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VIEW FROM INTERSECTION OF DOUGLAS STREET AND TORONTO STREET. FOR ADDITIONAL RENDERINGS, REFER TO SUBMITTED REZONING PRESENTATION PACKAGE.

Rezoning & Development Permit Revision 24.05.03

ARCHITECTURAL

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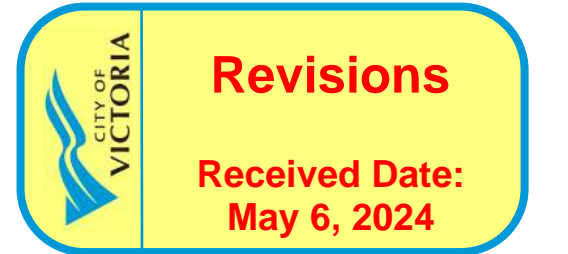
LANDSCAPE

- LANDSCAPE CONCEPT PLAN
- TREE MANAGEMENT PLAN

SURVEY

- PLOT PLAN

NOTE: REFER TO SUBMITTED PRESENTATION PACKAGE FOR SUPPLEMENTAL GRAPHIC INFORMATION INCLUDING SITE ANALYSIS, SHADOW STUDIES, AND RENDERINGS. DRAWING PACKAGE AND PRESENTATION PACKAGE ARE TO BE REVIEWED IN CONJUNCTION.



DOUGLAS STREET APARTMENTS 350 & 360 Douglas St. Victoria, BC V8V 2P5

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Electrical

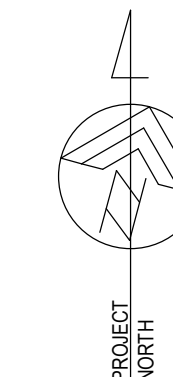
AES Engineering
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Landscape

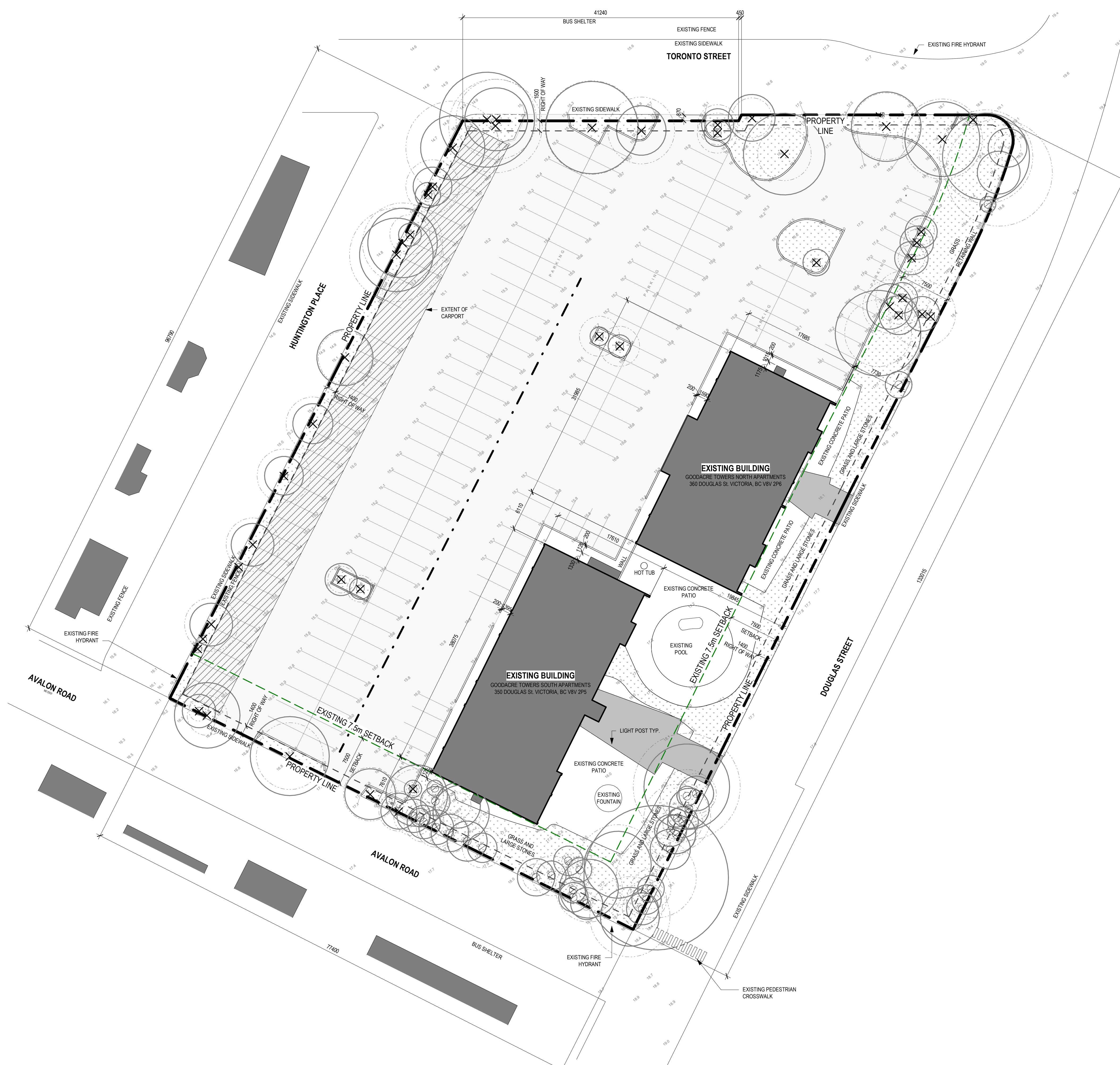
LADR
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DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.
Victoria, BC V8V 2P5

SITE LEGEND	
PROPERTY LINE	
SETBACK LINE	
(URW) UTILITY RIGHT OF AWAY	
STORM LINE	
GAS LINE	
WATER LINE	
DRAINAGE LINE	
TELEPHONE LINE	
PARKADE OUTLINE	
UTILITY POLE	
TRAFFIC SIGN	
CATCH BASIN	



Issued/ Revision Schedule

no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20

Seal

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Drawing Title
EXISTING SITE PLAN

Sheet
DP1.01

Scale	Project No.
As indicated	22.703

EXISTING SITE PLAN

1
DP1.01

1 : 300

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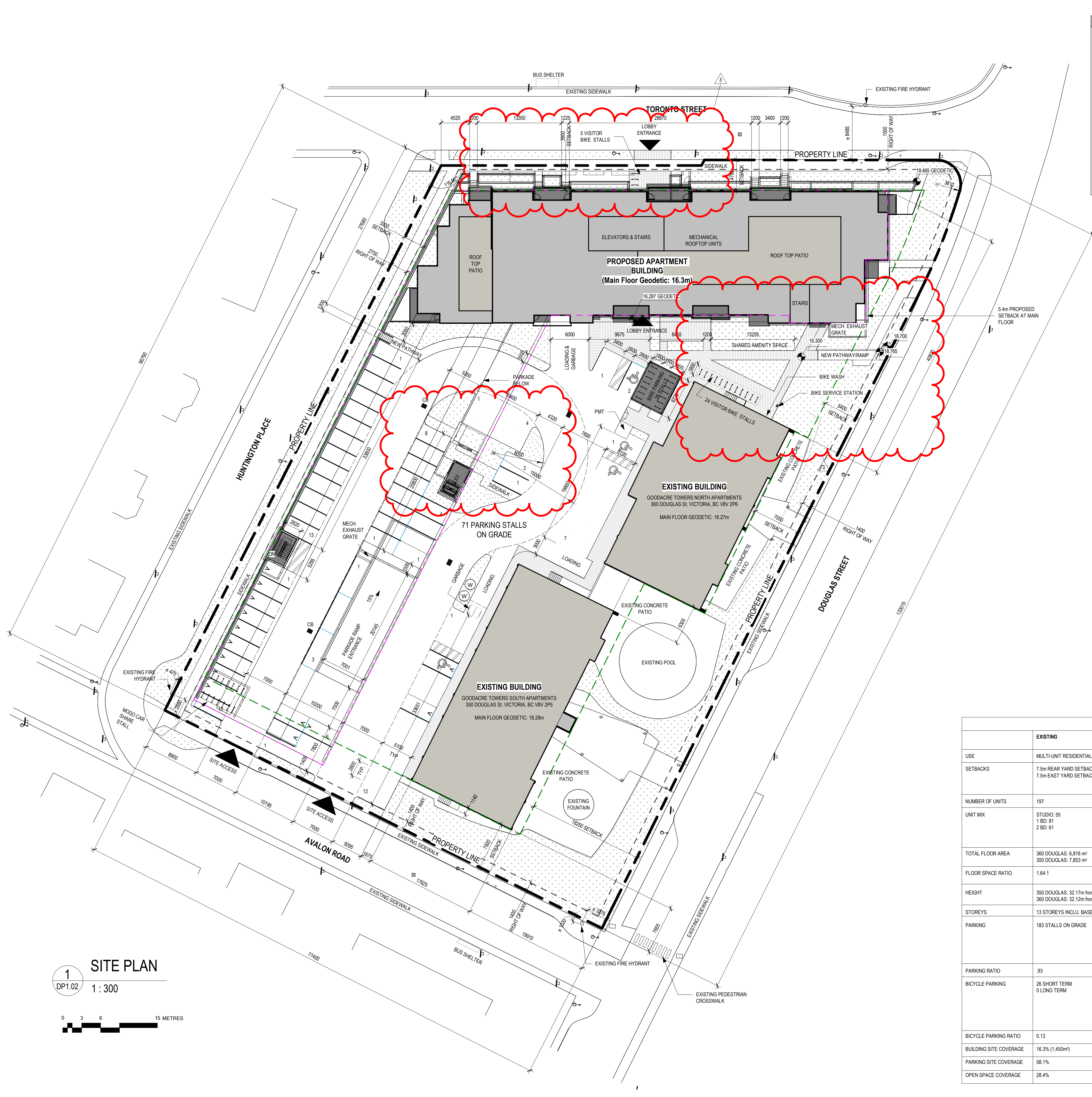
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Drawing Title
PROPOSED SITE PLAN

DP1.02 Sheet

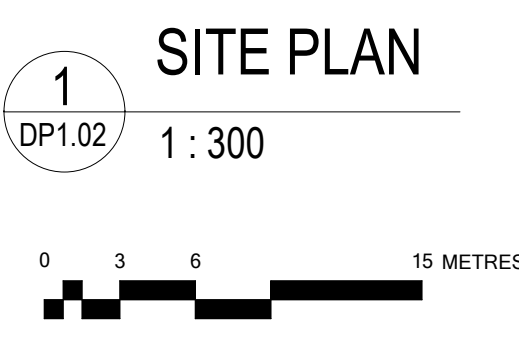
Scale	Project No.
As indicated	22.703



SITE LEGEND	
PROPERTY LINE	---
SETBACK LINE	- - -
(URW) UTILITY RIGHT OF AWAY	- · - · -
STORM LINE	---
GAS LINE	---
WATER LINE	---
DRAINAGE LINE	---
TELEPHONE LINE	---
PARKADE OUTLINE	- · - · -
UTILITY POLE	○
TRAFFIC SIGN	⊠
CATCH BASIN	⊠

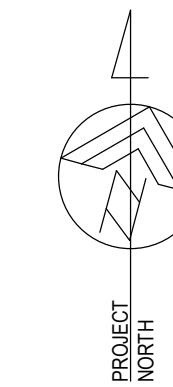
PROJECT INFORMATION TABLE	
ADDRESS:	350 & 360 Douglas St, Victoria
LEGAL ADDRESS:	LOT 1, BECKLEY FARM, VICTORIA CITY, PLAN 18452
EXISTING ZONING:	R3-H MULTI-UNIT RESIDENTIAL
PROPOSED ZONING:	R3-H MULTI-UNIT RESIDENTIAL
SITE AREA:	8933m ²
COMMERCIAL FLOOR AREA:	0m ²
FRONT YARD SETBACK:	3.9m NORTH SIDE
REAR YARD SETBACK:	7.5m SOUTH SIDE
SIDE YARD SETBACK:	3.3m WEST SIDE
SIDE YARD SETBACK:	5.4m EAST SIDE
PROJECTIONS INTO SETBACKS (MAXIMUM):	BALCONIES: 0.7m CANOPIES: 1.0m STEPS: 2.7m
TOTAL NUMBER OF UNITS:	90 UNITS
UNIT TYPE:	1 BEDROOM: 34 1 BEDROOM + DEN: 21 2 BEDROOM: 31 3 BEDROOM: 4
GROUND-ORIENTATED UNITS:	12 UNITS
MINIMUM UNIT FLOOR AREA:	47m ²

ZONING COMPARISON				
	EXISTING	PERMITTED (R3-H) FOR COMPARISON ONLY	PROPOSED (NEW BLDG ONLY)	PROPOSED (ENTIRE SITE)
USE	MULTI-UNIT RESIDENTIAL	MULTI-UNIT RESIDENTIAL	MULTI-UNIT RESIDENTIAL	MULTI-UNIT RESIDENTIAL
SETBACKS	7.5m REAR YARD SETBACK 7.5m EAST YARD SETBACK	7.5m SETBACK FROM CENTRELINE OF STREET, HAVING A BOUNDARY IN COMMON	3.9m FRONT YARD SETBACK 7.5m REAR YARD SETBACK 5.4m EAST YARD SETBACK 3.3m WEST YARD SETBACK	3.9m FRONT YARD SETBACK 7.5m REAR YARD SETBACK 5.4m EAST YARD SETBACK 3.3m WEST YARD SETBACK
NUMBER OF UNITS	197	N/A	90	287
UNIT MIX	STUDIO: 55 1 BD: 81 2 BD: 61	N/A	1 BD: 34 1BD+DEN: 21 2 BD: 31 3 BD: 4	STUDIO: 55 1 BD: 115 1BD+DEN: 21 2 BD: 92 3 BD: 4
TOTAL FLOOR AREA	360 DOUGLAS: 6,816 m ² 350 DOUGLAS: 7,853 m ²		7,244m ²	21,913 m ²
FLOOR SPACE RATIO	1.64:1	1.68 2.0 (OCCP)	0.81:1	2.45:1
HEIGHT	350 DOUGLAS: 32.17m from main 360 DOUGLAS: 32.12m from main	34m	24.3m FROM AVE GRADE	34m
STOREYS	13 STOREYS INCL. BASEMENT		6 STOREYS	13 STOREYS
PARKING	183 STALLS ON GRADE	DEPENDENT ON UNIT SIZE	-	159 UNDERGROUND, 71 SURFACE INCLUDING: • ONE MOVD CAR SHARE • 23 VISITOR • 8 ACCESSIBLE TOTAL: 230 STALLS
PARKING RATIO	0.93	N/A	-	0.80
BICYCLE PARKING	26 SHORT TERM 0 LONG TERM	DEPENDENT ON UNIT SIZE	3 SHORT TERM 283 LONG TERM (191 with electrical receptacles) • 28 AT GRADE • 128 IN PARKADE • 127 IN MAIN FLOOR BIKE ROOM	29 SHORT TERM 283 LONG TERM 67 LONG TERM (TO BE PROVIDED IN EXISTING BUILDINGS AS PART OF EXISTING PROJECT, 39 TO BE OVERSIZED) TOTAL: 350 LONG TERM
BICYCLE PARKING RATIO	0.13	-	3.1	1.22
BUILDING SITE COVERAGE	16.3% (1,450m ²)	14%	32.7% (2,919m ²)	49.1% (4,389m ²)
PARKING SITE COVERAGE	58.1%	N/A	-	29.4% (2,623m ²)
OPEN SPACE COVERAGE	28.4%	40%	-	21.7%



