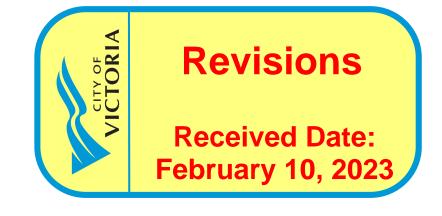


Wilson Public Park + The Albion Residences

Introducing a much sought after **Park** space and **Through-Block Passage** within Old Town along with a residential building that strengthens and reinforces the rich heritage fabric of Old Town as well as the Victorian/Edwardian industrial legacy of the neighbourhood. The project features 117 contemporary homes and a commercial-retail space along Chatham Street.







OTD-1: Old Town District - 1 DPA 1 (HC) - Historic Core Development Permit Area: Site Dimensions/Area: 18.31m x 36.93m (676.1m²)

LOT 2: (SDS submitted and dated 2022-10-01 is associated with this lot) PID: 006-087-108; Folio: 01058002; Plan Number: City; Legal: LOT 482,

Civic Address: "533 Chatham Street, Victoria, BC" OTD-1: Old Town District - 1 DPA 1 (HC) - Historic Core Development Permit Area: 18.31m x 36.93m (676.24m²) Site Dimensions/Area:

PID: 006-087-094; Folio: 01058002; Plan Number: City; Legal: LOT 481, Victoria

Civic Address: "533 Chatham Street, Victoria, BC" OTD-1: Old Town District - 1 **Development Permit Area:** DPA 1 (HC) - Historic Core Site Dimensions/Area: 18.31m x 36.93m (676.2m²)

PID: 024-380-270; Folio: 01058011; Plan Number: VIP68503; Legal: LOT A of lots 473& 474, Victoria, Plan 68503

Civic Address: "530/532 Herald Street, Victoria, BC" OTD-1: Old Town District - 1 **Development Permit Area:** DPA 1 (HC) - Historic Core 36.62m x 36.94m (1,352.74m²) Site Dimensions/Area: Site Dimensions/Area (upon subdivision): 7.8m x 36.94m (283.37m²)

Lot 4.2 (Wilson) 28.9m x 36.94m (3207.13m²) TOTAL SITE AREA UPON SUBDIVISION/CONSOLIDATION:

2,592.49 m² OTD-1 Zone:

3.0:1 Max Development Density: 15m Max Height: Parapets: 1.0m Rooftop Structures: 5.0m

Projections into Setbacks - Max:

Balconies, cornices, guardrails etc.: 0.6m Ext. wall treatments, insulation etc.: 0.13m

Code Summary (BCBC 2018)

Major Occupancy: C (Residential)/ F3 (Parking Garage) L1/below ground Building Area: 1424.89 m2 Building Height: 6 storeys Occupant Load: P1 - 26

L1 - 12 (parking)/60 (CRU) L2 - 46 L3 - 46

L4 - 46 L5 - 46 L6 - 46

Streets Facing (3.2.2.10): 2 3.2.2.50: Group C up to 6 storeys sprinklered: building area not more than 1500m2 (@ 6 storeys) combustible/noncombustible Floor and supporting structure FRR 1hr Roof FRR 1hr Floor FRR parkade 2hr

C/D fire separation: N/A (2hr provided) Sprinklered: Yes NFPA 12-2013

FAR Calculation

Total site area:

Max Area Allowed (3.0FAR): 7,777.47m² Total FAR Area proposed: 6,345.62m²

2,592.49m²

Level 4

1 Bed + Den

1 Bed + Den

Micro

Micro

Micro

Micro

Micro

Micro

Total FAR:

2.45

Areas

Level 5

Level 6

Level 6

Grand total

Gross Floor Area Total					
Level 1	Circulation	1,498.3 ft²			
Level 1	Commercial	895.3 ft²			
Level 1	Home Occupation	1,546.6 ft²			
	3,940.2 ft				
Level 2	Circulation	3,085.4 ft²			
Level 2	Residential	9,787.3 ft²			
		12,872.7 ft²			
Level 3	Circulation	3,085.4 ft²			
Level 3	Residential	9,787.3 ft²			
		12,872.7 ft²			
Level 4	Circulation	3,085.4 ft²			
Level 4	Residential	9,787.3 ft ²			
		12,872.7 ft²			

Residential

Circulation	3,085.4 ft ²			
Residential	9,787.3 ft ²	Level 2	Residential	9,787.3 ft ²
	12,872.7 ft²	Level 3	Residential	9,787.3 ft²
		Level 4	Residential	9,787.3 ft²
Circulation	3,085.4 ft²	Level 5	Residential	9,787.3 ft²
Residential	9,787.3 ft²	Level 6	Residential	9,787.3 ft ²
	12,872.7 ft²			48,936.3 ft ²
		Grand total		68,303.7 ft ²
Circulation	3,085.4 ft²			
1	1			

9,787.3 ft²

12,872.7 ft²

68,303.7 ft²

6,345.62 m²

Level 2

Level 3

Level 4

Level 5

Level 6

Level 1

Level 1

Homes	- Counts and	Areas b	y Level
Level	Name	Area	Count
_evel 1	Home Occupation	739.1 ft²	1
₋evel 1	Home Occupation	807.5 ft ²	1
evel 1: 2		1,546.6 ft ²	
_evel 2	1 Bed	512.4 ft²	1
Level 2	1 Bed	565.4 ft ²	1
_evel 2	1 Bed + Den	595.2 ft ²	1
_evel 2	1 Bed + Den	653.5 ft ²	1
_evel 2	1 Bed + Den	685.0 ft ²	1
_evel 2	Micro	344.6 ft ²	1
_evel 2	Micro	345.9 ft ²	1
_evel 2	Micro	358.7 ft ²	1
_evel 2	Micro	359.0 ft ²	1
_evel 2	Micro	1,077.6 ft ²	3
_evel 2	Micro	363.0 ft ²	1
Level 2	Micro	1,093.2 ft ²	3
Level 2	Micro	365.6 ft ²	1
_evel 2	Micro	366.3 ft ²	1
_evel 2	Micro	367.2 ft ²	1
evel 2	Micro	372.5 ft ²	1
_evel 2	Studio	440.3 ft ²	1
_evel 2	Studio	454.1 ft ²	1
_evel 2	Studio	467.6 ft ²	1
_evel 2: 23	Otadio	9,787.2 ft ²	<u> </u>
_evel 3	1 Bed	512.4 ft ²	1
₋evel 3	1 Bed	565.4 ft ²	1
_evel 3	1 Bed + Den	595.2 ft ²	1
_evel 3	1 Bed + Den	653.5 ft ²	1
_evel 3	1 Bed + Den	685.0 ft ²	1
_evel 3	Micro	344.6 ft ²	1
_evel 3	Micro	345.9 ft ²	1
_evel 3	Micro	358.7 ft ²	1
_evel 3	Micro	359.0 ft ²	1
_evel 3	Micro	1,077.6 ft ²	3
_evel 3	Micro	363.0 ft ²	1
_evel 3	Micro	1,093.2 ft²	3
_evel 3	Micro	365.6 ft ²	1
_evel 3	Micro	366.3 ft ²	1
_evel 3	Micro	367.2 ft ²	1
_evel 3	Micro	372.5 ft ²	1
_evel 3	Studio	440.3 ft ²	1
_evel 3	Studio	454.1 ft ²	1
_evel 3	Studio	467.6 ft ²	1
_evel 3: 23	Otadio	9,787.2 ft ²	_ '
		- ₁	
Level 4	1 Bed	512.4 ft ²	1
Level 4	1 Bed	565.4 ft ²	1
_evel 4	1 Bed + Den	595.2 ft ²	1
	4.5.4.5	050 5 60	1

