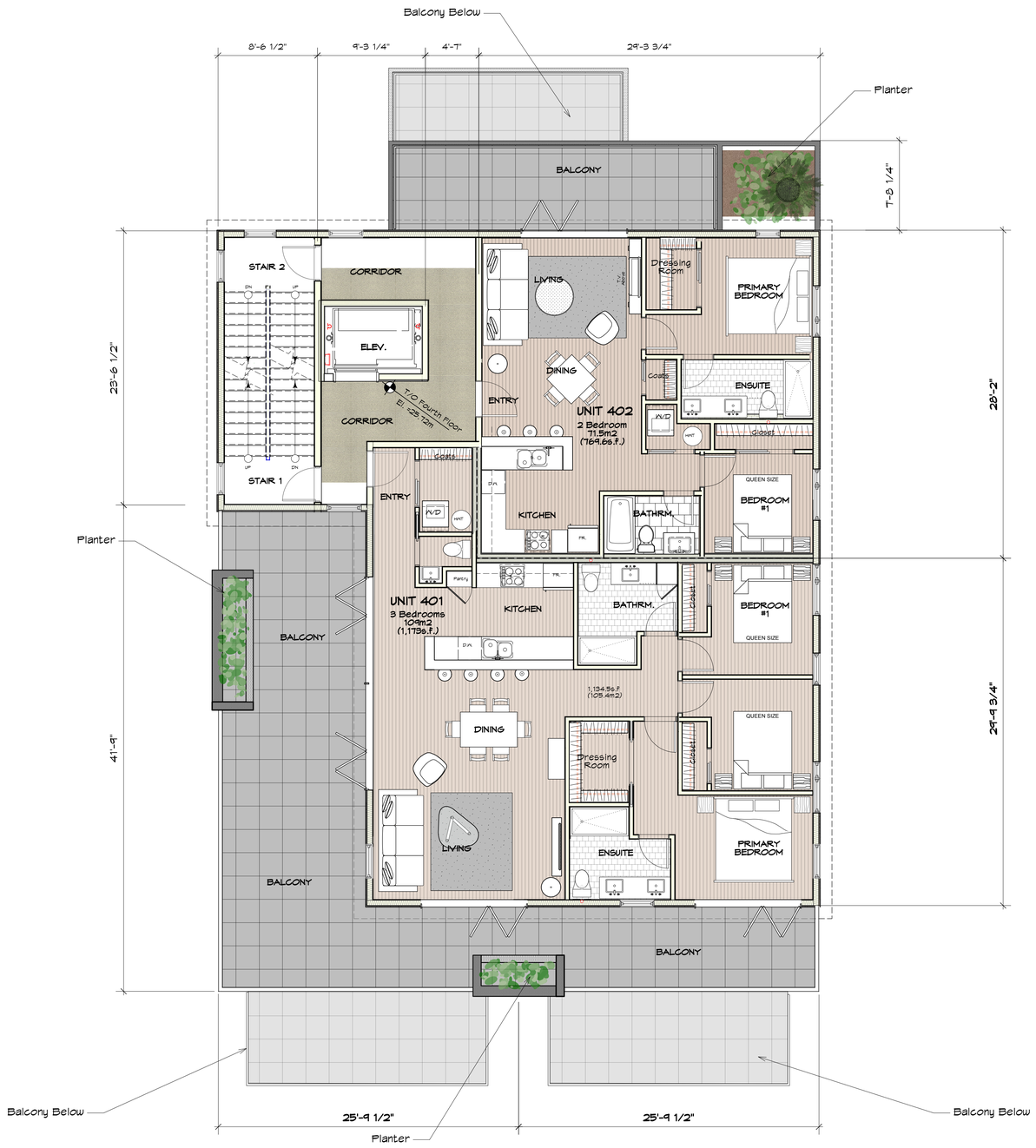
1 Third Floor Plan
Scale: 1/8" = 1'-0"

project name: 9 unit Multi-family Rezoning & Development Permit Application				project no. 2340
600 Dallas Road, Victoria, B.C.				
drawing title: Third Floor Plans	drawn by: mjm checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-2.3