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Victoria, BC V8V 2P5

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Seal

Permit

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Drawing Title
**AVERAGE GRADE
CALCULATION**

Sheet
DP1.03

Scale
1 : 300

Project No.
22.703

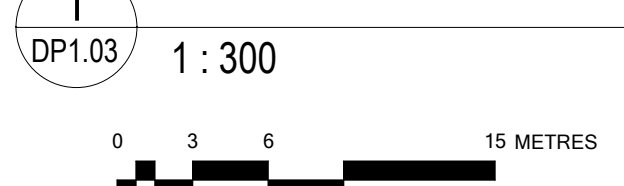


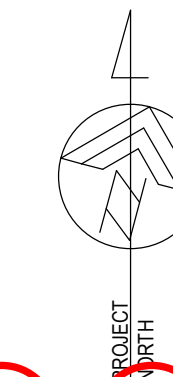
GRADES TO CALCULATE BUILDING HEIGHT

GRADE POINTS	ELEVATION	FROM	TO	AVERAGE ELEVATION	X	DISTANCE	=	TOTALS
A	16.3	A	B	15.7		89.7		1406.4
B	15.1	B	C	16.9		68.7		1164.0
C	18.8	C	D	18.8		10.8		202.1
D	18.8	D	E	18.4		3.6		65.5
E	18.0	E	F	18.2		10.1		184.0
F	18.4	F	G	17.4		15.2		263.0
G	16.3	G	H	16.3		1.3		21.3
H	16.3	H	I	15.9		37.3		593.7
I	15.5	I	J	16.0		79.4		1266.4
J	16.4	J	A	16.3		22.8		372.3
						338.8		5538.9

Average Grade: **16.35**

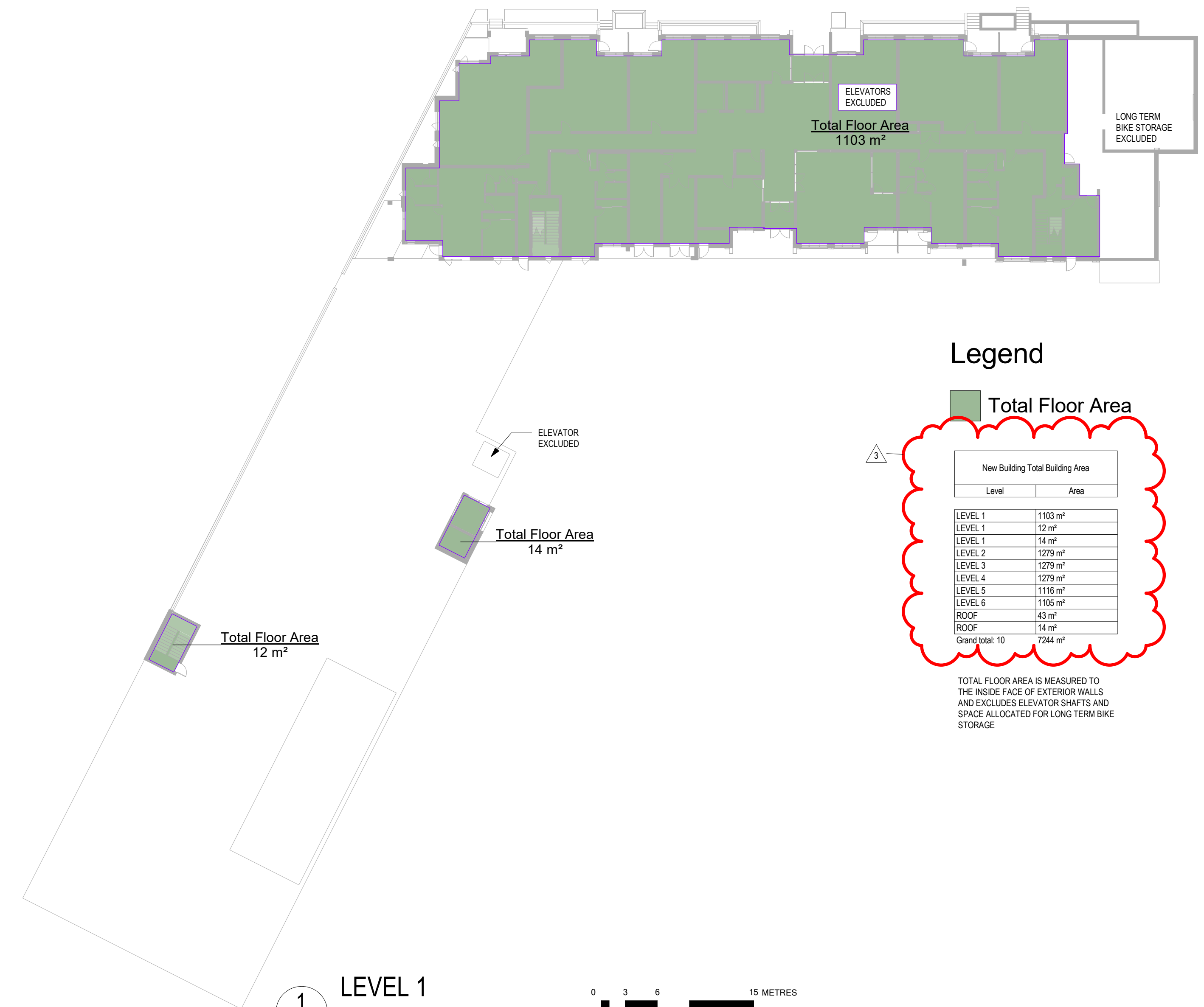
1 NATURAL/EXISTING GRADE PLAN





DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.
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Legend

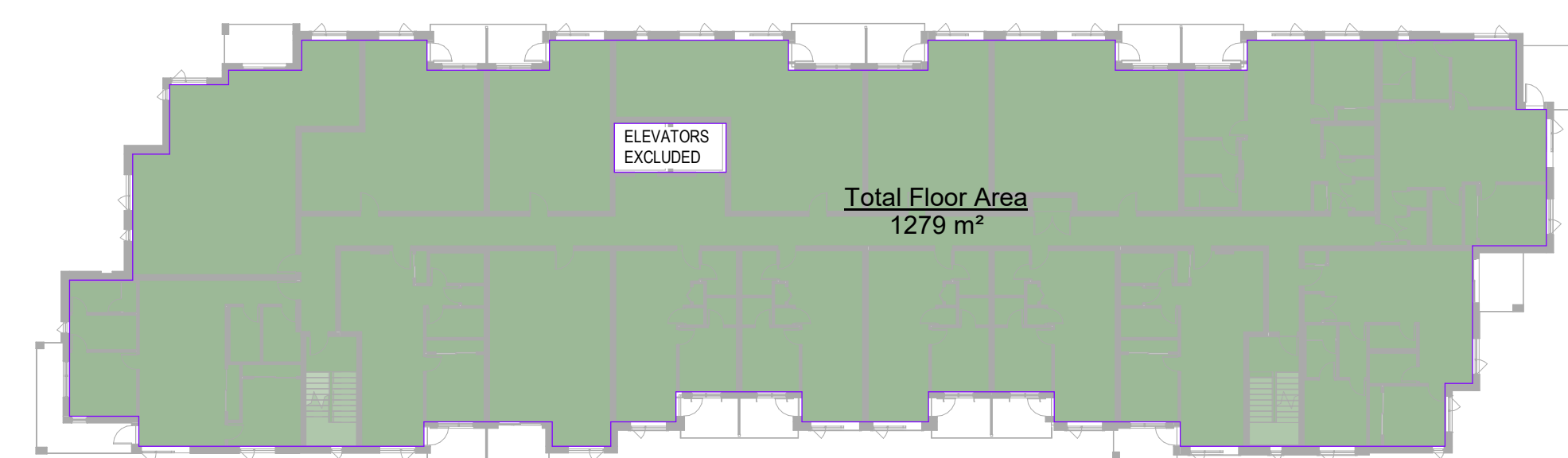
Total Floor Area

New Building Total Building Area	
Level	Area
LEVEL 1	1103 m ²
LEVEL 1	12 m ²
LEVEL 1	14 m ²
LEVEL 2	1279 m ²
LEVEL 3	1279 m ²
LEVEL 4	1279 m ²
LEVEL 5	1116 m ²
LEVEL 6	1105 m ²
ROOF	43 m ²
ROOF	14 m ²
Grand total	7244 m ²

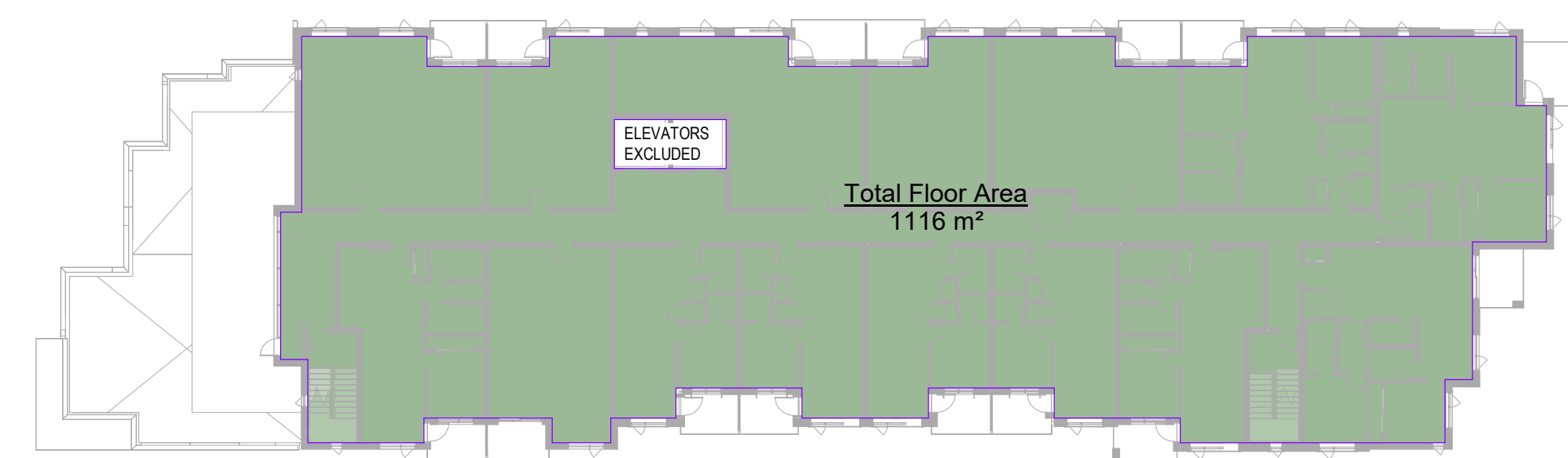
TOTAL FLOOR AREA IS MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS AND EXCLUDES ELEVATOR SHAFTS AND SPACE ALLOCATED FOR LONG TERM BIKE STORAGE

Unit Summary

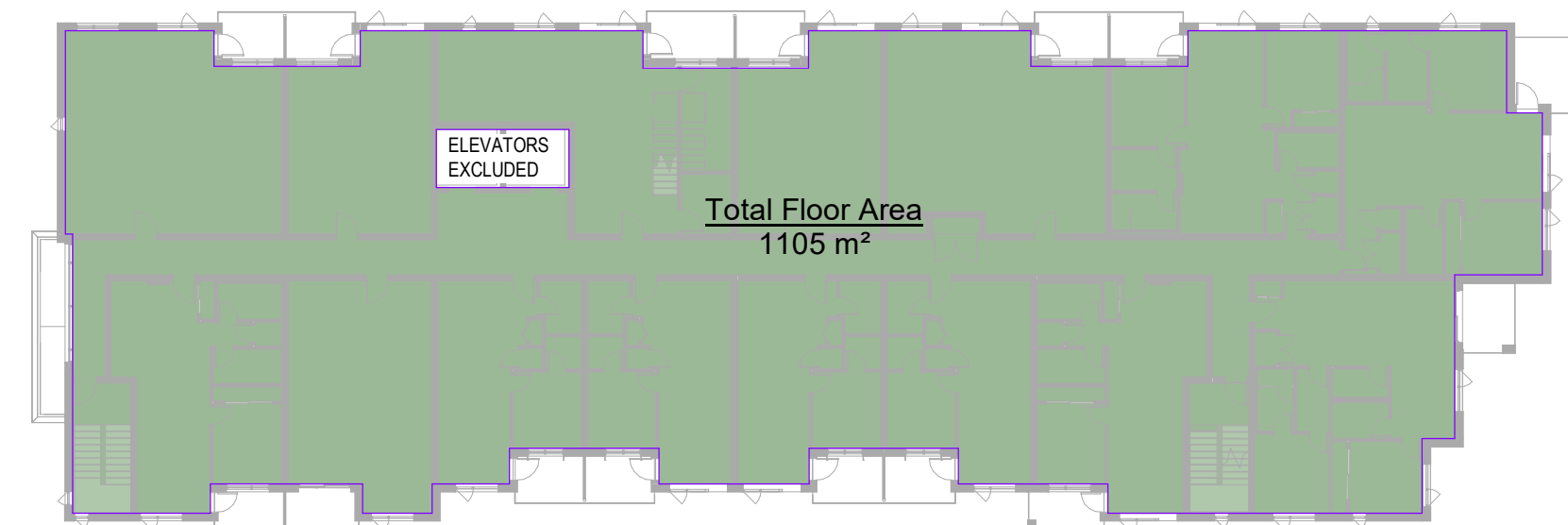
Unit Type	1BD A	1BD B	1BD+D A	1BD+D B	1BD+D C	2BD A	2BD B	2BD C	2BD D	2BD E	2BD F	2BD G	3BD	TOTALS BY LEVEL
Unit Configuration	1 bed	1 bed	1 bed + den	1 bed + den	1 bed + den	2 bed	2 bed	2 bed	2 bed	2 bed	2 bed	3 bed	3 bed	
Unit Size (sf)	543	635	689	689	691	866	879	821	864	788	985	826	969	
Unit Size (sm)	50.4	59.0	64.0	64.0	64.2	80.5	81.7	76.3	80.3	73.2	91.5	76.7	90.0	
Level 1	4	0	2	1	0	0	0	0	0	1	1	0	1	10
Level 2	6	1	2	1	0	1	1	1	1	1	1	0	1	17
Level 3	6	1	2	1	0	1	1	1	1	1	1	0	1	17
Level 4	6	1	2	1	0	1	1	1	1	1	1	0	1	17
Level 5	6	1	2	0	0	1	1	1	1	1	0	1	0	15
Level 6	6	1	2	0	0	1	1	0	1	1	0	1	0	14
TOTALS	34	5	12	4	0	5	5	4	5	6	4	2	4	90
% by Type	38%	6%	13%	4%	0%	6%	6%	4%	6%	7%	4%	2%	4%	100%
UNIT MIX	1 bed		1 bed + den			2 bed							3 bed	
%	43%		18%			34%							4%	
#	39		16			31							4	