653.5 ft²

685.0 ft²

344.6 ft²

345.9 ft²

358.7 ft²

359.0 ft²

363.0 ft²

1,077.6 ft²

Level	Name	Area	Count
Level 4	Micro	1,093.2 ft ²	3
Level 4	Micro	365.6 ft ²	1
Level 4	Micro	366.3 ft ²	1
Level 4	Micro	367.2 ft ²	1
Level 4	Micro	372.5 ft ²	1
Level 4	Studio	440.3 ft ²	1
Level 4	Studio	454.1 ft²	1
Level 4	Studio	467.6 ft ²	1
Level 4: 23		9,787.2 ft²	
Level 5	1 Bed	512.4 ft ²	1
Level 5	1 Bed	565.4 ft ²	1
Level 5	1 Bed + Den	595.2 ft²	1
Level 5	1 Bed + Den	653.5 ft²	1
Level 5	1 Bed + Den	685.0 ft ²	1
Level 5	Micro	344.6 ft ²	1
Level 5	Micro	345.9 ft ²	1
Level 5	Micro	358.7 ft²	1
Level 5	Micro	359.0 ft²	1
Level 5	Micro	1,077.6 ft ²	3
Level 5	Micro	363.0 ft ²	1
Level 5	Micro	1,093.2 ft ²	3
Level 5	Micro	365.6 ft ²	1
Level 5	Micro	366.3 ft ²	1
Level 5	Micro	367.2 ft ²	1
Level 5	Micro	372.5 ft ²	1
Level 5	Studio	440.3 ft ²	1
Level 5	Studio	454.1 ft²	1
Level 5	Studio	467.6 ft²	1
Level 5: 23		9,787.2 ft²	
Level 6	1 Bed	512.4 ft²	1
Level 6	1 Bed	565.4 ft ²	1
Level 6	1 Bed + Den	595.2 ft ²	1
Level 6	1 Bed + Den	653.5 ft ²	1
Level 6	1 Bed + Den	685.0 ft ²	1
Level 6	Micro	344.6 ft ²	1
Level 6	Micro	345.9 ft ²	1
Level 6	Micro	358.7 ft ²	1
Level 6	Micro	359.0 ft ²	1
Level 6	Micro	1,077.6 ft ²	3
Level 6	Micro	363.0 ft ²	1
Level 6	Micro	1,093.2 ft ²	3
Level 6	Micro	365.6 ft ²	1
Level 6	Micro	366.3 ft ²	1
Level 6	Micro	367.2 ft ²	1
Level 6	Micro	372.5 ft ²	1
Level 6	Studio	440.3 ft ²	1
Level 6	Studio	454.1 ft ²	1
Level 6	Studio	467.6 ft ²	1
Level 6: 23		9,787.2 ft ²	

Gross Floor Area Total by Type

3,085.4 ft²

3,085.4 ft² 3.085.4 ft²

3,085.4 ft²

3.085.4 ft²

16,925.4 ft²

895.3 ft²

895.3 ft²

1,546.6 ft²

1,546.6 ft²

Circulation

Circulation

Circulation

Circulation

Circulation

Circulation

Commercial

Home Occupation

/el 6	Studio		454.1 ft	t ²	1
/el 6	Studio		467.6 ft	t ²	1
/el 6: 23			9,787.2 ft ²		
and total: 11	7		50,482.8 ft ²		
omes - Counts and A			Areas	s by	Type
Name		Area		(Count
ed		5,389.4 ft ²		10	
ed + Den	ed + Den 9,668.4 ft ²			15	
me Occupation		1,546.6 ft ²		2	
27,067.8 ft ²			75		
ıdio		6,810.6 ft ²		15	
		50,482.8 ft ²		117	

Parking

Parking Requirements: No requirement for 530/532 Herald Street	Parking Totals	
	Туре	Provided
Otherwise:	Residential	
0.65 spaces per unit < 45m ² + 0.1 visitor 0.80 spaces per unit = 45m ² and < 70m ² + 0.1 visitor	Accessible Stall	4
1.2 spaces per unit > 70m² + 0.1 visitor spaces Total required: 92 (Strata Tenure)	Regular Stall	68
		·
	Visitor	
	Accessible Stall	1
	Regular Stall	6
	Grand total: 79	

Ricycla

<u> Bicycie</u>				
	Bicycle Parking Requirements Class A	Bicycle Parking	Summary	
	1.0/unit < 45 m ² = 90 1.25/unit >= 45m ² = 34 <u>Class B</u> 0.1/unit = 12	Туре	Count	
		Bicycle Stall (Horizontal)	142	
		Grand total: 142		

Design Rationale/Project Description

Located on the northern edge of Old Town and adjacent to the bold, robust and confident Wilson Heritage Building and the recently completed addition to the community, the Ironworks project, the Albion Residential project strengthens and reinforces the rich heritage fabric of Old Town and the Victorian/Edwardian industrial legacy of the neighbourhood. The project proposes 6,345.62 sqm with 117 homes over 6 floors and 83 sgm of ground floor commercial space and includes approximately 81 parking stalls within the project.

The guidelines for Old Town encourage projects like this, that are contextually sensitive but also embody the modern age while reinforcing timeless urban and architectural design.

The neighbourhood pattern of pedestrian-friendly courtyards, alleyways and squares is extended and refined through provision of a connection from Herald to Chatham but now barrier-free. The project does not only connect the two streets with a cross-block connection through a mid-block courtyard and a privately owned park (tentatively called "Wilson Public Park" after the eponymous adjacent building, fronting Herald Street), but also unites the two frontages with a single building that establishes a bold contemporary industrial frontage along Chatham Street.

The scale and massing of both building components is orderly, logical, and well proportioned. Interior functions and the structure are clearly expressed on the facade of the building. The exterior composition including massing, solid to void ratio, are carefully sized in relation to each other, the whole and the surrounding built environment, with a clear hierarchy of components in balance.

The design is based on a simple yet intricate massing that elegantly establishes a prominent gateway park in the middle of the Herald Street block and provides a living street edge on the south side of the site. The site opens up to allow for a spacious multi-level courtyard framed with a grove of trees and is marked by a prominent gable wall and landmark exit stair tower expression at Wilson Park. This design gesture not only helps to elevate the pedestrian connection between Herald Street and Chatham Street but it also provides a much needed continuation of the Chatham Street frontage established by the neighbouring developments.

Built form is in a contemporary and industrial idiom with two distinct themes incorporated into its exterior an externally expressed rigid steel frame with juliette balconies and the second - a more robust, solid mass with punched openings, clad in weathering steel. An industrial sawtooth roof facing Chatham Street captures the eastern light while providing a contemporary industrial and expressive, varied and attractive roof line visible from the north.

The Victorian/Edwardian industrial heritage of Old Town is expressed in the building materials. The exterior palette includes weathering steel, board-form concrete, natural waxed steel, darkened metal cladding and black metal windows.

The proposed design supports and enhances the unique and rich heritage context of Old Town while contributing to Old Town's human scale character and strengthens the cohesiveness of the area. The design features and maintains the authenticity of the existing heritage urban fabric and respects its heritage value.

Variances Requested:

1. Parking

Request to reduce parking requirement for the development from 92 to 79 (visitor parking ratio and accessible parking requirements remain unchanged)

2. Max. Height

Request to allow for additional height of 5.7m above the allowed zoning height. (see elevation drawings A5.01 and A5.02 for clarification)

Project Team

Developer Le Fevre & Company 530 Herald Street Victoria, BC V8W 1S6 Contact: Chris Lefevre 250-380-4900 T
Architect Stephane Laroye Architect

chitect Inc. 200-19 East 5th Avenue Vancouver, BC V5T 1G7 Contact: Stephane Laroye, Principal stephane@slaarchitect.com 604-558-6955 T

<u>Structural</u>

Read Jones Christoffersen Ltd. (RJC) 220 - 645 Tyee Road Victoria, BC V9A 6X5 Contact: Leon Plett, Principal lplett@rjc.ca 250-386-7794 T

<u>Mechanical</u> Avalon Mechanical Consultants Ltd. 300 - 1245 Esquimalt Road Victoria, BC V9A 3P2 Contact: Mirek Demidow, Principal mirek@avalonmechanical.com 250-940-2973 T

Triumph Electrical Consulting Engineering Ltd. 5056 Cordova Bay Road Victoria, BC V8Y 2K4 Contact: Randy Slade, Principal rslade@triumphengineering.ca 250-385-3713 T