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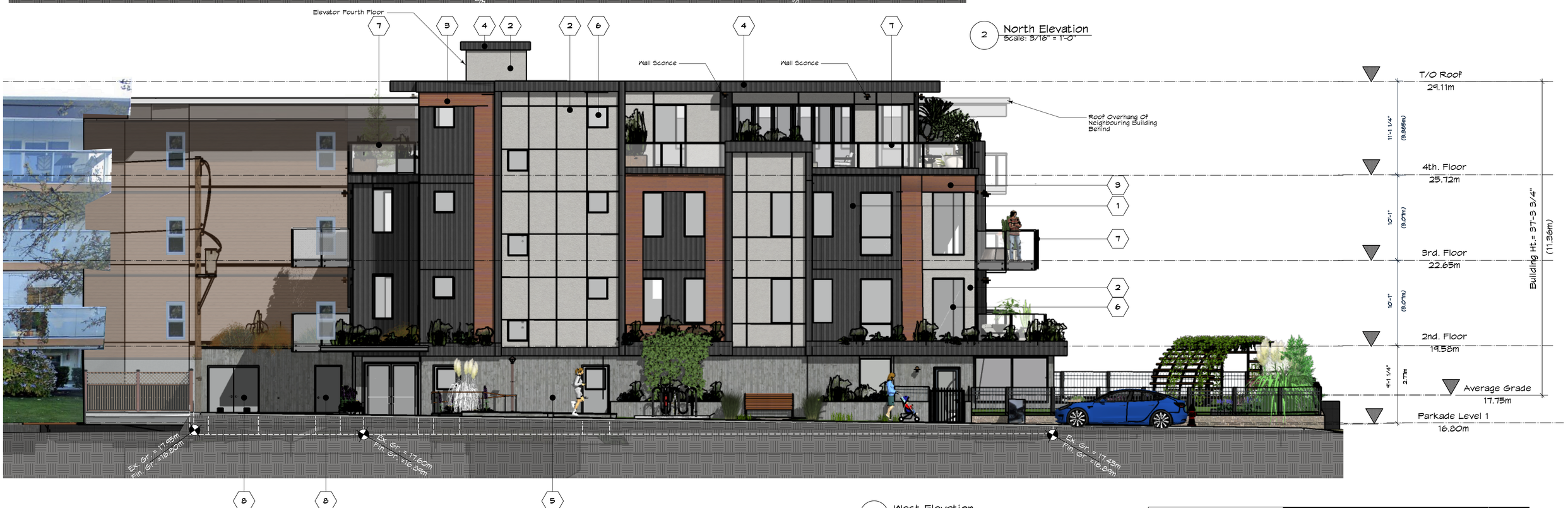
1 Fourth Floor Plan
Scale: 1/8" = 1'-0"

	project name: 9 unit Multi-family Rezoning & Development Permit Application			project no. 2340
	600 Dallas Road, Victoria, B.C.			
drawing title: Fourth Floor Plans	drawn by: mjm / checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-2.4

1 Roof Plan
Scale: 3/16" = 1'-0"

project name: 9 unit Multi-family Rezoning & Development Permit Application				project no. 2340
600 Dallas Road, Victoria, B.C.				
drawing title: Roof Plan	drawn by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-2.5
	checked by: mjm			

2 North Elevation
Scale: 3/16" = 1'-0"



1 West Elevation
Scale: 3/16" = 1'-0"

MATERIAL LEGEND

1	Vert. Metal Siding Finish
2	Hardie Panels (Ptd. White) W/ 3/8" Reveal Panel Gaps
3	Horizontal Cedar Cladding
4	Pre-Fin. Metal Flashing
5	Boardformed (Vert.) Concrete
6	Thermally Broken Dbl. Glazed Vinyl Windows (Blk.)
7	Face-mounted Alum. Picket Guardrails (Blk.)
8	Hollow Metal Door in Pressed Steel Frame (Ptd.)

project name: 9 unit Multi-family Rezoning & Development Permit Application				project no. 2340
600 Dallas Road, Victoria, B.C.				
drawing title: West & North Elevations	drawn by: mjm / checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-4.1