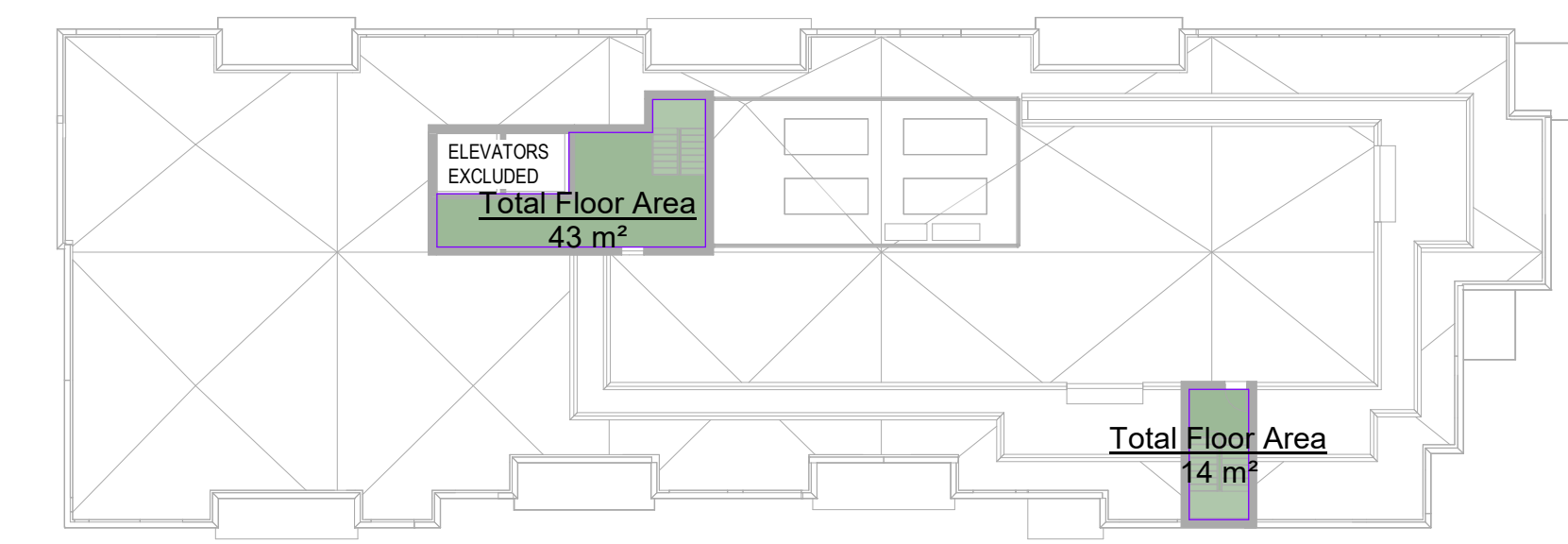
4 LEVEL 4
DP1.04 1 : 300



5 LEVEL 5
DP1.04 1 : 300



6 LEVEL 6
DP1.04 1 : 300



7 ROOF
DP1.04 1 : 300

1 LEVEL 1
DP1.04 1 : 300

2 LEVEL 2
DP1.04 1 : 300

3 LEVEL 3
DP1.04 1 : 300

Issued/ Revision Schedule

no.	description	date
2	Rezoning & Development Permit Revision	23.12.20
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Seal

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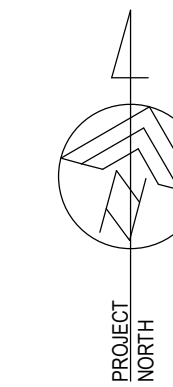
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Drawing Title
TOTAL FLOOR AREA PLANS

Sheet
DP1.04

Scale
1 : 300

Project No.
22.703



DOUGLAS STREET APARTMENTS

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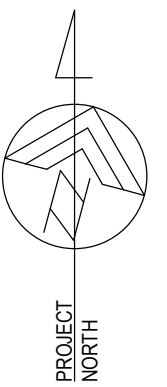
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Drawing Title
SITE COVERAGE PLAN &
BYLAW FRAMEWORK

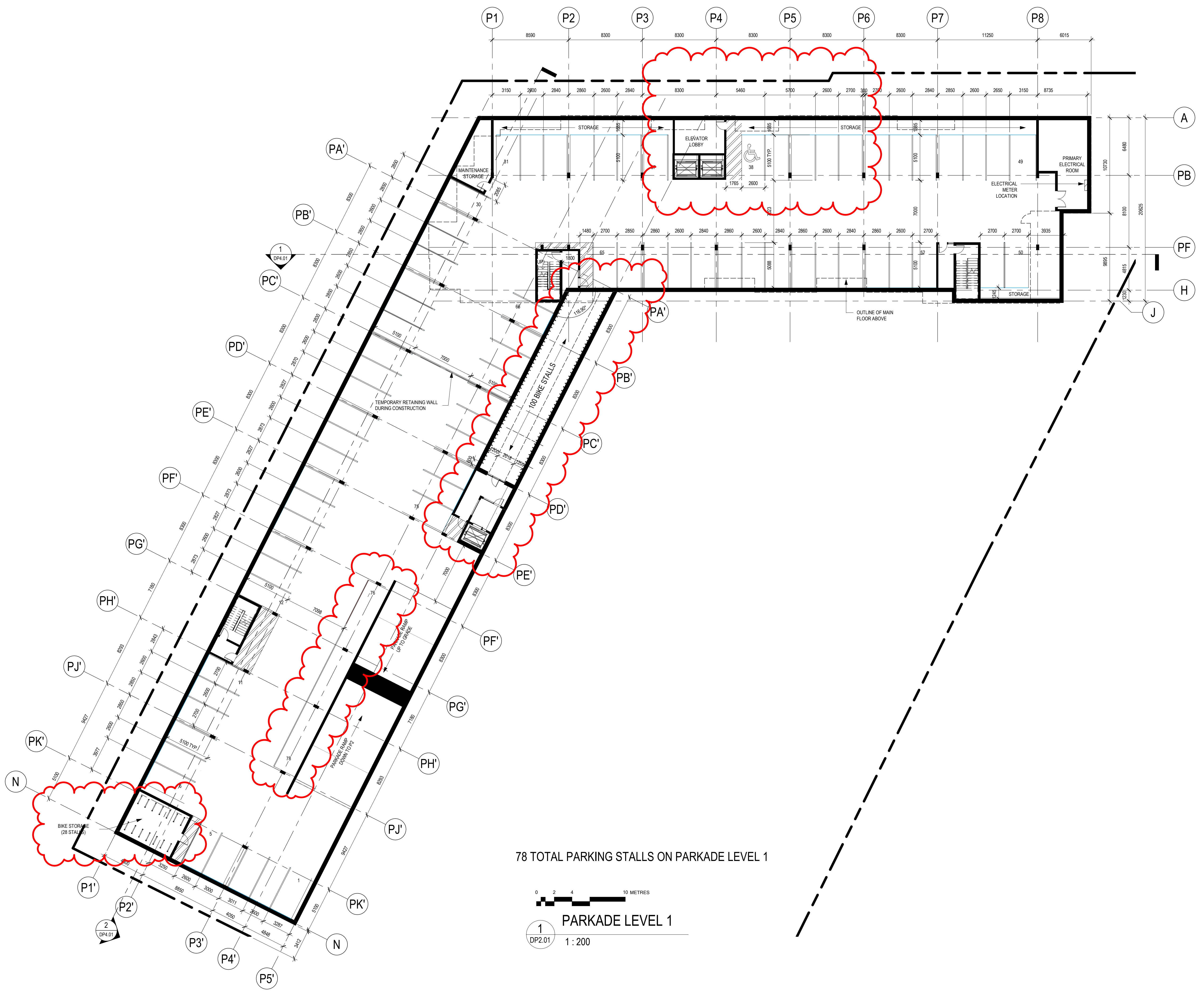
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Scale: **1 : 250** Project No.: **22.703**



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78 TOTAL PARKING STALLS ON PARKADE LEVEL 1



PARKADE LEVEL 1
1 : 200

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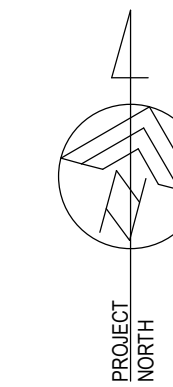
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Drawing Title
PARKADE LEVEL 1

DP2.01 Sheet

Scale: 1 : 200
Project No.: 22.703



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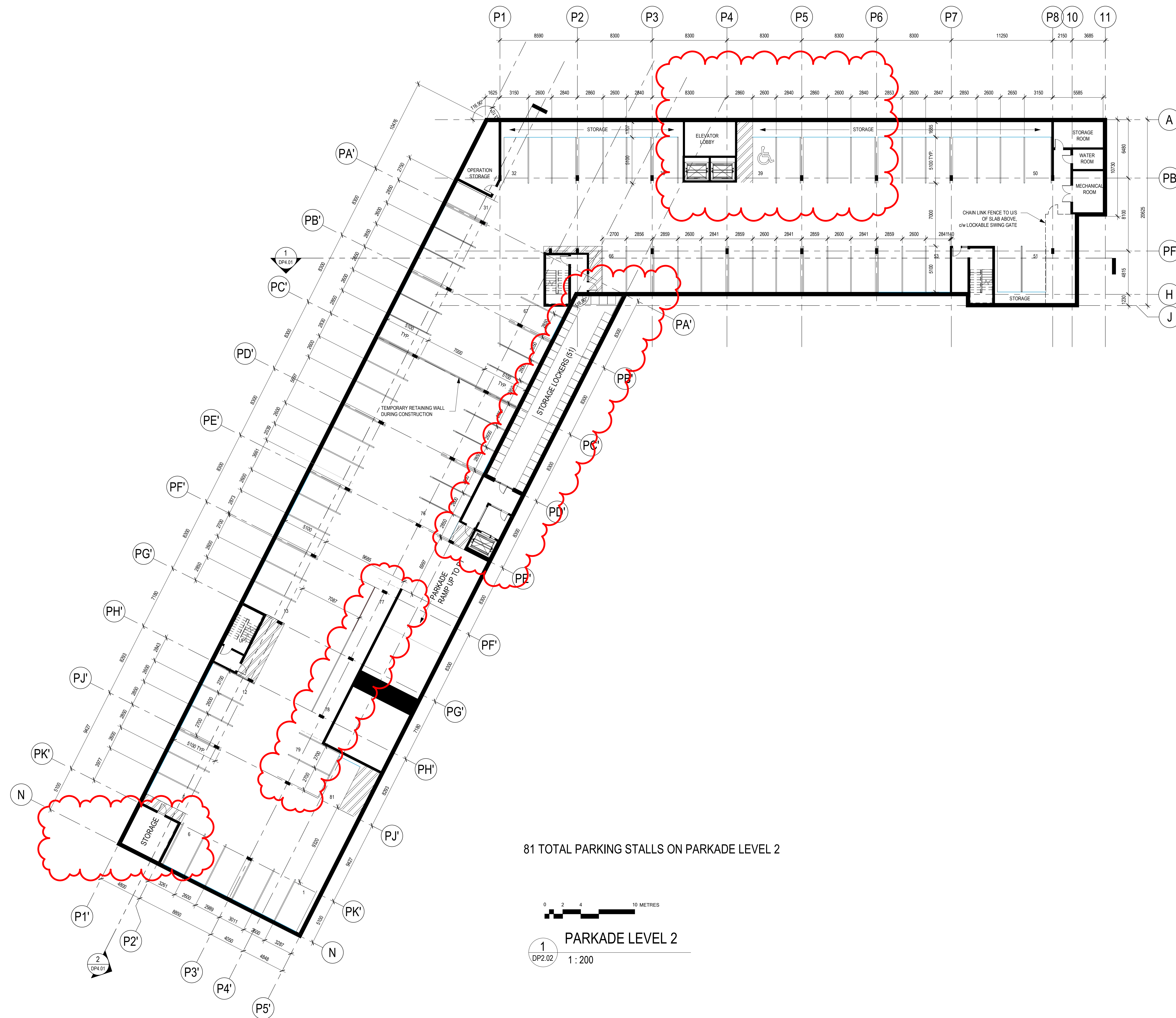
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Drawing Title
PARKADE LEVEL 2

Sheet
DP2.02

Scale
1 : 200

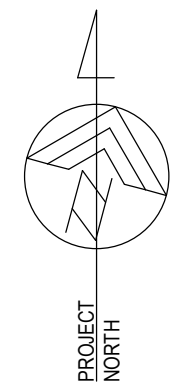
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81 TOTAL PARKING STALLS ON PARKADE LEVEL 2