<u>Landscape</u>

LADR Landscape Architects Inc 3 - 864 Queens Avenue Victoria, BC V8T 1M5 Contact: Bev Windjack, Principal bwindjack@ladrla.ca 250-598-0105 T

J.E. Anderson & Associates 4212 Glanford Avenue Victoria, BC V8Z 4B7 Contact: Ross Tuck rtuck@jeanderson.com 250-727-2214 T

J.E. Anderson & Associates 4212 Glanford Avenue Victoria, BC V8Z 4B7 Contact: Ryan Hourston rhourston@jeanderson.com 250-727-2214 T

Geotechnical Ryzuk Geotechnical 28 Crease Avenue Victoria, BC V8Z 1S3 Contact: Andrew Jackson andrew@ryzuk.com

250-475-3131 T

A0.00	Coversheet
A0.01	Project Stats
A1.01	Site Plan Existing
A1.02	Site Plan Proposed
A1.03	Average Grade
A1.04	Materials
A1.05	Artistic Renderings
A1.06	Street Elevation
A1.07	Consolidation/Subdivision
	Diagrams
A2.03	Level P1 Plan
A2.04	Level 1 Plan
A2.05	Level 2 Plan
A2.06	Level 3-6 Plan
A2.08	Roof Plan
A5.01	North & South Elevations
A5.02	East & West Elevation
A6.01	Building Section
A6.02	Building Section

Building Section

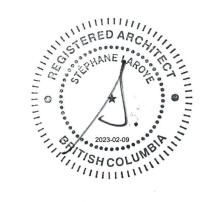
Drawing List

A6.03

Total: 19



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PROJECT

Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

2023.02.09

2022.08.31

Date

DRAWING

Project Stats

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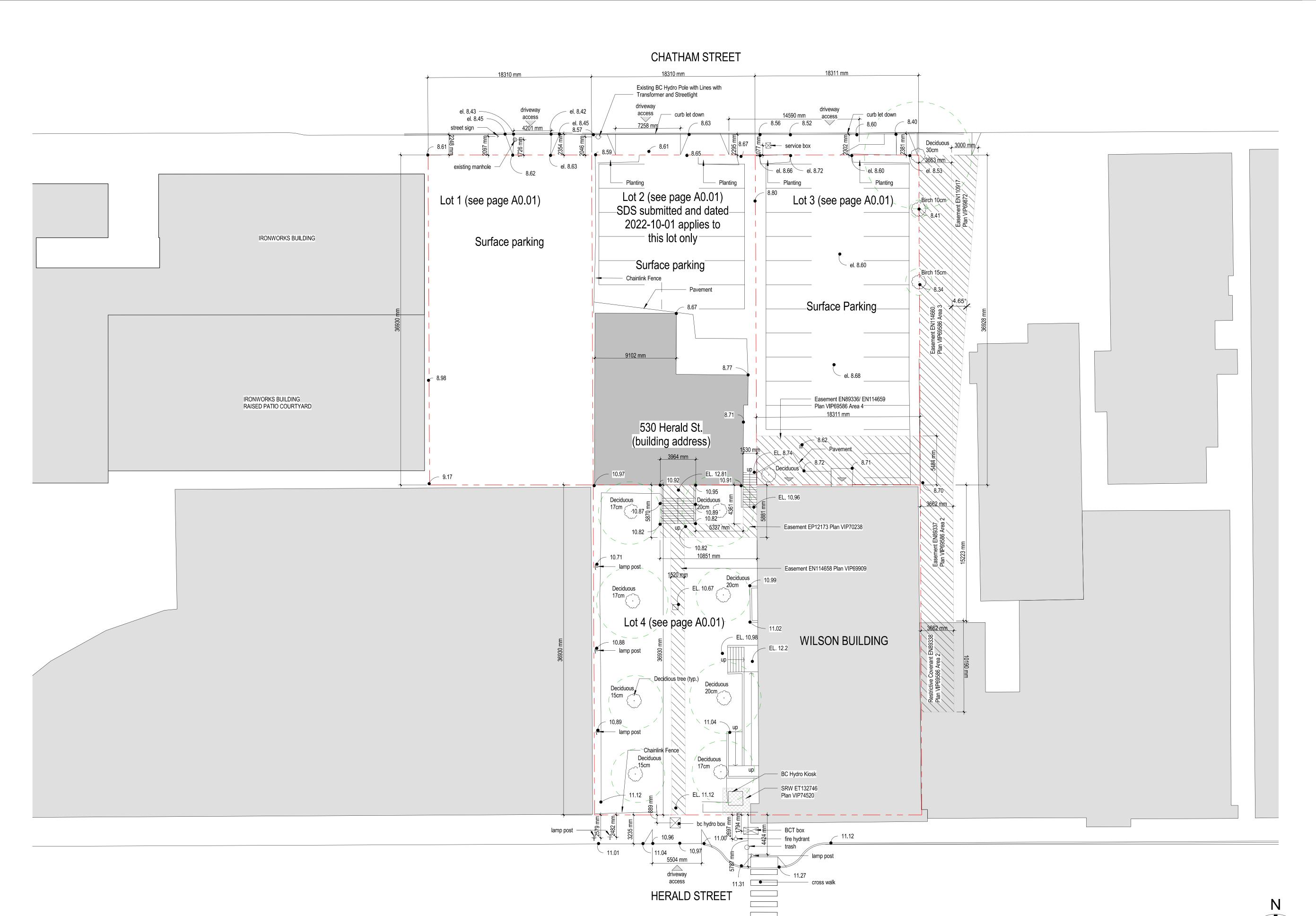
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PROJECT

Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

DRAWING

Site Plan Existing

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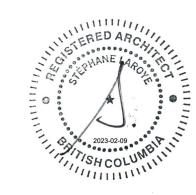
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Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

Site Plan Proposed

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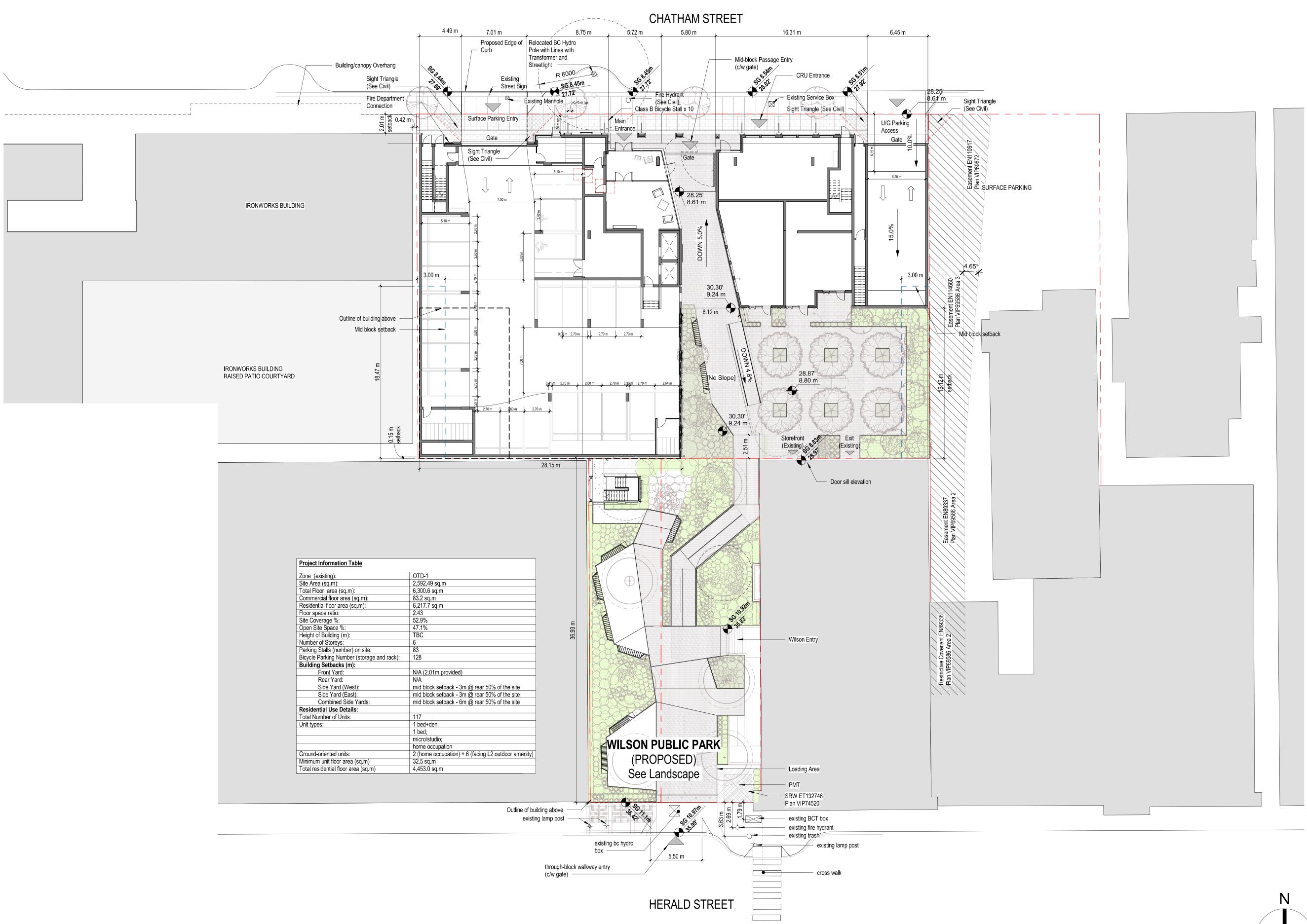
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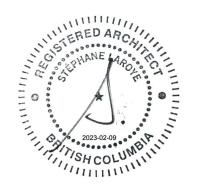
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PROJECT

Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

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Average Grade

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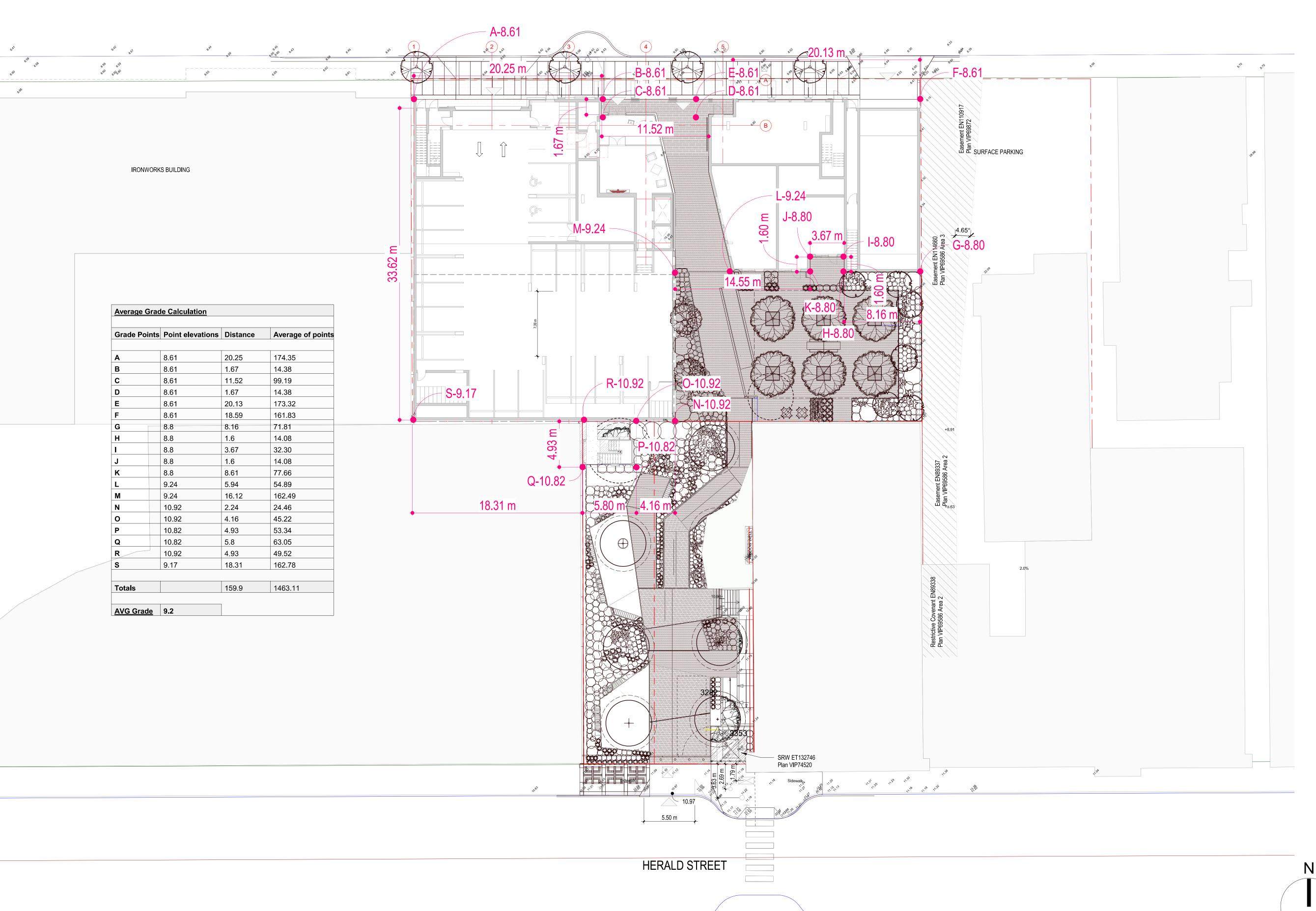
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2022.08.31





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Description

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PROJECT
Wilson Public Park + The Albion Residences
530 Herald Str. + 533 Chatham Str.

DRAWING

Materials

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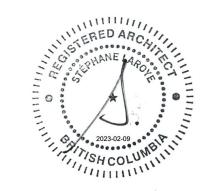
PROJECT NO













Glazed Bridge over Through Block Passage



Couryard view - through block passage



Courtyard view - looking West



2022.08.31

PROJECT

Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

DRAWING

Artistic Renderings

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Wilson Park looking North



Herald street view - looking North

Issued for Development Permit

DRAWING

Street Elevation

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> Project Number PROJECT NO



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SDS submitted and dated 2022-10-01 applies to Lot 2 (see page A.0.01) only



1. Existing Site Plan



Chatham Street Lot 1: 18.3 x 36.9 Lot 2: 18.3 x 36.9 Lot 3: 18.3 x 36.9 676 sq.m. 676 sq.m. 676 sq.m. Ironworks r....Existing office building to be deconstructed building 536 Chatham Lot 4 subdivided: to allow for 3.0 FSR on Wilson Building lot Wilson Building Lot 4.1: · Lot 4.2: 28.9 x 36.9 1069.04 sq.m (@3.0 FSR - 3207.13 sq.m) 7.8 x 36.9 283.37 sq.m