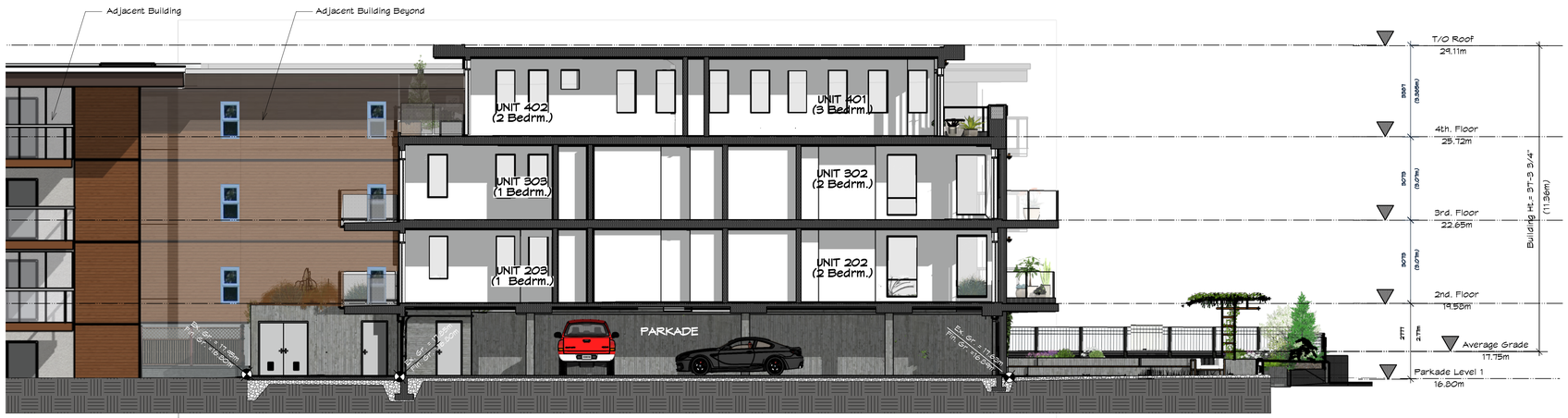
2 South Elevation
Scale: 3/16" = 1'-0"

MATERIAL LEGEND

1	Vert. Metal Siding Finish
2	Hardie Panels (Ptd. White) W/ 3/8" Reveal Panel Gaps
3	Horizontal Cedar Cladding
4	Pre-Fin. Metal Flashing
5	Boardformed (Vert.) Concrete
6	Thermally Broken Dbl. Glazed Vinyl Windows (Blk.)
7	Face-mounted Alum. Picket Guardrails (Blk.)
8	Hollow Metal Door in Pressed Steel Frame (Ptd.)

1 East Elevation
Scale: 3/16" = 1'-0"

project name: 9 unit Multi-family Rezoning & Development Permit Application				project no. 2340
600 Dallas Road, Victoria, B.C.				
drawing title: South & East Elevations	drawn by: mjm / checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-4.2



2 N/S Section Looking East
Scale: 1:96

1 E/W Section Looking South
Scale: 1:96

project name: 9 unit Multi-family Rezoning & Development Permit Application				project no. 2340
600 Dallas Road, Victoria, B.C.				
drawing title: Sections	drawn by: mjm checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-5.1