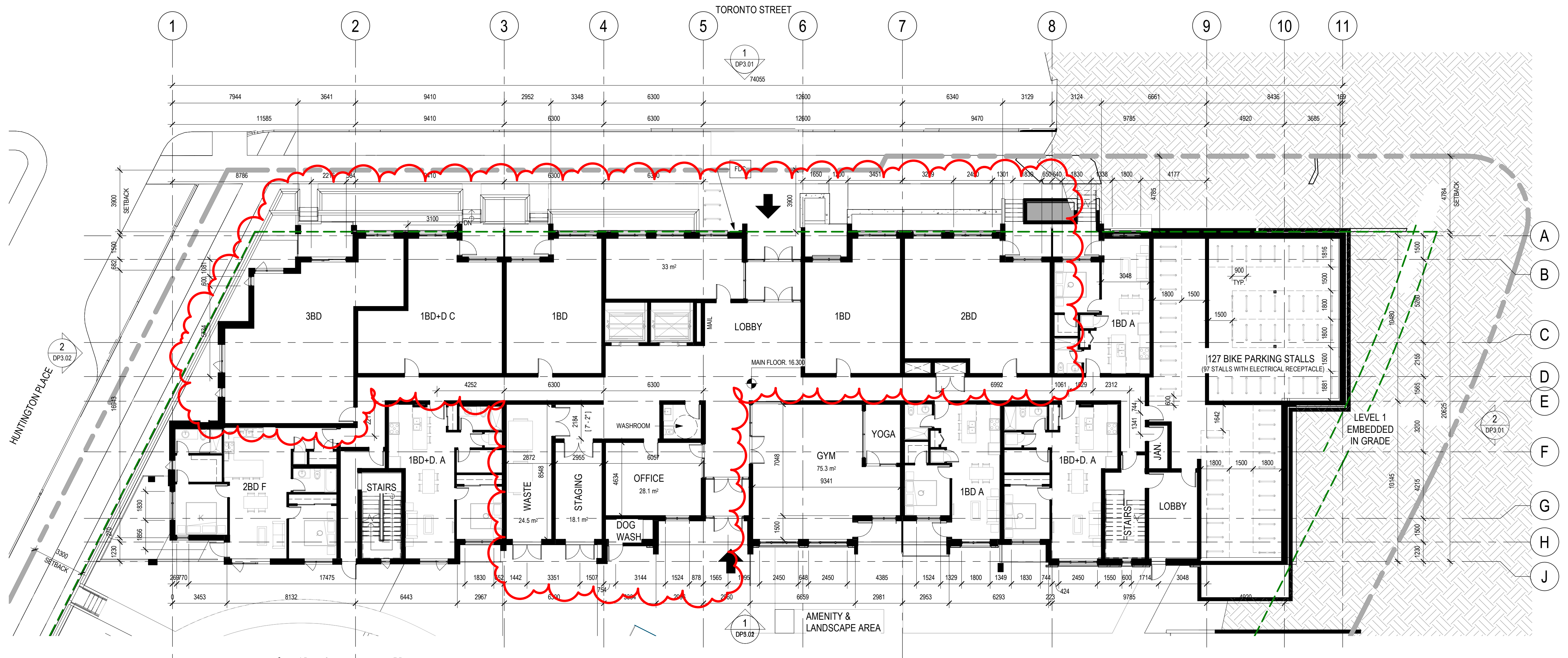


1
DP2.02
PARKADE LEVEL 2
1 : 200



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1 LEVEL 1 MAIN FLOOR
DP2.03 1:150



2 LEVEL 2
DP2.03 1:150

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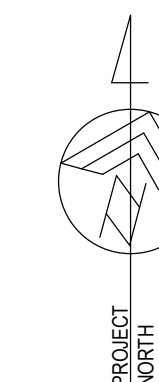
Drawing Title
LEVEL 1 & 2 FLOOR PLANS

DP2.03 Sheet

Scale	Project No.
1:150	22.703

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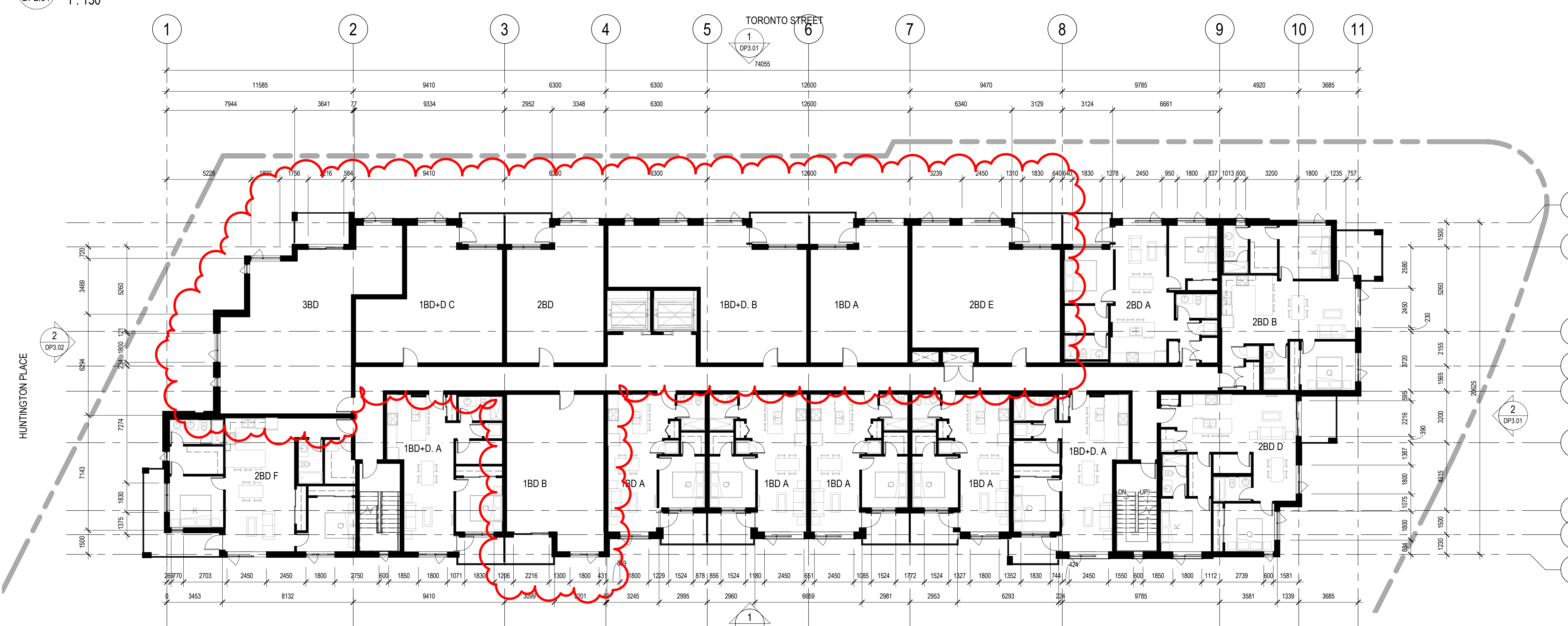
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1
DP2.04
Level 3 FLOOR PLAN
1 : 150



2
DP2.04
LEVEL 4 FLOOR PLAN
1 : 150

Seal

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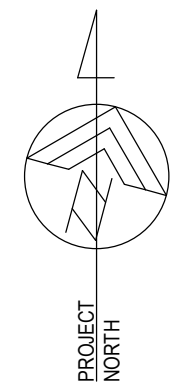
Drawing Title
LEVEL 3 & 4 FLOOR PLANS

Sheet
DP2.04

Scale Project No.
1 : 150 **22.703**

DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.
Victoria, BC V8V 2P5



Issued/ Revision Schedule		
no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.05.03

Seal

Permit

Consultant

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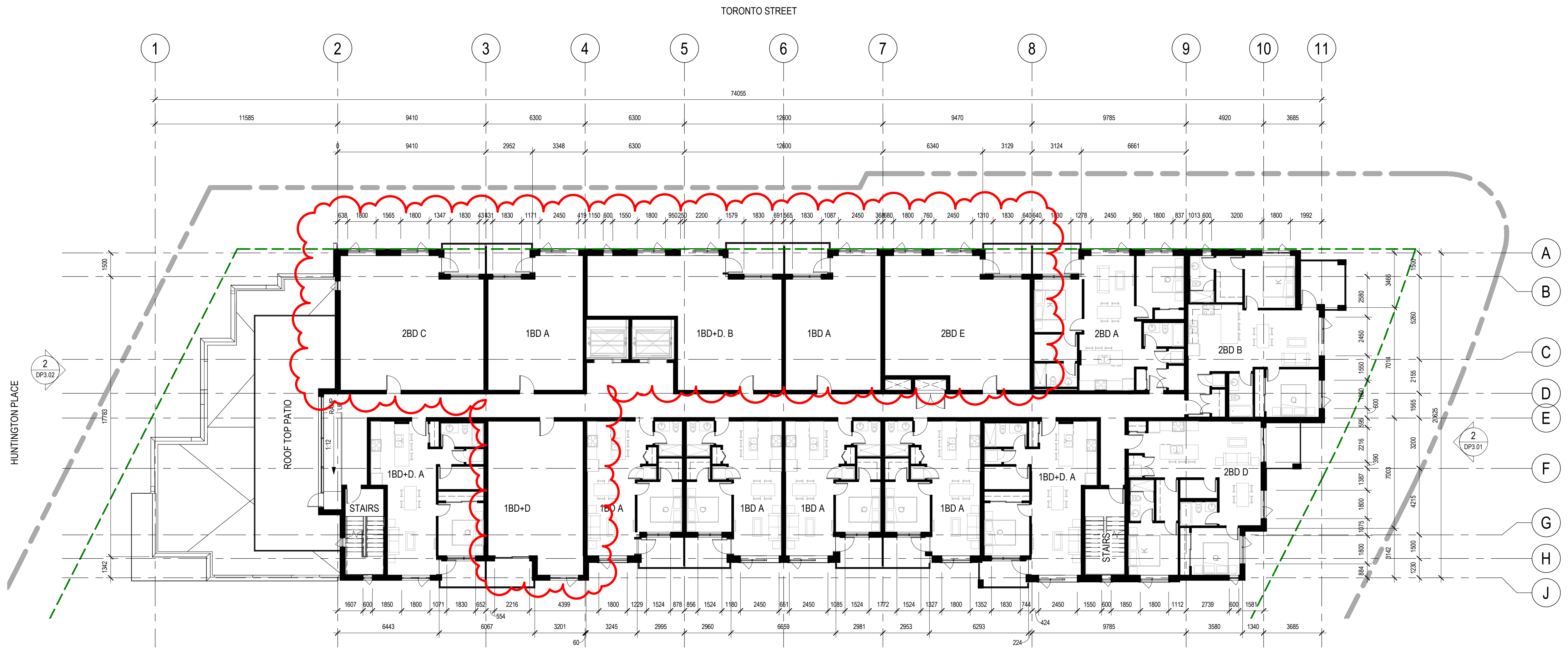
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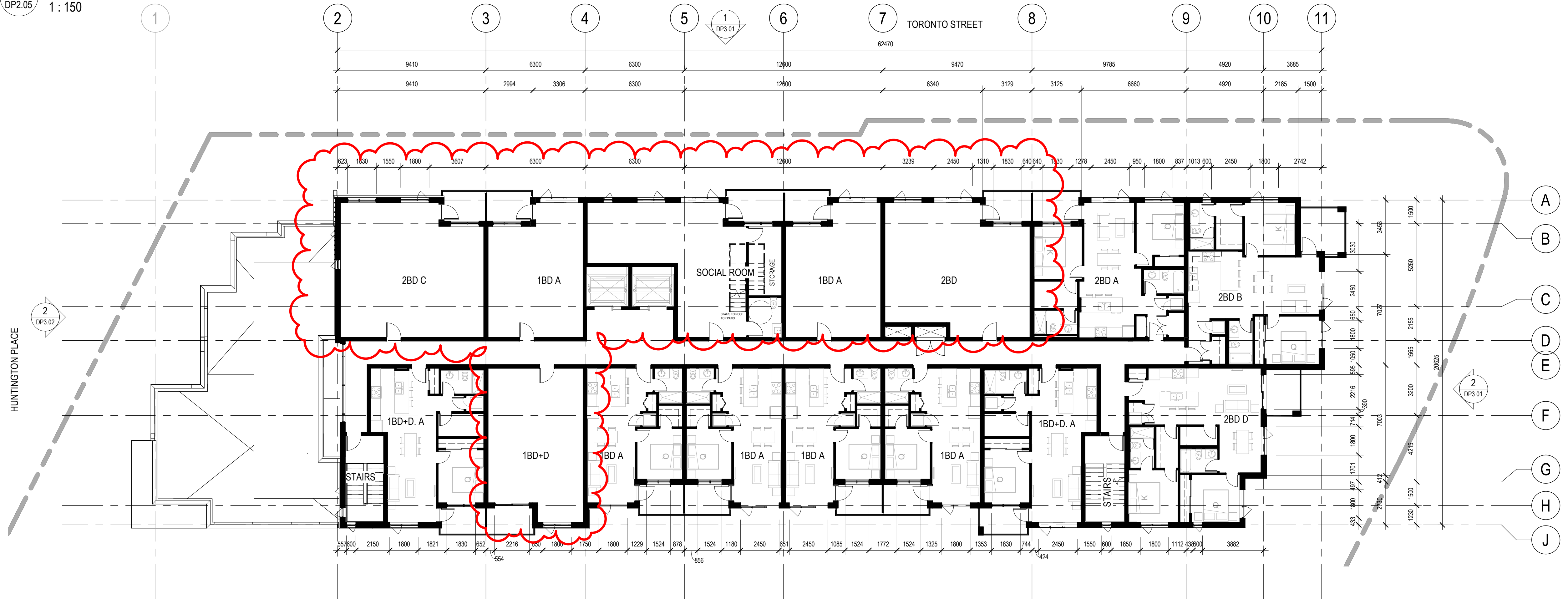
Drawing Title
LEVEL 5 & 6 FLOOR PLANS