Herald Street

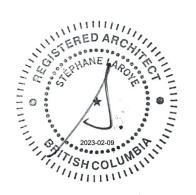
2. Lot 4 subdivision

Chatham Street



3. Consolidation Process

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PROJECT

Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

DRAWING

Consolidation/Subdivision Diagrams

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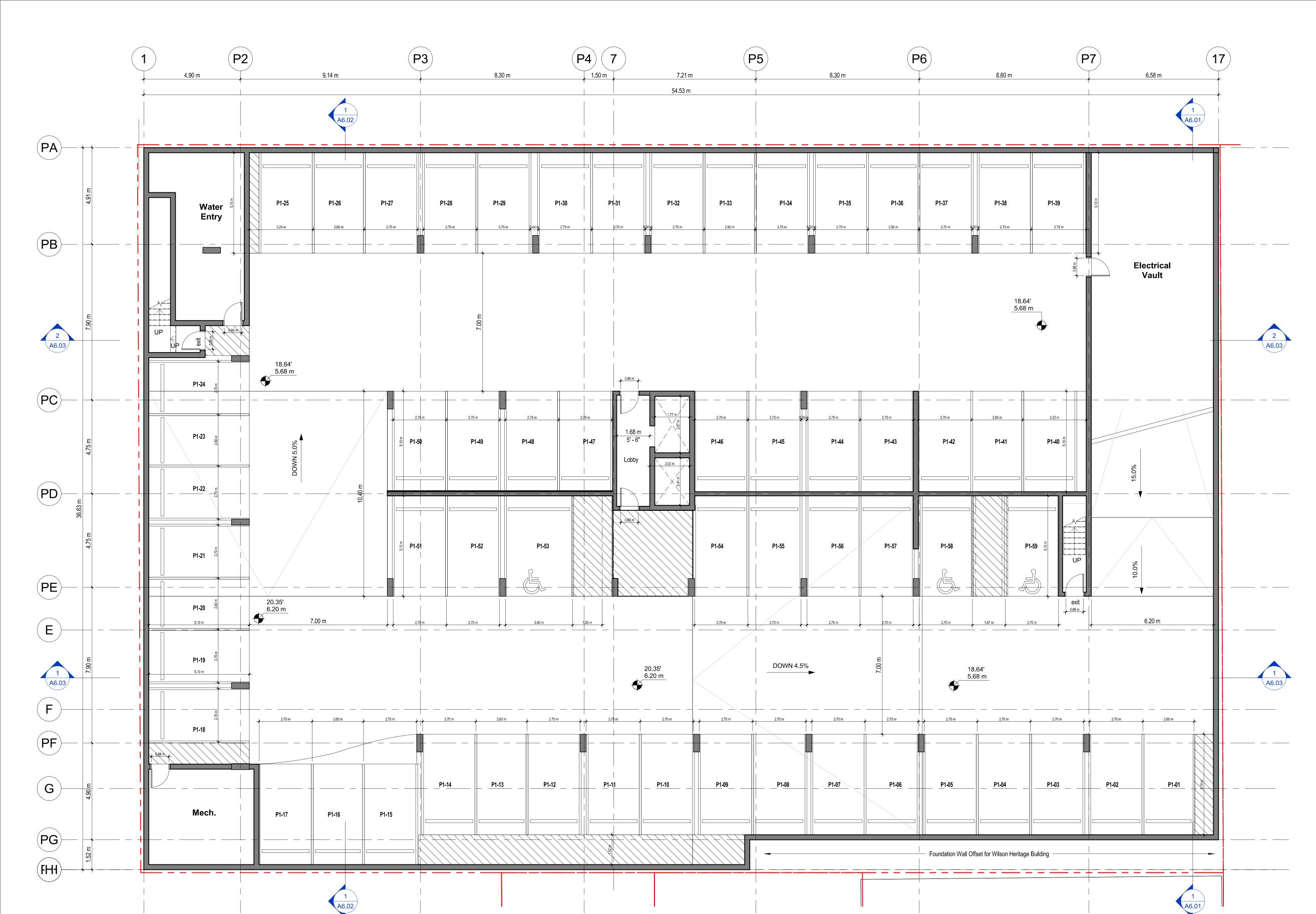


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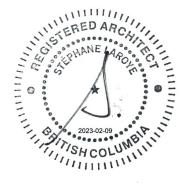
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PROJECT Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

DRAWING

Level P1 Plan

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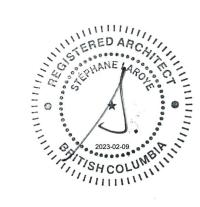
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2022.08.31 Date

PROJECT Wilson Public Park + The Albion Residences

530 Herald Str. + 533 Chatham Str.

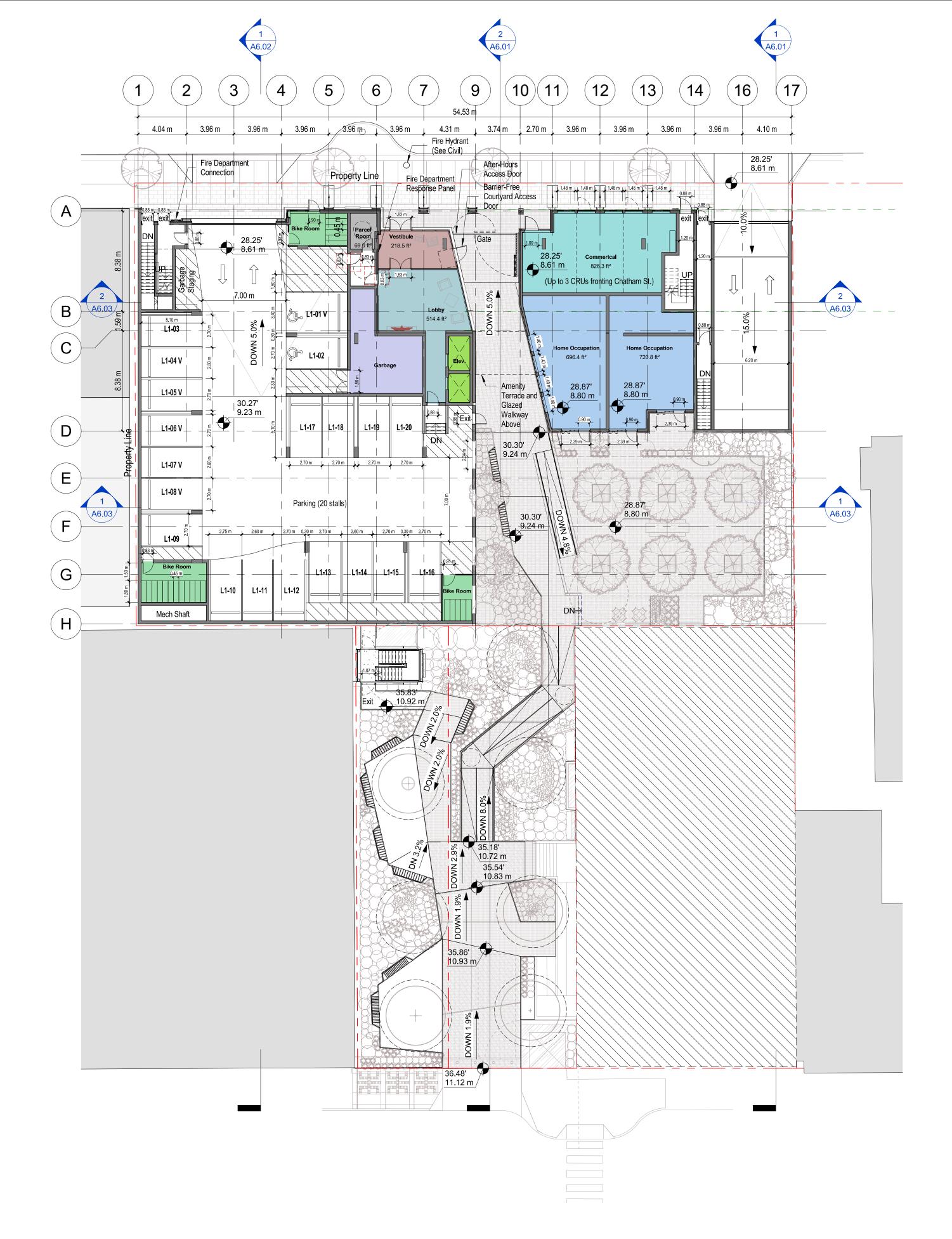
DRAWING Level 1 Plan

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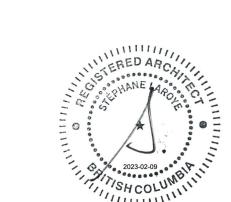
attention of the Architect for clarification.				
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SLA	Issue Date			
SCALE	REVIEWED			
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2022.08.31

Date



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PROJECT Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

DRAWING

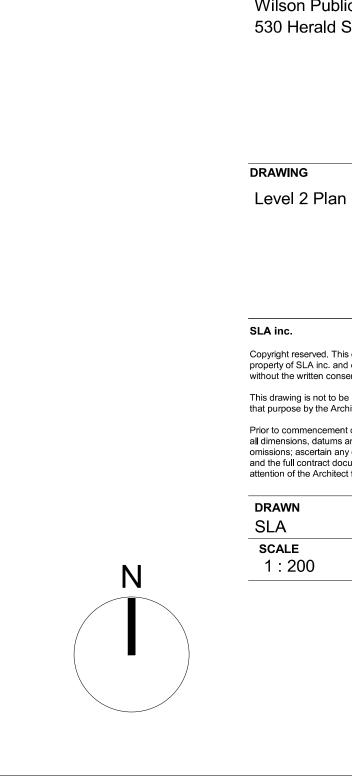
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1:200	SLA







2022.08.31

Date





EAL

3.74 m 2.70 m 3.96 m

2.39 m + 2.39 m

3.96 m

2.39 m

2.39 m | 1.80 m |

(D)

3.96 m 3.96 m

4.31 m

2.39 m

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No.
Description

PROJECT
Wilson Public Park + The Albion Residences
530 Herald Str. + 533 Chatham Str.