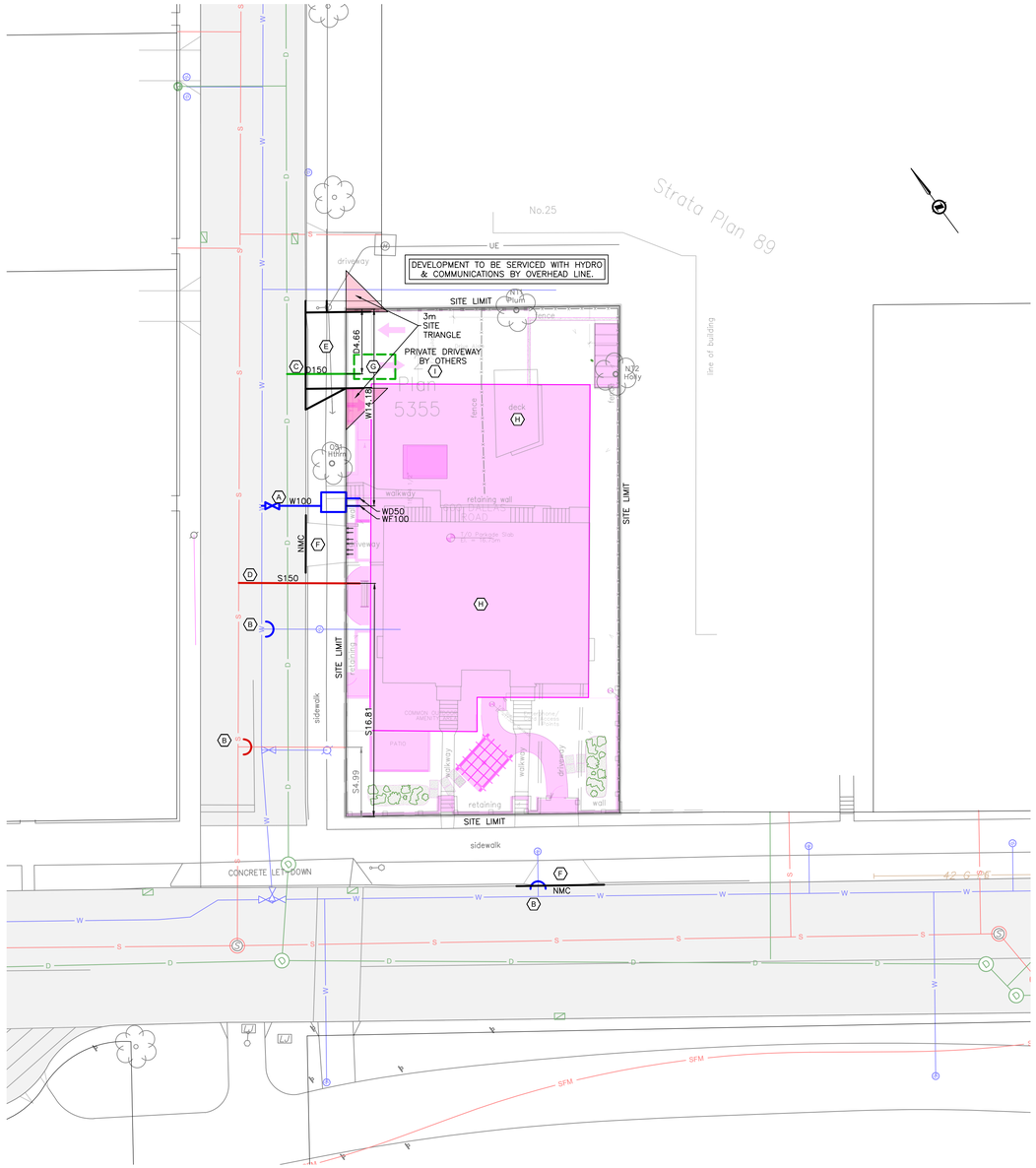
		project name: **9 unit Multi-family Rezoning & Development Permit Application**			project no. **2340**
MJM Architect Inc.		**600 Dallas Road, Victoria, B.C.**			
	#10, 909 Vancouver Street, Victoria, B.C. V8V 3V6 ph:(250)661-5492 e-mail: mjmoody@shaw.ca	drawing title: **Exterior Views**	drawn by: mjm checked by: mjm	scale: As Noted	date: **24/12/02** yy/mm/dd	drawing no. **SK-6.1**

MJM Architect Inc.	project name: 9 unit Multi-family Rezoning & Development Permit Application			project no. 2340
#10, 909 Vancouver Street, Victoria, B.C. V8V 3V6 ph:(250)661-5492 e-mail: mjmoody@shaw.ca	600 Dallas Road, Victoria, B.C.			
	drawing title: Exterior Views	drawn by: mjm / checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-6.2

2 STreetscape Looking North From Dallas Road
Scale: 3/32" = 1'-0"

1 STreetscape Looing East on Government Street
Scale: 3/32" = 1'-0"

MJM Architect Inc.	project name: 9 unit Multi-family Rezoning & Development Permit Application			project no. 2340
	600 Dallas Road, Victoria, B.C.			
#10, 909 Vancouver Street, Victoria, B.C. V8V 3V6 ph:(250)661-5492 e-mail: mjmoody@shaw.ca	drawing title: Streetscapes	drawn by: mjm checked by: mjm	scale: As Noted	date: 24/12/02 yy/mm/dd	drawing no. SK-6.3



SITE SERVICING PLAN
H 1:200

PRELIMINARY SERVICING NOTES:

(A) NEW 100mm FIRE WATER SERVICE AND 50mm DOMESTIC WATER SERVICE C/W METER AT DEVELOPERS EXPENSE. DETAILS TO BE CONFIRMED AT BUILDING PERMIT.