DP2.05 Sheet

Scale	Project No.
1 : 150	22.703

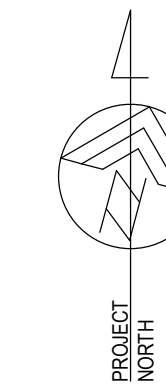


1
LEVEL 5 FLOOR PLAN
1 : 150



2
LEVEL 6 FLOOR PLAN
1 : 150





DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.
Victoria, BC V8V 2P5

Issued/ Revision Schedule

no.	description	date
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.05.03

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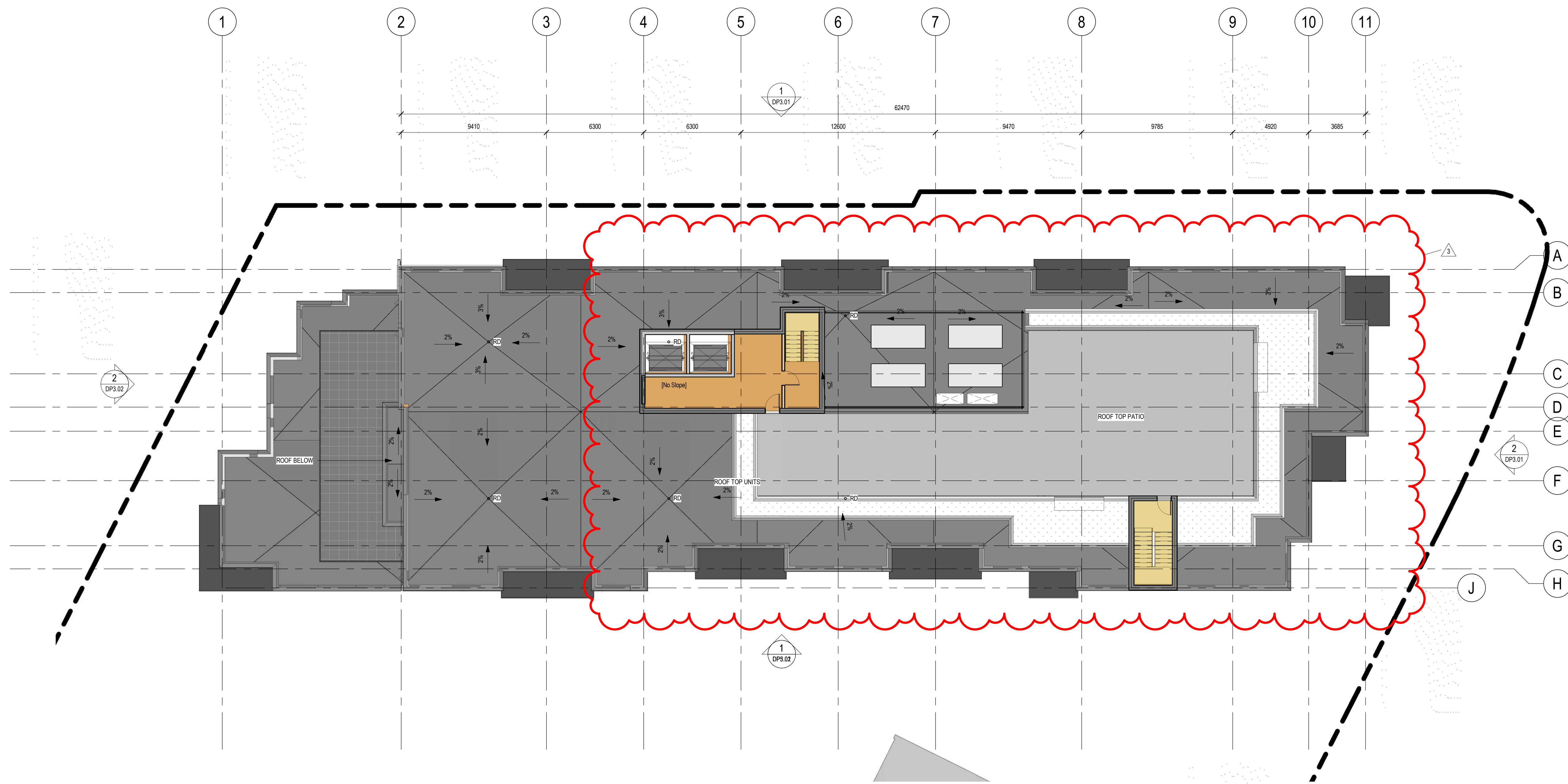
METAFOR ARCHITECTURE INC.

Drawing Title
ROOF/ AMENITY PLAN

DP2.06

Sheet

Scale	Project No.
1 : 150	22.703



1
DP2.06
ROOF PLAN
1 : 150



DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.
Victoria, BC V8V 2P5



1 NORTH ELEVATION
DP3.01 1 : 150



2 EAST ELEVATION
DP3.01 1 : 150

Key Value	Keynote Text
01	FIBRE CEMENT PLANK SIDING - COLOUR WHITE
02A	BOARD AND BATTEN, COLOUR WHITE
02B	BOARD AND BATTEN, COLOUR LIGHT GREY
03	CHARCOAL PANEL (FIBRE CEMENT OR SIM.)
04	BRICK
05	CHARCOAL METAL CANOPY
06	ENTRANCE WOOD ACCENT AND METAL CANOPY
07	FROSTED GLASS RAILING
08	BLACK METAL RAILING
09	INSULATED METAL DOOR
10	FROSTED GLASS SCREEN
11	CHARCOAL FRAME WINDOWS
12	CHARCOAL FRAME DOORS
12B	CHARCOAL FRAME SLIDING DOORS
13	CHARCOAL FRAME STOREFRONT
14	LIGHT GRAY PANEL (FIBRE CEMENT OR SIM.)
15	CONCRETE FOUNDATION WALL
16	CONCRETE RETAINING WALL
19	METAL FLASHING - COLOUR TO MATCH ADJACENT
20	ROOF TOP UNITS
21	WOOD-GRAIN FINISH SOFFIT (FORMED METAL PANEL)
22	RETAINING WALL/PLANTER WITH BRICK CLADDING
24	ROOF TOP MECHANICAL SCREEN, EXTRUDED ALUMINUM LOUVER PROFILE BETWEEN VERTICAL SUPPORTS
26	ACCENT BEND, COLOUR GREY
27	CONCRETE STAIR

Issued/ Revision Schedule		
no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.05.03

Seal

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Drawing Title
BUILDING ELEVATIONS

DP3.01 Sheet

Scale 1 : 150 Project No. 22.703

C:\AutoDesk_Temp\Rev\2021\22\703 Douglas Street Apartments_sjykbv\MS24.rvt

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DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.
Victoria, BC V8V 2P5

Issued/ Revision Schedule

no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.05.03

Key Value	Keynote Text
01	FIBRE CEMENT PLANK SIDING - COLOUR WHITE
02A	BOARD AND BATTEN, COLOUR WHITE
02B	BOARD AND BATTEN, COLOUR LIGHT GREY
03	CHARCOAL PANEL (FIBRE CEMENT OR SIM.)
04	BRICK
05	CHARCOAL METAL CANOPY
06	ENTRANCE WOOD ACCENT AND METAL CANOPY
07	FROSTED GLASS RAILING
08	BLACK METAL RAILING
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12	CHARCOAL FRAME DOORS
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14	LIGHT GRAY PANEL, FIBRE CEMENT OR SIM.)
15	CONCRETE FOUNDATION WALL
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26	ACCENT BEND, COLOUR GREY
27	CONCRETE STAIR

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Drawing Title
BUILDING ELEVATIONS

Sheet
DP3.02

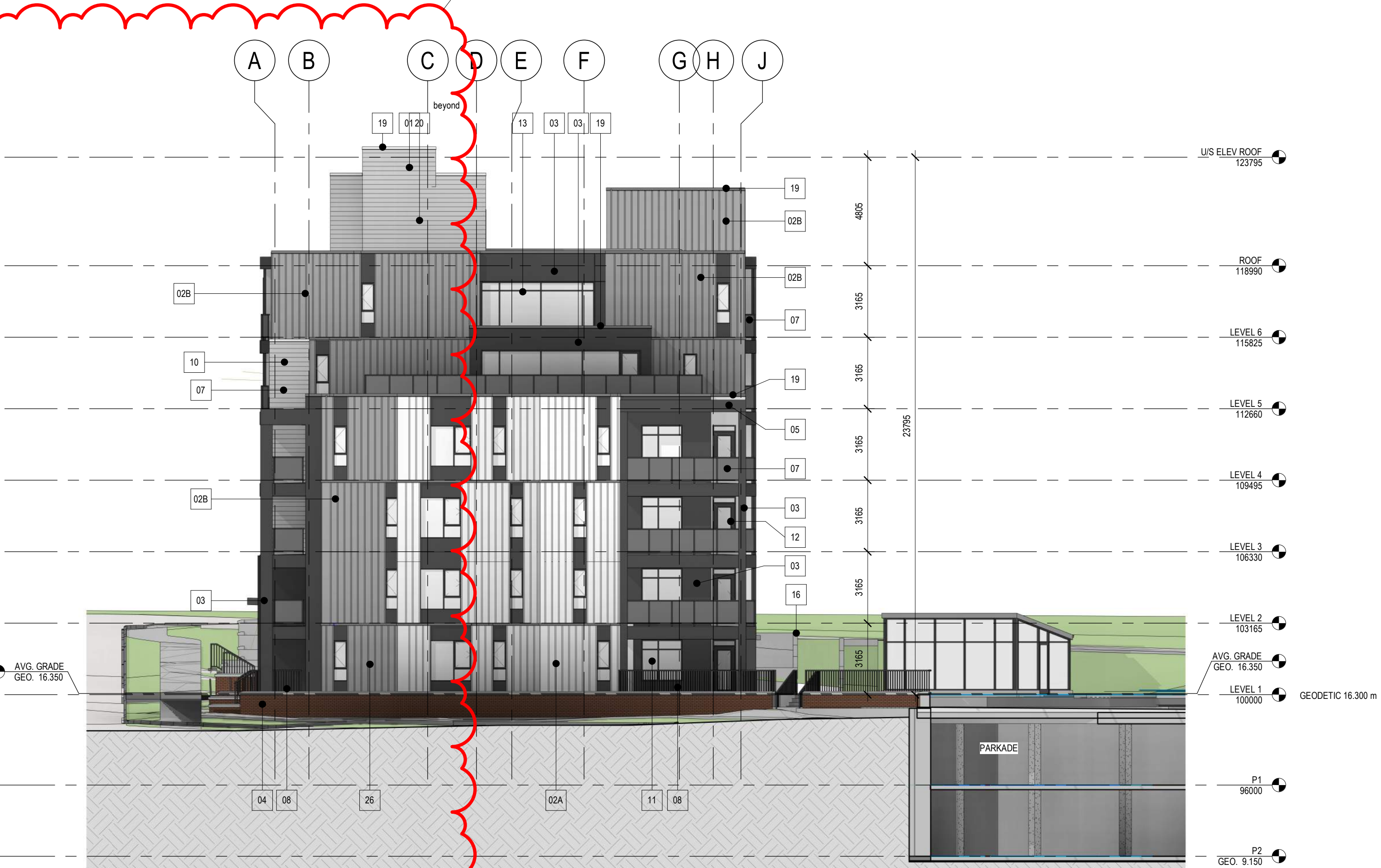
Scale
1 : 150

Project No.
22.703



1 SOUTH ELEVATION

DP3.02
1 : 150



2 WEST ELEVATION

DP3.02
1 : 150

**DOUGLAS STREET
APARTMENTS**

**350 & 360 Douglas St.
Victoria, BC V8V 2P5**

Issued/ Revision Schedule

no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20
3	Rezoning & Development Permit Revision	24.05.03

Seal

Permit

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Drawing Title
**BUILDING CONTEXT
ELEVATIONS**

DP3.03

Sheet

Scale	Project No.
1 : 1	22.703



EAST ELEVATION



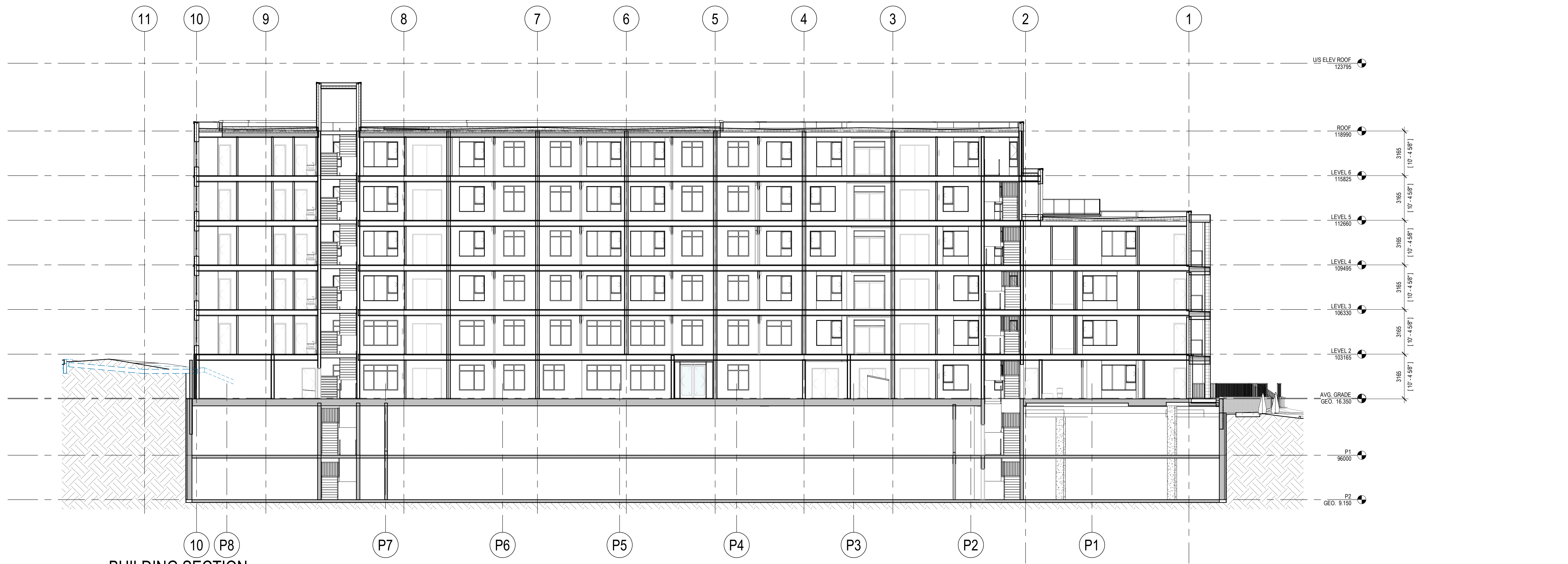
NORTH ELEVATION



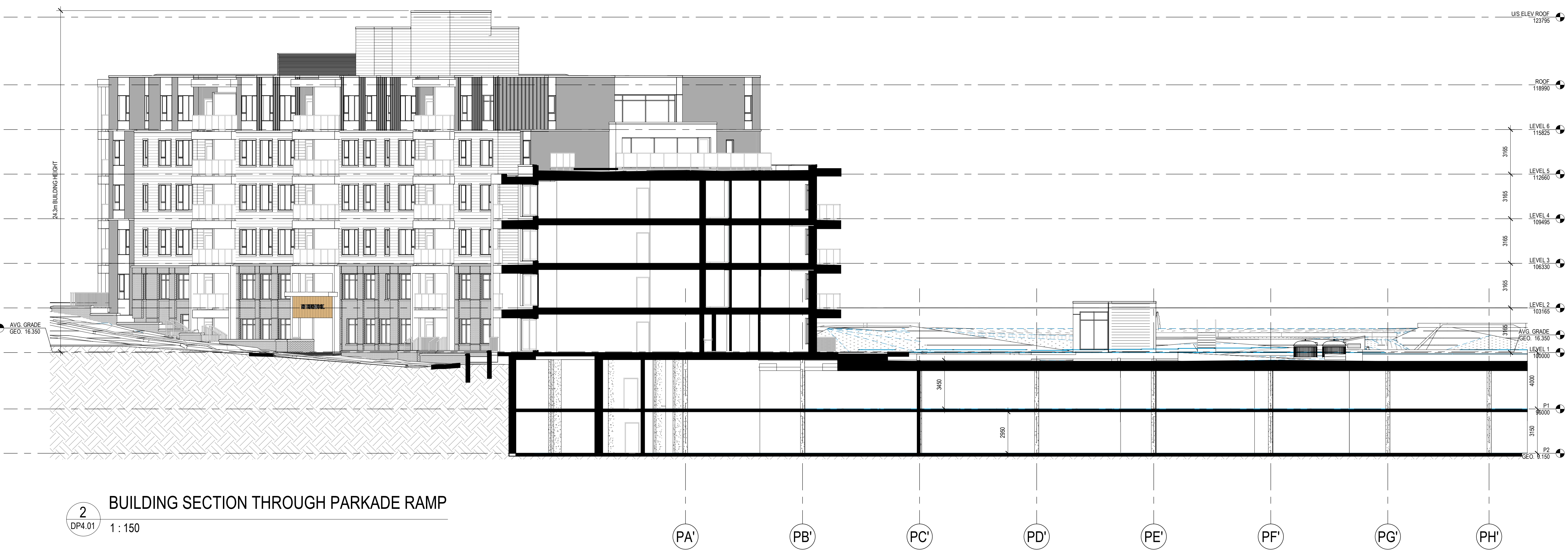
SOUTH ELEVATION



WEST ELEVATION



1 BUILDING SECTION
 DP4.01 1 : 150



2 BUILDING SECTION THROUGH PARKADE RAMP
 DP4.01 1 : 150

DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.
 Victoria, BC V8V 2P5

Issued/ Revision Schedule		
no.	description	date
1	Issue #1 for Development Permit	23.05.17
2	Rezoning & Development Permit Revision	23.12.20