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Level 3-6 Plan

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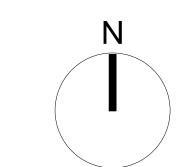
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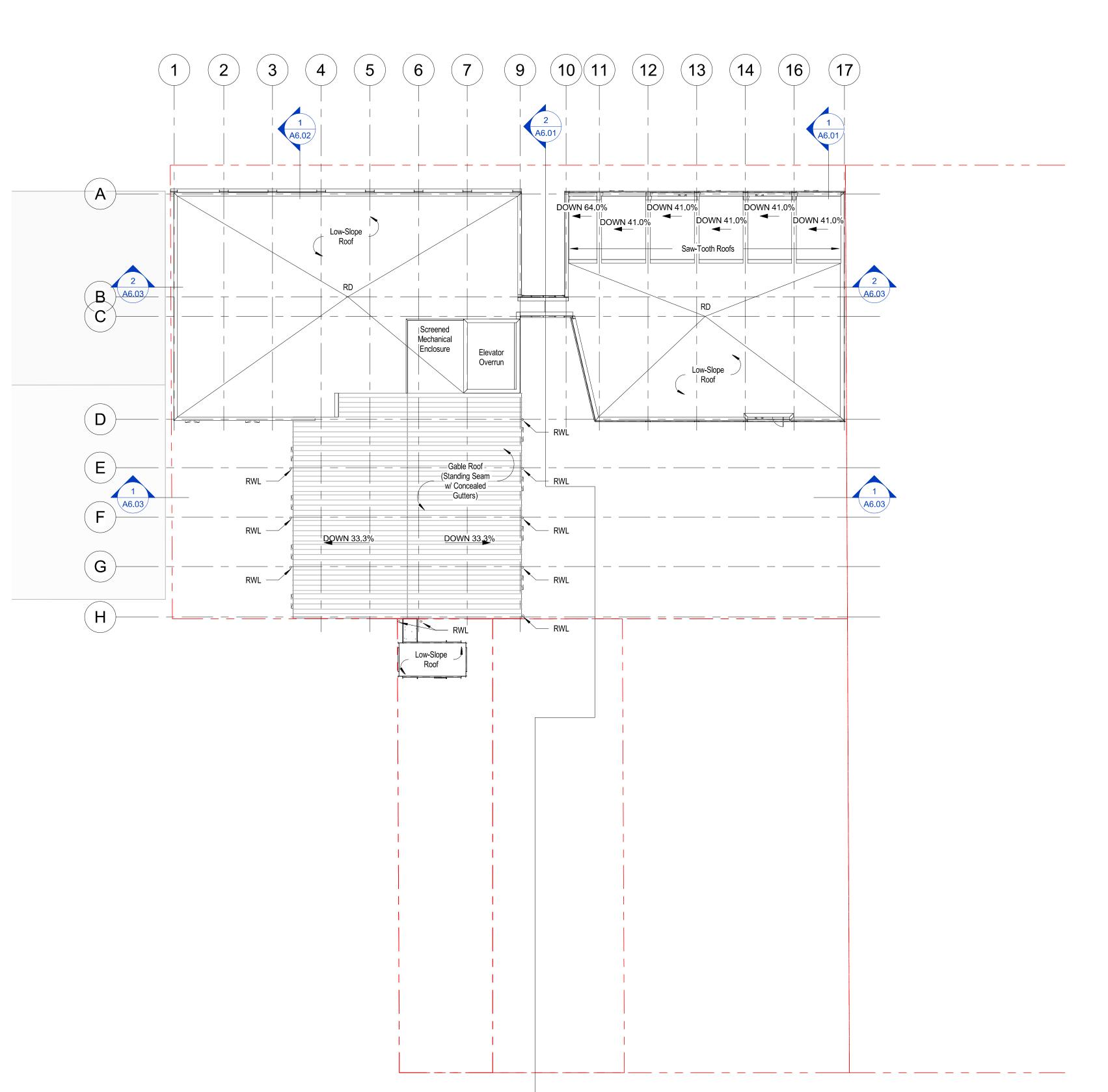
that purpose by the Architect.

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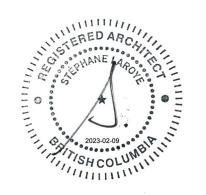
attention of the Architect for clarification.	
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Description

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PROJECT
Wilson Public Park + The Albion Residences
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DRAWING

Roof Plan

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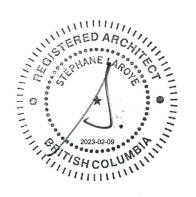
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SLA Issue Date
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Description

2023.02.09

2022.08.31 **Date**

PROJECT
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DRAWING
North & South Elevations

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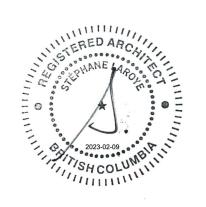
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PROJECT NO

A5.01

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PROJECT Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