(B) SERVICES TO BE CAPPED AT DEVELOPERS EXPENSE.

(C) CITY OF VICTORIA TO INSTALL NEW 150mm DRAIN SERVICE COMPLETE WITH IC AT DEVELOPERS EXPENSE.

(D) CITY OF VICTORIA TO INSTALL NEW 150mm SEWER SERVICE COMPLETE WITH IC AT DEVELOPERS EXPENSE.

(E) CONTRACTOR TO INSTALL NEW 5.5m WIDE CONCRETE DRIVEWAY APRON AS PER CITY OF VICTORIA SD C7a.

(F) CONTRACTOR TO REMOVE EXISTING DRIVEWAYS, REINSTATE BOULEVARD AND INSTALL NEW NON-MOUNTABLE CURB. DETAILS TO BE CONFIRMED AT BUILDING PERMIT.

(G) ONSITE STORMWATER MANAGEMENT AREA COMPLETE WITH UNDERGROUND STORAGE / INFILTRATORS AND SEDIMENT SUMP WITH FLOW CONTROL AS PER CoV RAINWATER MANAGEMENT STANDARDS – PROFESSIONAL EDITION. DETAILS TO BE CONFIRMED AT BUILDING PERMIT.

(H) EXISTING STRUCTURES TO BE REMOVED. OWNER TO APPLY FOR SEPARATE DEMO PERMIT.

(I) ONSITE GRADING FOR 6m AS PER CoV HIGHWAY ACCESS BYLAW.

CLIMATE FORWARD FEATURES:

NOTE: PRIVATE ON-SITE STORMWATER MANAGMENT WILL USE BMP's AND MAY INCLUDE:

- MIX OF PERMEABLE AND UNIT PAVERS
- BIOSWALE OR RAIN GARDEN INLETS WHERE POSSIBLE.
- INFILTRATION,
- SEDIMENT SUMPS, AND
- FLOW CONTROLS

PRELIMINARY STORMWATER MANAGEMENT NOTES:

DETAILED STORMWATER MANAGEMENT DESIGN AND CALCULATIONS TO BE CONFIRMED AT BUILDING PERMIT.

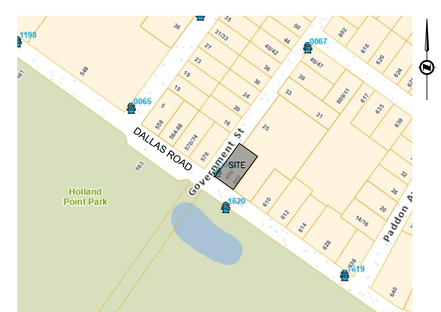
PRELIMINARY STORAGE CALCULATIONS: 200m^3 per HECTARE. = 0.07HA = 14m^3.

STORAGE TO BE PROVIDED UNDERGROUND. LOCATIONS AND TYPE TO BE CONFIRMED AT BUILDING PERMIT.

RUN-OFF TREATMENT BY TREATMENT TRAIN APPROACH WITH SEDIMENT SUMPS AND FLOW CONTROL MANHOLE. DETAILS AND RELEASE RATE TO BE CONFIRMED AT BUILDING PERMIT.

ALL PERIMETER DRAINS TO BYPASS FLOW CONTROL DEVICES.

ALL ROOF LEADERS AND HARD SURFACE RUN-OFF TO BE DIRECTED TO ONSITE STORMWATER MANAGEMENT AREAS OR LANDSCAPED AREAS FOR TREATMENT.



KEY PLAN
1:2500

LEGAL DESCRIPTION: LOT 2, SECTION 5, BECKLEY FARM, VICTORIA CITY, PLAN 5355

BENCHMARK: MONUMENT _____ ELEV. _____

600 DALLAS PRELIMINARY SITE SERVICING

Scale horiz.	1:200	Scale vert.	
Sheet	1 of 1		
Eng. Project No.	34922		
Drafted by.	KHG		

J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

20241121

ISSUED FOR DEVELOPMENT PERMIT

1:200 0 4 12m

\\victoria01\common_Projects\34956 – Peddle – 600 Dallas\05 – Engineering\03 – Drawings & Sketches (Eng)\34956 – DP PRODUCTION.dwg Plot Date: November 21, 2024

RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE /REMARKS
TREES		
Fagus sylv. Dawyckii Gold	Columnar Gold Beech	5cm. cal. /B&B
Styrax japonica	Japanese Snowbell	3cm. cal. /B&B
SHRUBS & PERENNIALS		
Alchemilla mollis robusta	Lady's Mantle	#1 Pot
Buxus Microphylla Winter Gem	Littleleaf Boxwood	#5 Pot
Calamagrostis x acutiflora	Karl Foerster Grass	#1 Pot
Euonymus Alatus Compacta	Dwarf Burning Bush	#5 Pot
Euphorbia characias Wulfenii	Wolf's Euphorbia	#5 Pot
Hamamellis Int. Jelena	Orange Witch Hazel	1.5M. Ht.
Hakonechloa macra aureola	Hakone Grass	#1 Pot
Hosta Hadspen Blue	Hadspen Blue Hosta	#1 Pot
Lavandula Munstead	English Lavender	#1 Pot
Liriope Muscari	Big Blue Lily Turf	#1 Pot
Mahonia aquifolium "	Oregon Grape	#5 Pot
Ophiopogon planiscapus nigra	Black Mondo Grass	#1 Pot
Polystichum munitum"	Western Sword Fern	#3 Pot
Ribes Sang. King Edward"	Ornamental Currant	#5 Pot
Rosemary Officinalis	Rosemary	#3 Pot
Rudbeckia Fulgida	Orange Coneflower	#1 Pot
Spiraea japonica Goldflame	Goldflame Spirea	#3 Pot
VINES & GROUNDCOVER		
Arctostaphylos uva ursi "	Kinnickinnick	SP3
Gaultheria procumbens"	Wintergreen	SP3
Thymus pseudolanuginosus	Wooly Thyme	SP3

NOTES:

THIS PLAN IS NOT FOR CONSTRUCTION.

Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition).
All growing medium to comply to BCLSA/ BCLNA standard designation "1P - Level-1 Well Groomed Areas". Greenroof soil depth to comply with required Greenroof soil requirements. Greenroof to include a temproary irrigation system approved by project Landscape Architect. Automatic underground irrigation system to be installed. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IIABC Standards. Irrigation to include a timer and rain sensor. Drip irrigation for groundcover and shrub beds, emitter loops for trees, and sprays for lawn areas. All irrigation piping under hardsurfaces to be sleeved. Boulevard lawn or plantings must be compliant with City of Victoria Specifications and Standards.
Fencing to be built as shown on plan; portions of fencing along sideyards may be built with trellis top as an option.
Proposed Street tree locations and species selection to be approved by City of Victoria Parks Dept. Street trees must have one dominant central leader or single straight trunk, 6-8cm diameter caliper measured 15cm above ground, and a well balanced crown with the branching starting at 1.8m -2.5m above ground. trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) or the Canadian Landscape Standard.

Required Parks inspections for street tree planting: 1. Inspection of soil and planting area prior to planting. 2. Inspection of tree stock prior to planting. 3. Inspection of installed tree. Trees must be in good health and condition with no signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arbourist where necessary. Arbourist to install tree protection fencing for boulevard trees where necessary. See also Davey Resource Group Arborist Report dated September 11, 2024. See also (specifically) Arborist Tree Management Plan (Appendix 4) and Replacement Tree Plan (Appendix 5) dated September 11, 2024.
Boulevard landscape to remain unchanged from existing. Driveway crossing to be removed and grassed boulevard to be reinstated to municipal standards and City of Victoria approval.
The details for the seed and sod boulevard can be found in schedule B3-4. Ensure that adequate soil volumes for the proposed street trees are installed in the grass boulevards. Required inspections for seed and sod boulevard: 1. Inspection of excavation and scarified subgrade prior to backfill. 2. Inspection of installed, rolled and prepared growing medium prior to sodding. 3. Inspection when the installed turfgrass meets the conditions for total performanced as required in the Current Edition of the Canadian Landscape Standard. A soil test for the growing media, for each landscape application on City Property must be submitted top City Parks for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria webpage.