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Permit

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Drawing Title
BUILDING SECTIONS

DP4.01 Sheet

Scale Project No.
 1 : 150 22.703

DOUGLAS STREET APARTMENTS

350 & 360 Douglas St.
Victoria, BC V8V 2P5



1 SOUTH ELEVATION
DP5.01 1 : 200



2 CODE SITE PLAN
DP5.01 1 : 500

SOUTH ELEVATION LIMITING DISTANCE CALCS (TABLE 3.2.3.1.-D)									
FIRE COMPARTMENT	LIMITING DISTANCE (m)	EXPOSING FACE (m ²)	ALLOWABLE OPENINGS (%)	PROPOSED OPENINGS (m ²)	PROPOSED OPENINGS (%)	REQ'D FIRE RATING	REQ'D CONSTRUCTION	REQ'D CLADDING	
6.1	10.6 (D1)	24.0	100%	4.3	18%	-	-	-	
6.2	6.0 (D3)	17.2	100%	8.8	51%	-	-	-	
6.3	4.0 (D4)	17.0	100%	6.0	35%	-	-	-	
6.4	3.6 (D5)	17.0	60%	7.1	42%	45 minute	combustible or non-combustible	combustible or non-combustible	
6.5	4.6 (D6)	17.0	100%	7.2	42%	-	-	-	
6.6	15.0	17.0	100%	6.0	35%	-	-	-	
6.7	9+	17.0	100%	7.3	43%	-	-	-	
6.8	9+	25.8	100%	7.6	29%	-	-	-	
STAIR 1	8.9 (D2)	61.8	99%	8.1	13%	45 minute	combustible or non-combustible	combustible or non-combustible	
5.1	10.6 (D1)	24.0	100%	4.3	18%	-	-	-	
5.2	6.0 (D3)	17.2	100%	8.8	51%	-	-	-	
5.3	4.0 (D4)	17.0	100%	6.0	35%	-	-	-	
5.4	3.6 (D5)	17.0	60%	7.1	42%	45 minute	combustible or non-combustible	combustible or non-combustible	
5.5	4.6 (D6)	17.0	100%	7.2	42%	-	-	-	
5.6	15.0	17.0	100%	6.0	35%	-	-	-	
5.7	9+	17.0	100%	7.3	43%	-	-	-	
5.8	9+	25.8	100%	7.6	29%	-	-	-	
4.1	10.6 (D1)	24.0	100%	4.3	18%	-	-	-	
4.2	6.0 (D3)	17.2	100%	8.8	51%	-	-	-	
4.3	4.0 (D4)	17.0	100%	6.0	35%	-	-	-	
4.4	3.6 (D5)	17.0	60%	7.1	42%	45 minute	combustible or non-combustible	combustible or non-combustible	
4.5	4.6 (D6)	17.0	100%	7.2	42%	-	-	-	
4.6	15.0	17.0	100%	6.0	35%	-	-	-	
4.7	9+	17.0	100%	7.3	43%	-	-	-	
4.8	9+	25.8	100%	7.6	29%	-	-	-	
4.9	9+	35.6	100%	9.0	25%	-	-	-	
3.1	10.6 (D1)	24.0	100%	4.3	18%	-	-	-	
3.2	6.0 (D3)	17.2	100%	8.8	51%	-	-	-	
3.3	4.0 (D4)	17.0	100%	6.0	35%	-	-	-	
3.4	3.6 (D5)	17.0	60%	7.1	42%	45 minute	combustible or non-combustible	combustible or non-combustible	
3.5	4.6 (D6)	17.0	100%	7.2	42%	-	-	-	
3.6	15.0	17.0	100%	6.0	35%	-	-	-	
3.7	9+	17.0	100%	7.3	43%	-	-	-	
3.8	9+	25.8	100%	7.6	29%	-	-	-	
3.9	9+	35.6	100%	9.0	25%	-	-	-	
2.1	10.6 (D1)	24.0	100%	4.3	18%	-	-	-	
2.2	6.0 (D3)	17.2	100%	8.8	51%	-	-	-	
2.3	4.0 (D4)	17.0	100%	6.0	35%	-	-	-	
2.4	3.6 (D5)	17.0	60%	7.1	42%	45 minute	combustible or non-combustible	combustible or non-combustible	
2.5	4.6 (D6)	17.0	100%	7.2	42%	-	-	-	
2.6	15.0	17.0	100%	6.0	35%	-	-	-	
2.7	9+	17.0	100%	7.3	43%	-	-	-	
2.8	9+	25.8	100%	7.6	29%	-	-	-	
2.9	9+	35.6	100%	9.0	25%	-	-	-	
1.1	10.6 (D1)	24.0	100%	2.3	10%	-	-	-	
1.2	6.0 (D3)	17.2	100%	8.8	51%	-	-	-	
1.3	4.0 (D4)	17.0	100%	6.0	35%	-	-	-	
1.4	3.6 (D5)	25.6	35%	8.8	34%	45 minute	combustible or non-combustible	non-combustible	
1.5	8.7	25.5	100%	11.4	45%	-	-	-	
1.6	9+	8.5	100%	4.0	47%	-	-	-	
1.7	9+	8.5	100%	4.0	47%	-	-	-	
1.8	9+	17.2	100%	6.5	38%	-	-	-	
1.9	9+	11.4	100%	3.4	30%	-	-	-	
1.1	9+	28.8	100%	9.0	31%	-	-	-	
Existing building	7.0	21.0	100%	3.4	16%	-	-	-	(table 3.2.3.1.-B; less than 3:1 ratio)

Issued/ Revision Schedule		
no.	description	date
2	Rezoning & Development Permit Revision	23.12.20

Seal

Permit

Consultant

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Drawing Title
BUILDING CODE

Sheet
DP5.01

Scale
As indicated

Project No.
22.703



- SHEET NOTES:**
- DRAIN**
- (21) EXISTING STORM DRAIN TO BE RE/RE AS REQUESTED TO FACILITATE NEW SERVICES. SEE PRELIMINARY PROFILE SHEET.
 - (22) PROPOSED 150# DRAIN SERVICE FOR PROPOSED BUILDING.
 - (23) EXISTING DRAIN SERVICE TO BE CAPPED AND ABANDONED BY CITY OF VICTORIA CREWS AT DEVELOPERS EXPENSE.
 - (24) EXISTING DRAIN SERVICE TO BE TRANSFERRED AS REQUIRED.
 - (25) EXISTING ONSITE DRAIN SERVICES TO BE REDIRECTED AS REQUIRED.
- SANITARY**
- (31) EXISTING SANITARY TO BE RE/RE AS REQUESTED TO FACILITATE NEW SERVICES. SEE PRELIMINARY PROFILE SHEET.
 - (32) PROPOSED SANITARY SERVICE FOR PROPOSED BUILDING
 - (33) EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED BY CITY OF VICTORIA CREWS AT DEVELOPERS EXPENSE.
 - (34) EXISTING SANITARY SEWER TO BE TRANSFERRED AS REQUIRED.
 - (35) EXISTING ONSITE SANITARY SERVICES TO BE REDIRECTED AS REQUIRED.
- ROAD**
- (41) PROPOSED 7.0m DRIVEWAY COMPLETE WITH FULL PANEL DROPS AS PER CITY OF VICTORIA SDD C7b AND HIGHWAY ACCESS BYLAW.
 - (42) EXISTING CURB, GUTTER AND SIDEWALK TO REMAIN ON AVALON ROAD.
 - (43) EXISTING ROAD TO BE RE/RE COMPLETE WITH NEW CURB, GUTTER, BOULEVARD AND SEPARATED SIDEWALK.
 - (44) PROPOSED LOADING ZONE.
- MISCELLANEOUS**
- (M1) EXISTING POLE TO BE RELOCATED AS REQUIRED.
 - (M2) EXISTING SIGN TO BE RELOCATED AS REQUIRED.
 - (M3) PROPOSED IRRIGATION SLEEVE.
 - (M4) EXISTING RETAINING WALL TO BE RETAINED.



KEY PLAN
NTS

LEGAL DESCRIPTIONS: LOT 1, BECKLEY FARM, VICTORIA CITY, PLAN 18452.
 BENCHMARK: MONUMENT 8-67 ELEV. 19.317m
 NOTE: ALL SEWER, DRAIN, WATER LOCATIONS AND ELEVATIONS DERIVED FROM CITY OF VICTORIA RECORD DRAWINGS.

**350-360 DOUGLAS STREET
PRELIMINARY CIVIL
SERVICING DRAWING**

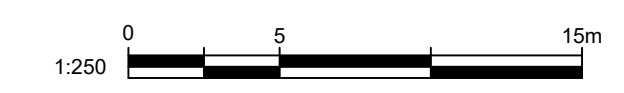
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 horiz. vert.
 Sheet 1 of 3
 Eng. Project No. 33265
 Drafted by: RA

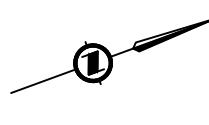
JEA J E ANDERSON & ASSOCIATES
 SURVEYORS - ENGINEERS
 VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
 PHONE: 250-727-2214 info@jeanderson.com

LEGEND						
LAMP STANDARD	↔ LS	LS	CLEANOUT	□	DITCH	—
POLE(Hydro, Tel.)	⊕ PP	PP	CATCHBASIN	□	METER	○
U/G WIRING	— UE	—	MANHOLE	⊙	FLUSH VALVE	⊕
GAS	— G	—	SERVICE RISER	○	VALVE	⊕
WATER	— W	—	MOUNTABLE CURB	MC	REDUCER	⊕
SEWER	— S	—	NON-MOUNT. CURB	NMC	HYDRANT	⊕
DRAIN	— D	—	EDGE ASPHALT	—	AIR VALVE	⊕

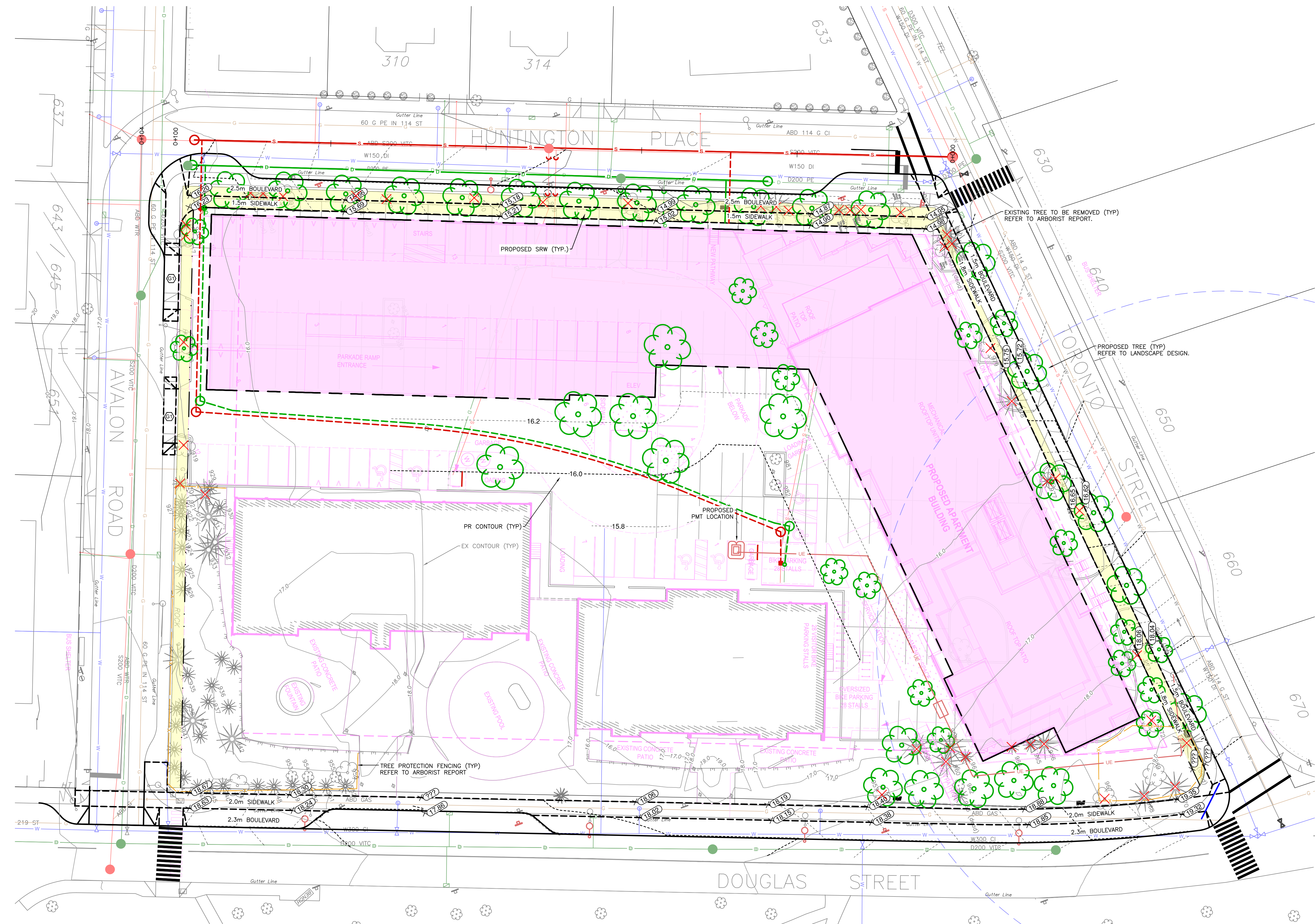
PRELIMINARY SERVICING PLAN DRAFT

SITE SERVICING PLAN
H 1:250





- SHEET NOTES:**
- GRADING**
- ① RESIDENTIAL DRIVEWAY TO SLOPE AT 8% MAX FOR 6m AS PER CITY OF VICTORIA HIGHWAY ACCESS BYLAW.
 - ② COMMERCIAL DRIVEWAY TO SLOPE AT 3% MAX FOR 6m AS PER CITY OF VICTORIA HIGHWAY ACCESS BYLAW.
 - ③ PROPOSED DRIVEWAY TO HAVE FULL PANEL DROPS AS PER CITY OF VICTORIA SDD C7b