Description

DRAWING East & West Elevation

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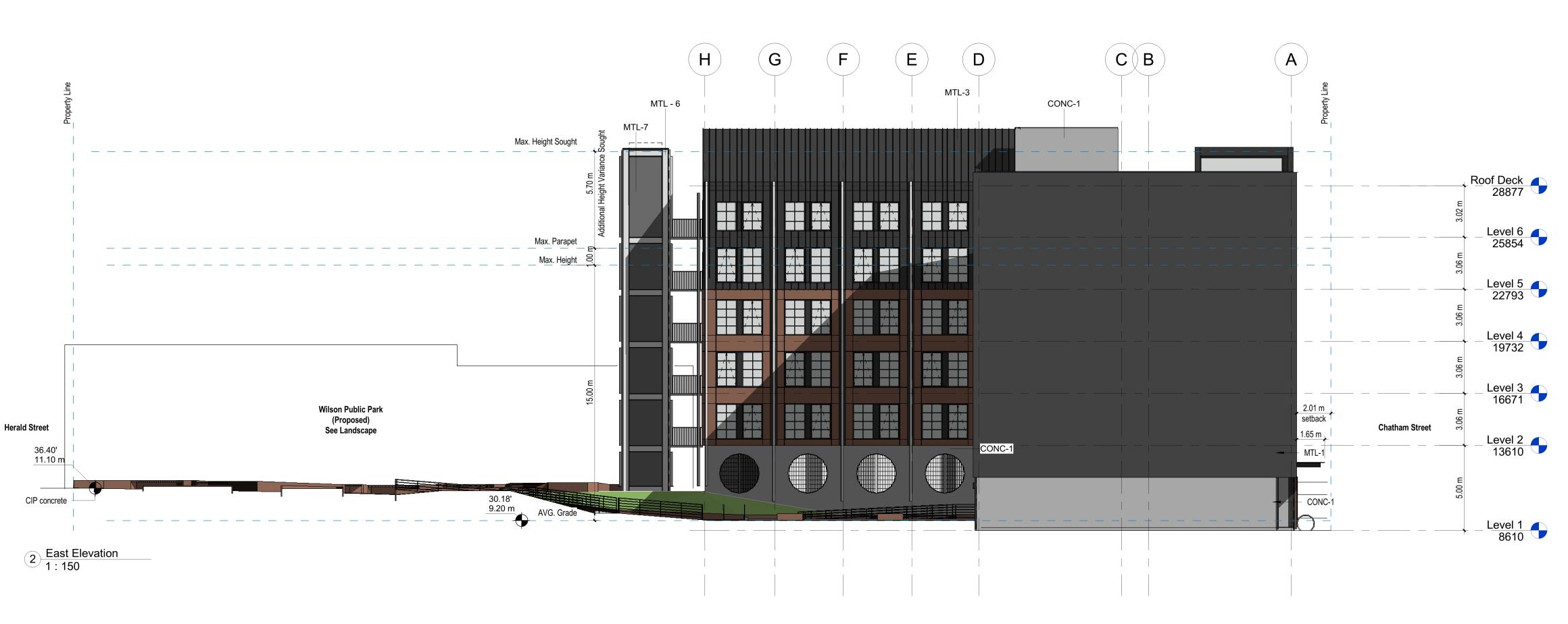
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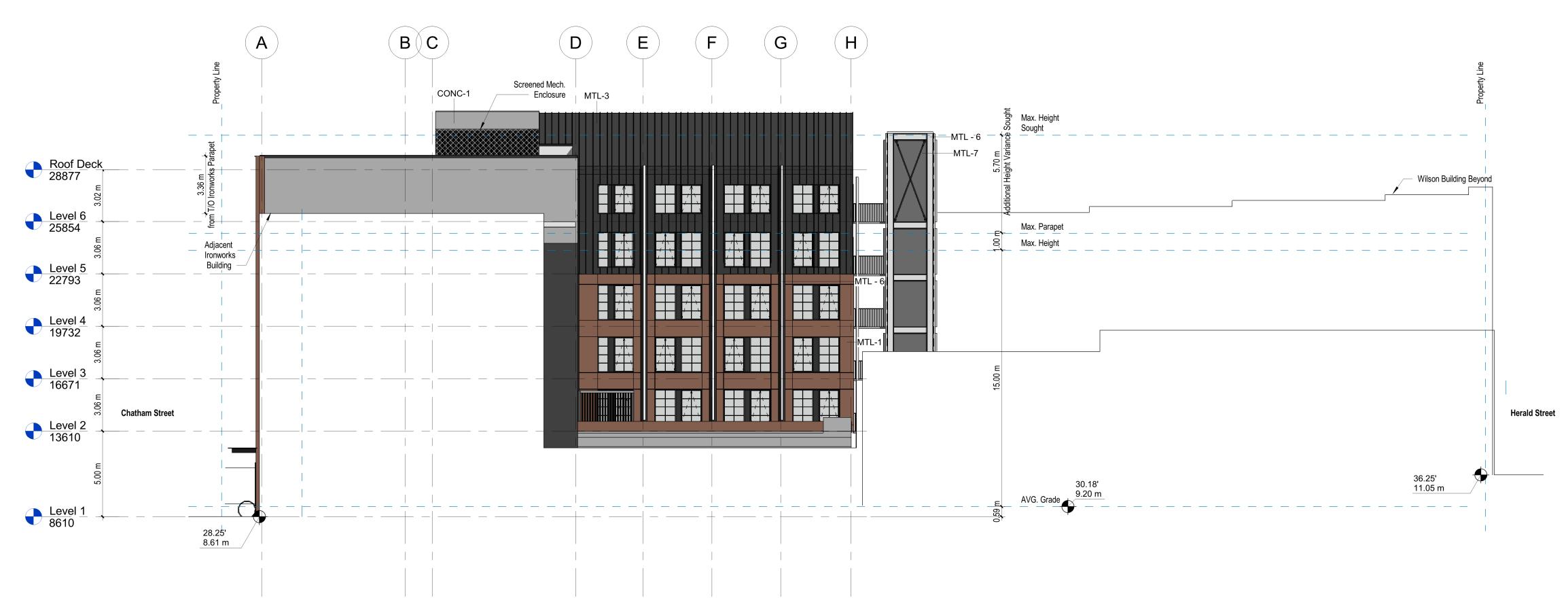
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Project Number PROJECT NO

A5.02

Note: Elevation material colours are symbolic. Refer to renderings





1 West Elevation 1: 150

Materials legend: CONC-1 - Board form concrete

MTL-2 - corten steel corrugated MTL-3 - blackened steel cladding

MTL-4 - blackened steel cladding corrugated

MTL-5 - black metal panel cladding
MTL-6 - galvanized steel
MTL-7 - perforated, pre-finished sheet metal

MTL-1 - corten steel panels

MTL-8 - ornamental grate MTL-9 - ornamental gate SIG-1 - back-lit wordmark signage

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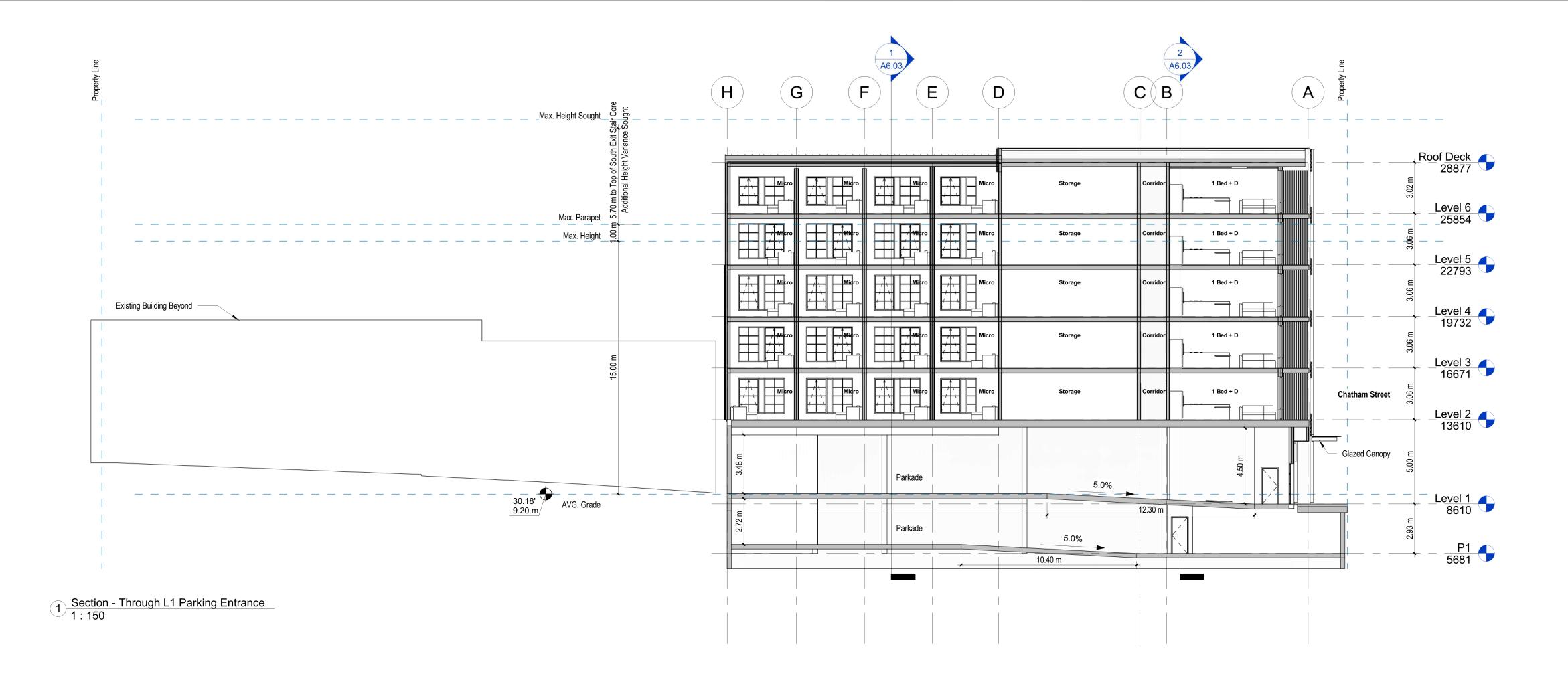
Wilson Public Park + The Albion Residences

2023.02.09

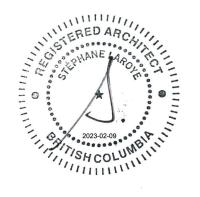
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PRO

Wilson Public Park + The Albion Residences
530 Herald Str. + 533 Chatham Str.