LEGEND

HARDSCAPE FINISHES:

- PP1 — CIP natural finish concrete Driveway, Natural colour
- PP2 — Concrete unit paving, Origins by Belgard, all sizes, Tofino Gray colour
- PP3 — Concrete unit paving, Origins by Belgard, all sizes, Iron Bay colour
- PP4 — 1/2" crushed gravel base
- PP5 — CIP concrete sidewalk, Natural

SOFTSCAPE:

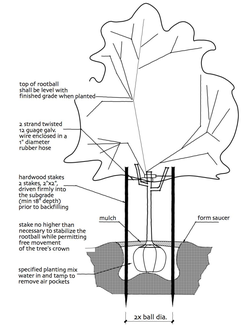
- Lawn
- Planting area c/w groundcover planted
- Green roof planting area

MISCELLANEOUS:

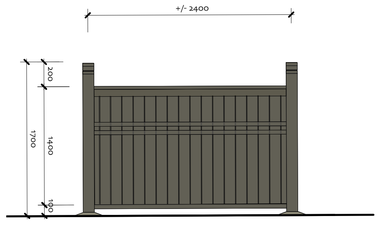
- New concrete or mortared rock retaining/upstand walls; Heights vary.
- Exist concrete or mortared rock retaining/upstand walls; Heights vary.

NOTES:

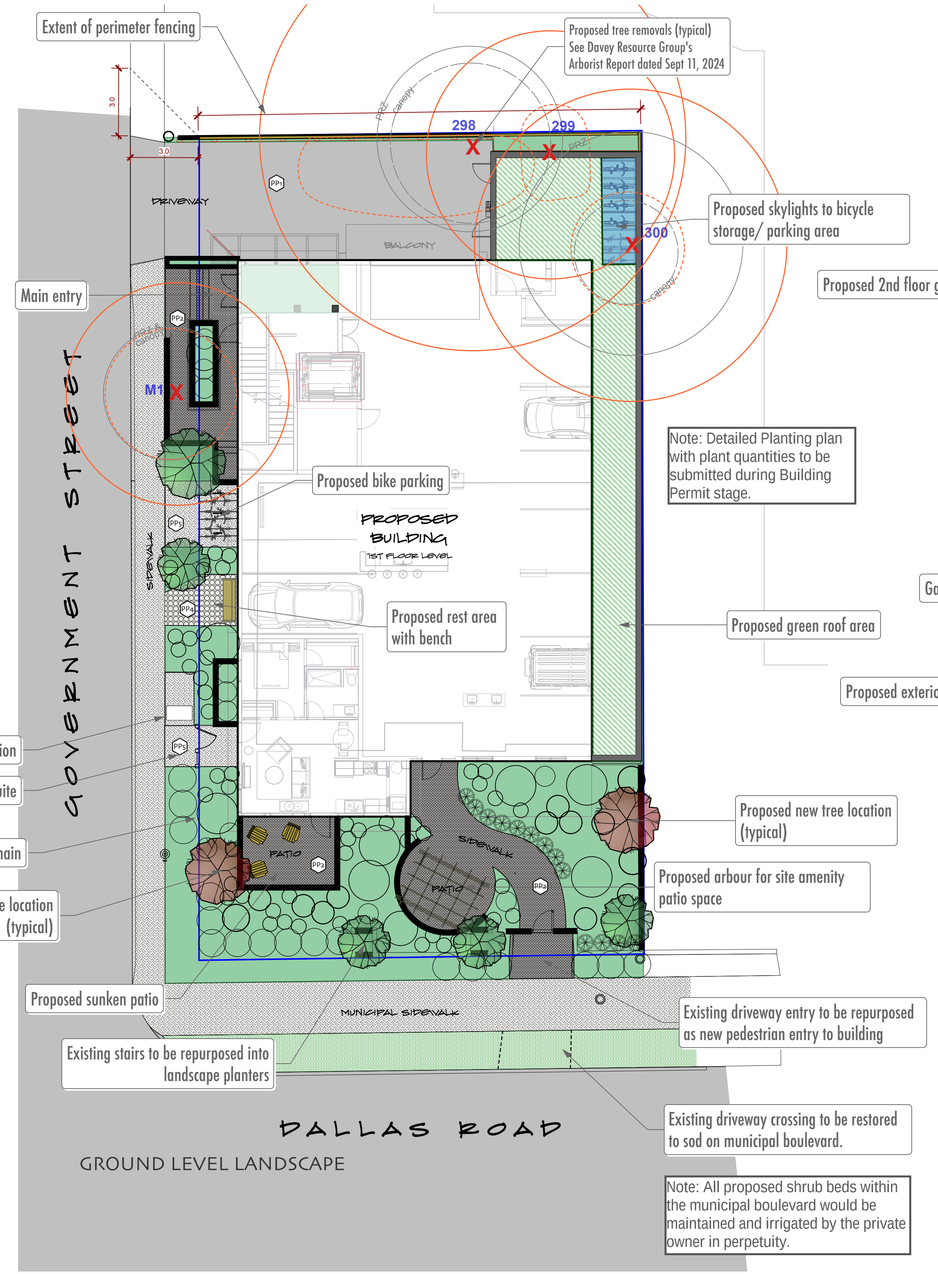
1) All building layout information and setback dimensions supplied by MJM Architect Inc.
2) All survey information supplied by MJM Architect Inc.
3) This drawing must not be scaled. The General Contractor shall verify all dimensions, datums and levels prior to commencement of work.
4) All errors and omissions must be reported immediately to the Designer.
5) This drawing is the exclusive property of the Designer and can be reproduced only with the permission of the designer, in which case the reproduction must bear the designers name.