PRELIMINARY GRADING PLAN
H 1:250

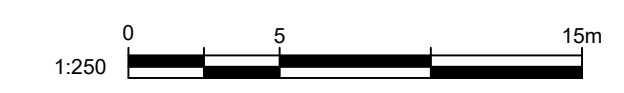
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V:\Projects\33265 - Starlight Developments - 350 - 360 Douglas Street\07 - Engineering\02 - Drawings & Sketches (Eng)\33265 - PRODUCTION - DP.dwg Plot Date: April 30, 2024

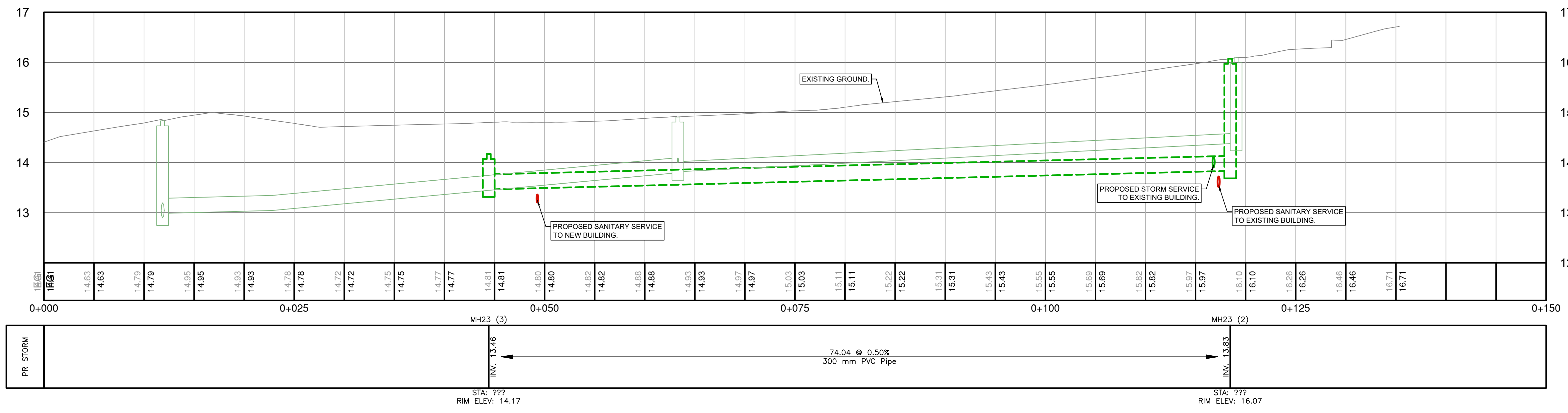
**350-360 DOUGLAS STREET
PRELIMINARY GRADING
PLAN**

Scale 1:250 Scale N/A
horiz. vert.
Sheet 2 of 3
Eng. Project No. 33265
Drafted by: RA

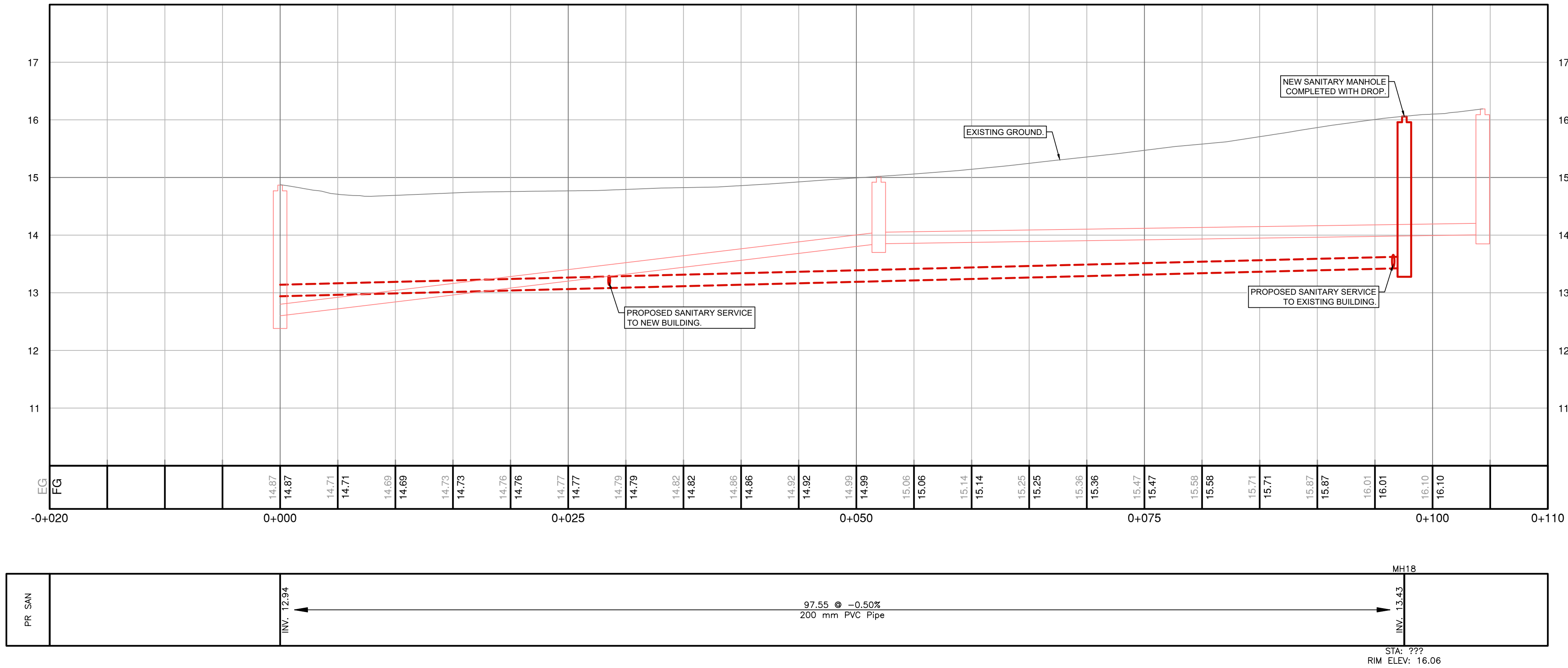
LEGEND						
LAMP STANDARD	⊕ LS	LS	CLEANOUT	■	DITCH	—
POLE(Hydro, Tel.)	⊕ PP	PP	CATCHBASIN	□	METER	○ W
U/G WIRING	— UE	UE	MANHOLE	⊙	FLUSH VALVE	⊕
GAS	— G	G	SERVICE RISER	●	VALVE	⊕
WATER	— W	W	MOUNTABLE CURB	MC	REDUCER	⊕
SEWER	— S	S	NON-MOUNT. CURB	NMC	HYDRANT	⊕
DRAIN	— D	D	EDGE ASPHALT	—	AIR VALVE	⊕



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SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com



PROFILE - PROPOSED STORM DRAIN REPLACEMENT
 H 1:250
 V 1:150



PROFILE - PROPOSED SEWER REPLACEMENT
 H 1:250
 V 1:150

LEGEND		
LAMP STANDARD	LS	LS
POLE(Hydro, Tel.)	PP	PP
U/G WIRING	UE	UE
GAS	G	G
WATER	W	W
SEWER	S	S
DRAIN	D	D
CLEANOUT	CO	CO
CATCHBASIN	CB	CB
MANHOLE	MH	MH
SERVICE RISER	SR	SR
MOUNTABLE CURB	MC	MC
NON-MOUNT. CURB	NMC	NMC
EDGE ASPHALT	EA	EA
DITCH	D	D
METER	M	M
FLUSH VALVE	FV	FV
VALVE	V	V
REDUCER	R	R
HYDRANT	H	H
AIR VALVE	AV	AV

PRELIMINARY SERVICING PLAN DRAFT

350-360 DOUGLAS STREET
 PRELIMINARY PROFILES
 DRAWING

Scale 1:250
 Scale N/A
 Sheet 3 of 3
 Eng. Project No. 33265
 Drafted by: RA

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 PHONE: 250-727-2214 info@jeanderson.com



Required Parks inspections for street tree planting:
 Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground and be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) or SD P5 (Tree Planting in Sidewalk with Tree Guard) and the Canadian Landscape Standard.

Required Parks inspections for seed and sod boulevard:
 The details for the seed and sod boulevard can be found in Schedule B3-4. (Please ensure that adequate soil volumes for the proposed street trees are installed in grass boulevards). Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.

Required Soil Testing
 A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

Schedule B3-4 and Schedule C Notes
 The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

1. Inspection of soil and planting area prior to planting.
2. Inspection of tree stock prior to planting.
3. Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.

1. Inspection of excavated and scarified subgrade prior to backfill.
2. Inspection of installed, rolled and prepared growing media prior to sodding.
3. Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.

Recommended Nursery Stock

Trees	Botanical Name	Common Name	Size
Total: 49	Acer rubrum 'October Glory'	October Glory Red Maple	6cm cal
	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	6cm cal.
	Magnolia grandiflora 'Victoria'	Victoria Magnolia	6cm cal.
	Parrotia persica	Persian Ironwood	6cm cal.
	Quercus garryana	Garry Oak	6cm cal.
Street Trees - Species to be determined by the City of Victoria Parks Dept.			

Large Shrubs	Botanical Name	Common Name	Size
Total: 75	Ceanothus thyrsiflorus 'Victoria'	Victoria Ceanothus (California Lilac)	#5 pot
	Philadelphus 'Belle Etoile'	Belle Etoile Mock Orange	#7 pot
	Rhododendron macrophyllum	Pacific Rhododendron	#5 pot
	Rhododendron 'Nova Zembla'	Nova Zembla Rhododendron	#7 pot

Medium Shrubs	Botanical Name	Common Name	Size
Total: 235	Azalea 'Snowbird'	Snowbird Azalea	#5 pot
	Mahonia aquifolium	Tall Oregon Grape	#5 pot
	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#5 pot

Small Shrubs	Botanical Name	Common Name	Size
Total: 199	Cornus stolonifera 'Kelsey'	Kelsey Dogwood	#1 pot
	Gaultheria shallon	Salal	#1 pot
	Mahonia repens	Creeping Oregon Grape	#1 pot
	Rosmarinus officinalis	Rosemary	#1 pot
	Vaccinium 'Sunshine Blue'	Sunshine Blue Blueberry	#1 pot

Perennials, Annuals and Ferns	Botanical Name	Common Name	Size
Total: 769	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
	Cornus stolonifera 'Kelsey'	Kelsey Dogwood	#1 pot
	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	Lavandula stoechas 'Anouk'	Anouk Lavender	#1 pot
	Polystichum munitum	Sword Fern	#1 pot

Groundcovers	Botanical Name	Common Name	Size
Total: 742	Fragaria chiloensis	Coastal Strawberry	#1 pot

Vines	Botanical Name	Common Name	Size
Total: 23	Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#5 pot

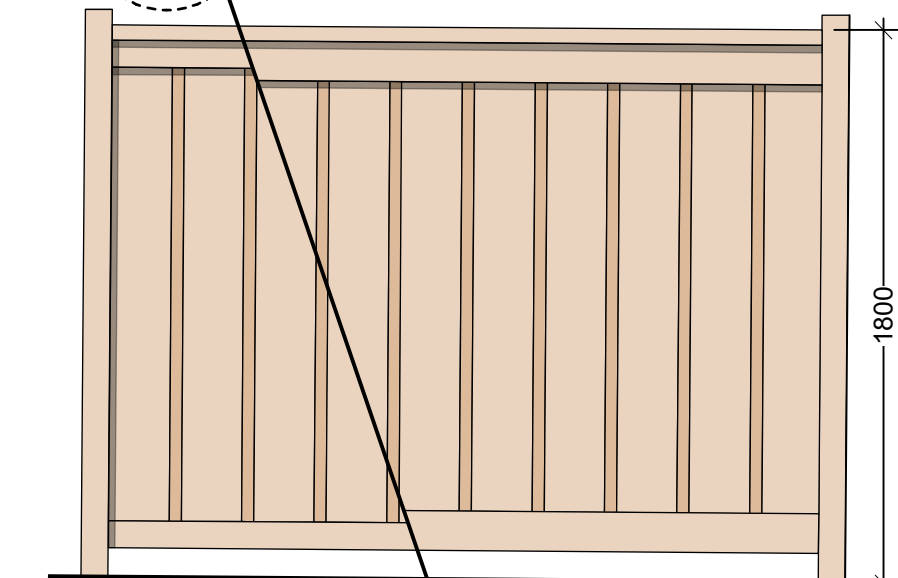
- Notes:**
 1. All work to be completed to current BCSLA Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system

MATERIALS LEGEND

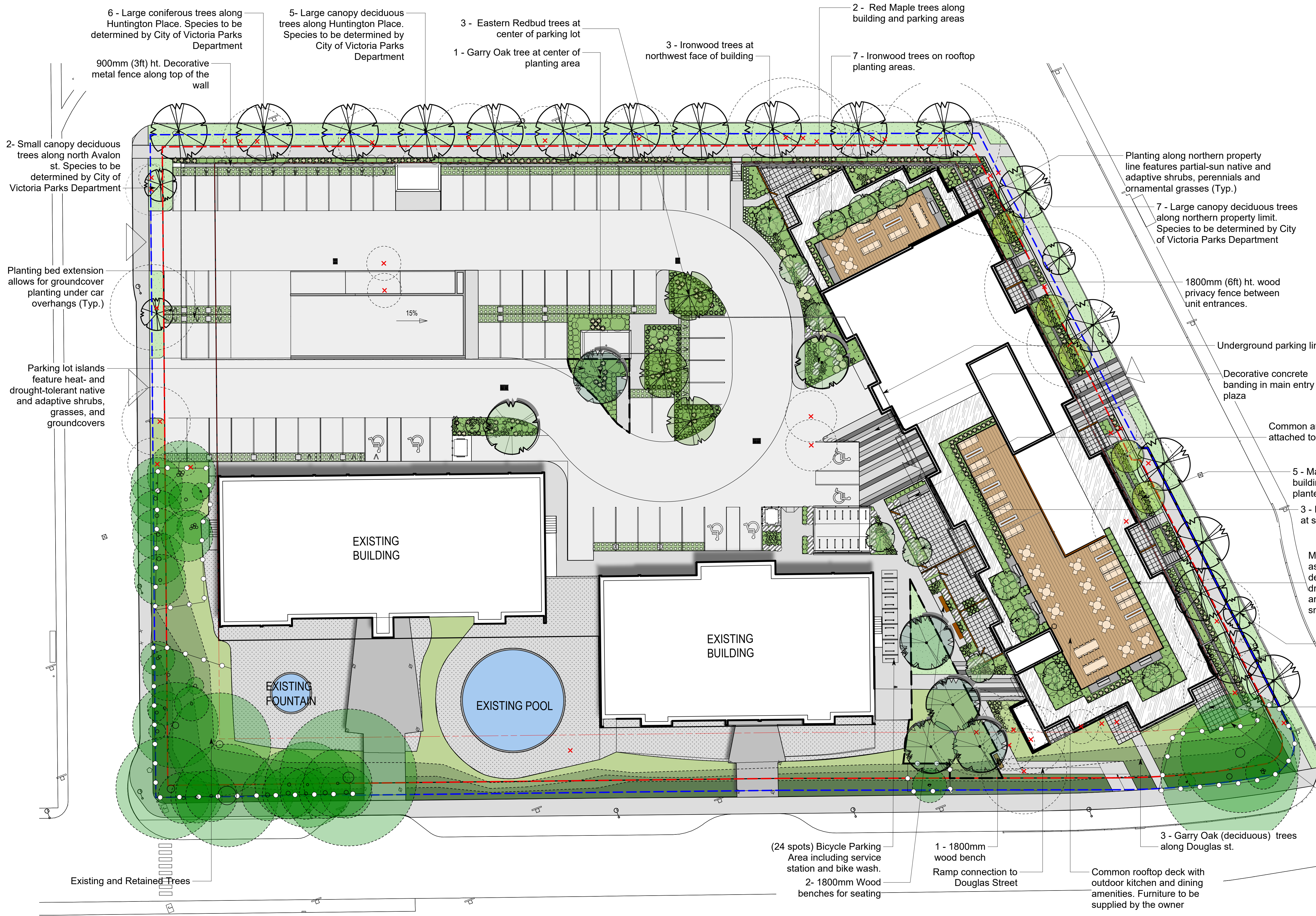
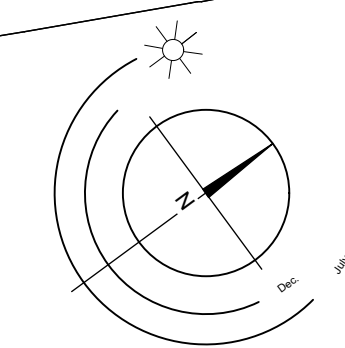
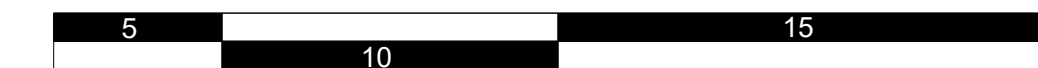
	Asphalt / Roadways
	Colored & sawcut concrete - Concrete sidewalks and plazas
	Decorative concrete pavers - Ground level patios
	Composite wood decking - Rooftop patio
	Aggregate - Maintenance access paths
	Planting beds
	Grass - Sod lawn

EXISTING TREE (RETAINED)

EXISTING TREE (REMOVED)



1 1800mm Ht. Cedar Privacy Fence Scale: 1:25



350/360 Douglas St. Starlight | Landscape Concept Plan

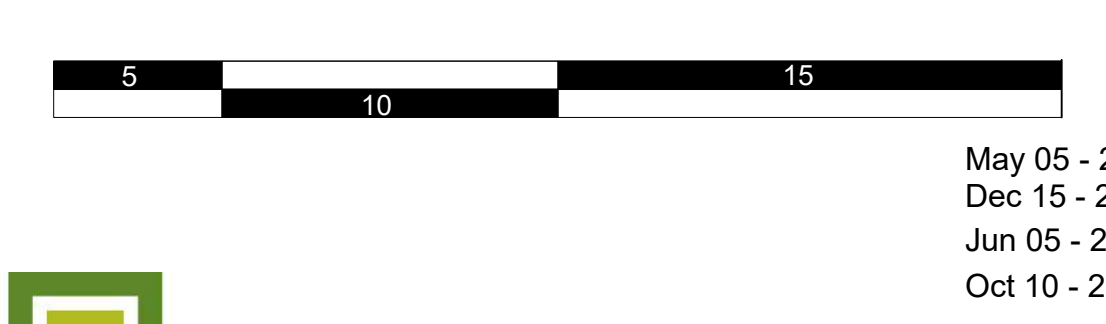
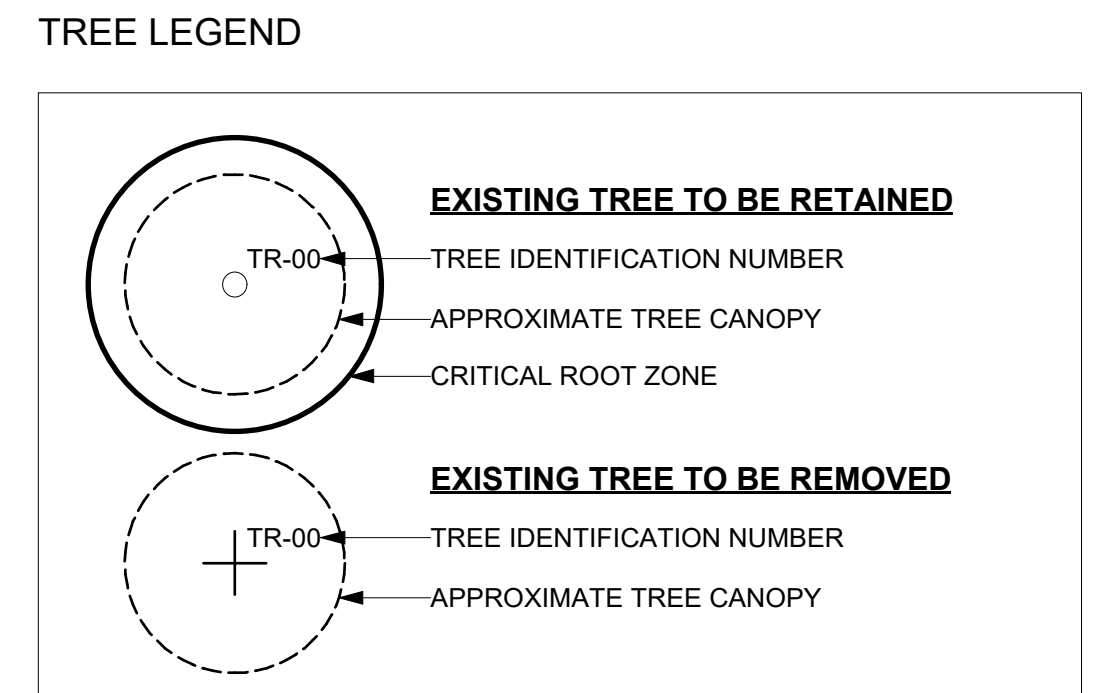
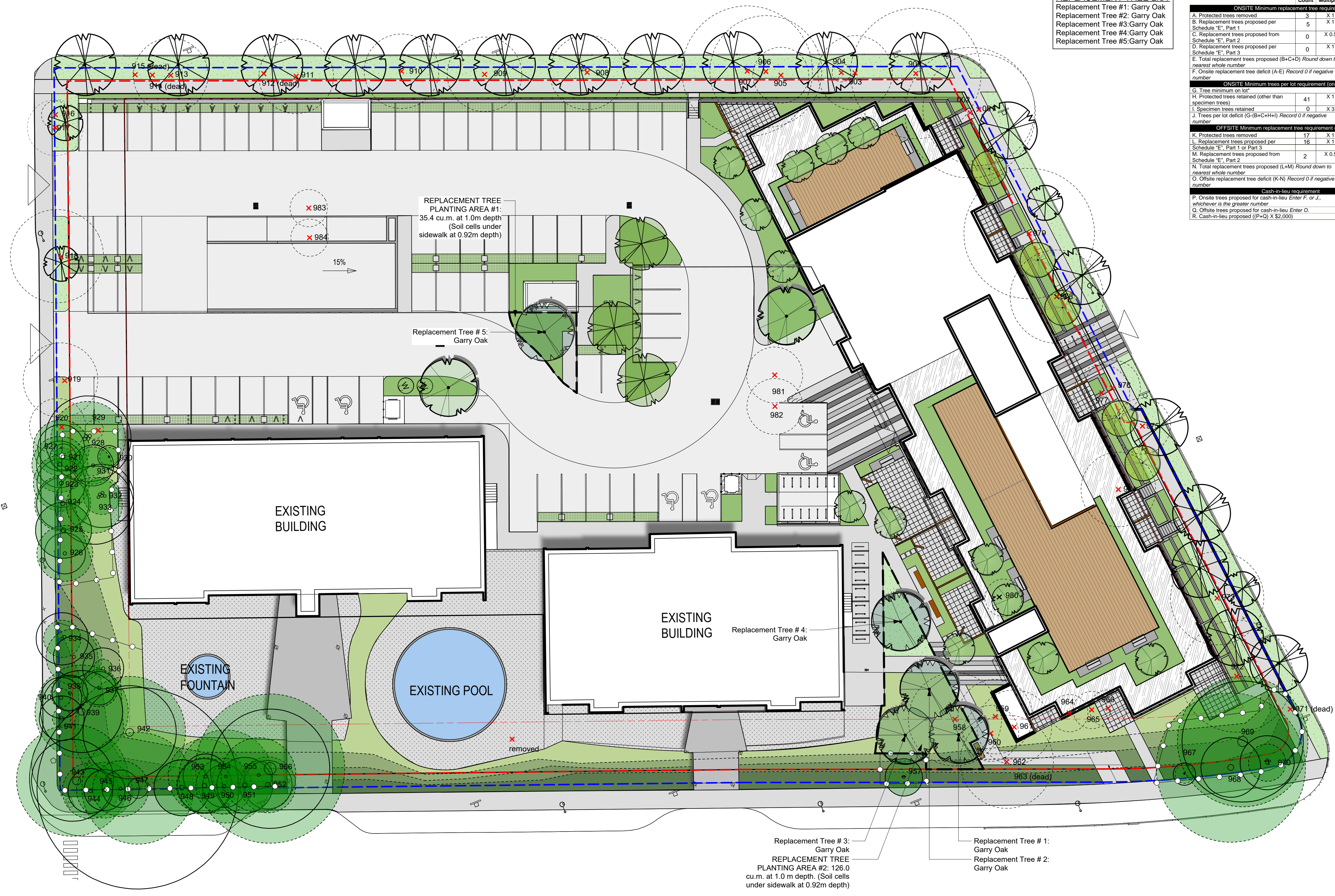
Planting Area ID	Area (M2)	Soil Volume (m ³)	Replacement Trees Proposed					Soil Volume Required (m ³)							
			A	B	C	D	E	F	G	H	I	J	TOTAL		
1	36.1	1.00 with an area of soil cells at 0.92	35.4												35.4
2	126.00	1.00 with an area of soil cells at 0.92	124.90												124.90
Gravel (Excluding City Property)															
Calculation			$F+B+1.5 \times B \times E$					$F+1.5 \times C \times D+1.5 \times D \times E$					E+F+G		

On ground (excluding exposed bedrock) use 1. On structure, use depth of soil. On soil cells, use 0.92. On structural wall use 0.2. Total must not exceed A. If Total exceeds A, then the number or size of proposed replacement trees must be reduced.

Tag #	Year	Species	Health	Size	Location	Condition	Remarks
981	Y	On	N	Y	Western Red Cedar	Good	Medium stem with included bark at base, crown dead between 7 and 8 m, large percentage of the crown dead, historical damage to large tree, large included bark on 12m stem.
982	Y	On	N	Y	Western Red Cedar	Good	Medium stem with included bark at base, crown dead between 7 and 8 m, large percentage of the crown dead, historical damage to large tree, large included bark on 12m stem.
983	Y	On	N	Y	Western Red Cedar	Good	Medium stem with included bark at base, crown dead between 7 and 8 m, large percentage of the crown dead, historical damage to large tree, large included bark on 12m stem.
984	Y	On	N	Y	Western Red Cedar	Good	Medium stem with included bark at base, crown dead between 7 and 8 m, large percentage of the crown dead, historical damage to large tree, large included bark on 12m stem.
985	Y	On	N	Y	Western Red Cedar	Good	Medium stem with included bark at base, crown dead between 7 and 8 m, large percentage of the crown dead, historical damage to large tree, large included bark on 12m stem.

Replacement Tree #1: Garry Oak
Replacement Tree #3: Garry Oak
Replacement Tree #4: Garry Oak
Replacement Tree #5: Garry Oak

Count	Multiplier	Total
3	X 1	A 3
5	X 1	B 5
0	X 0.5	C 0
0	X 1	D 0
5	X 1	E 5
5	X 1	F 5
4	X 1	G 4
0	X 3	H 0
0	X 1	I 0
0	X 1	J 0
17	X 1	K 17
16	X 1	L 16
2	X 0.5	M 1
0	X 1	N 0
17	X 1	O 17
		P 0
		Q 0
		R 0



350/360 Douglas St. Starlight | Tree Management Plan



May 05 - 24
Dec 15 - 23
Jun 05 - 23
Oct 10 - 22