TREE PLANTING DETAIL
SCALE: NTS

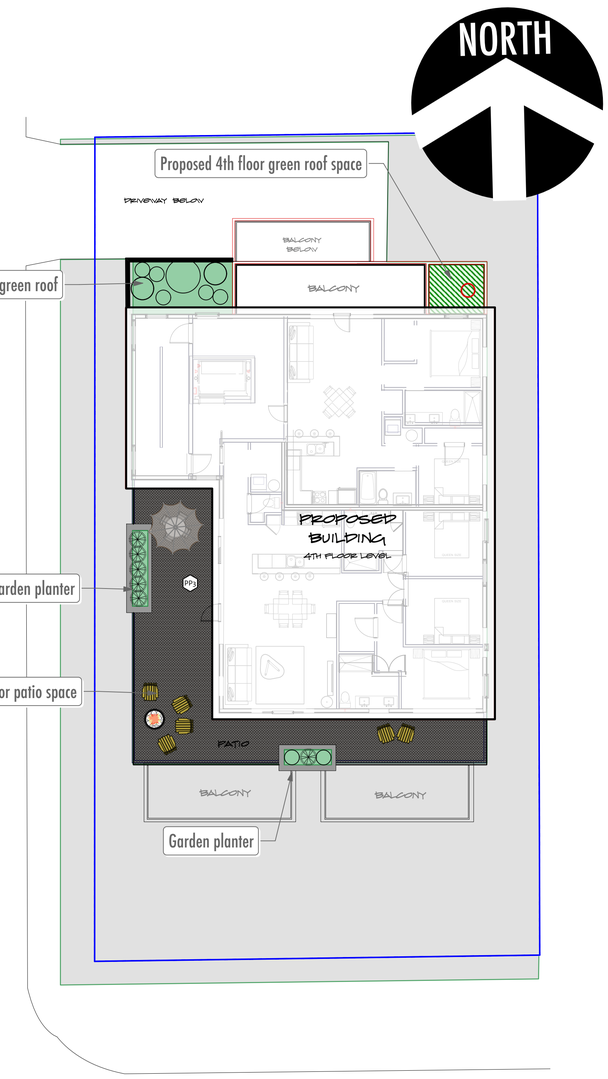


PERIMETER FENCING DETAIL
SCALE: NTS



GROUND LEVEL LANDSCAPE

Note: All proposed shrub beds within the municipal boulevard would be maintained and irrigated by the private owner in perpetuity.



GREEN ROOF LANDSCAPE PLAN

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
DANIKA HAZEL PROVEN
522

SKL.01
10.JULY.2024
1 : 1 2 5
LATEST REVISION: 25.NOVEMBER.2024

NOT FOR CONSTRUCTION.
FOR DEVELOPMENT PERMIT ONLY.

600 DALLAS ROAD
LANDSCAPE LAYOUT

STUDIO ONE CREATIVE
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CALID SERVICES LTD
250.388.6919 - 2750 Quadra St, Victoria, BC

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:: RESIDENTIAL DEVELOPMENT :: 600 DALLAS ROAD :: SKL.01 :: landscape layout ::