DRAWING

Building Section

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PROJECT Wilson Public Park + The Albion Residences 530 Herald Str. + 533 Chatham Str.

DRAWING Building Section

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Project Number

PROJECT NO

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Tree preservation Summary

	Tree Pre	servation Summar	V					
City of \	/ictoria Project No: Unknown	oor vation oanima.	<i>,</i>					
Address								
	:: Tom Talbot							
Certifica	ations/Qualifications: ISA Certified Arborist (P			_				
		Count	Multiplier		Total			
	ONSITE Minimum	replacement tree re	equirement					
	Protected Trees Removed	A.	1					
В.	Replacement Trees Proposed per		X 1	B.	6			
	Schedule "E", Part 1	6						
C.	Replacement Trees Proposed per		X 0.5	C.	0			
	Schedule "E", Part 2	0			_			
D.	Replacement Trees Proposed per Schedule "E", Part 3	8	X1	D.	8			
E.	Total replacement trees proposed (B+C+I) Round down to ne	earest whole number	E.	14			
F.	Onsite replacement tree deficit (A-E) Red	F.	0					
	ONSITE Minimum trees	s per lot requireme	nt (onsite trees)					
G.	Tree minimum on lot	G.	13					
	Protected trees retained (other than specimen trees)	H.	7					
I.	Specimen trees retained	I.	0					
J.								
	OFFSITE Minimum replace				0			
K.	Protected trees Removed	1	X 1	K.	1			
L.	Replacement trees proposed per Schedule "E", Part 1 or Part 3	X 1	L.	4				
М.	Replacement trees proposed from Schedule "E", Part 2	X 0.5	M.	0				
N.	Total replacement trees proposed (L+ M)	Round down to nea	rest whole number	N.	4			
Ο.	Offsite replacement tree deficit (K - N) Re	cord 0 if negative nu	umber	Ο.	0			
	Cash-ii	n-lieu requirement						
P.	Onsite trees proposed for cash-in-lieu En number	ver is the greater	P.	Ō				
Q.	Offsite trees proposed for cash-in-lieu En	<u>iter 0.</u>		Q.	0			
	Cash-in-lieu proposed ((P+Q) X \$2,000)			R.	0			
Summa Date:	ry prepared and submitted by:			*Refe Lands others	cape Plan by			

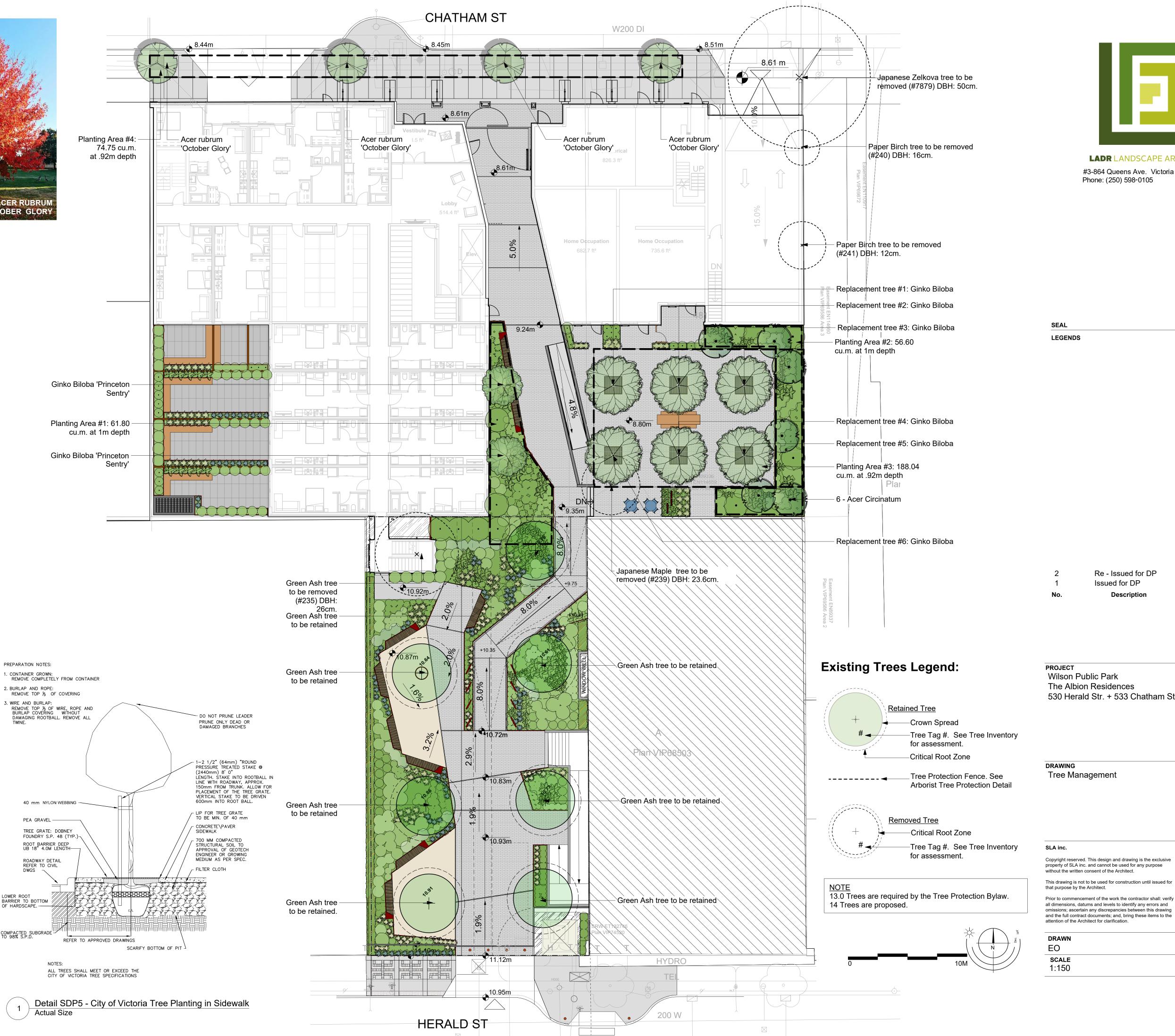
Soil volume table

				Replace	ement Trees Pro	oposed		Soil Volume I	Required (m3)	
			Α	В	С	D	E	F	G	
Planting Area ID	Area (M2)	Soil Volume multiplier*	Estimated soil Volume	# Small	# Medium	# Large	Small	Medium	Large	Total **
					Onsite					
#1	61.80	1.00	61.80			2.0			60.00	60.
#2	56.60	1.00	56.60	6.0			36.00			36.
#3	204.40	0.92	188.04			6.0			180.00	180.
#4	81.25	0.92	74.75		4.0			60.00		60.
				Offsite (I	Excluding City	Property)				
Planting										
Area OSA X										
		Offsite (E	xcluding City P	roperty)			E	F	G	TOTAL
	•		•	•		Calculation	If B = 1 B x 8	If C = 1, C x 20	If D = 1 D x 35	E+F+G

* On ground (excluding exposed bedrock): use 1, On structure: use depth of soil, On soil cells: use 0.92, On structural soil: use 0.2 ** Total must not exceed A. If Total exceeds A, then the number or size of proposed replacement trees must be reduced.

Inventory of Existing Trees

	Surveyed	Location (On, Off,	Bylaw	Name				Critical	Di	ripline	Condition	on					
Tag or ID #	? (Yes/No)	Shared, City)	protected ? (Yes/No				dbh (cm)	root zor radius (ne di	iameter	Health	Structural	Relative tolerance	General field observations/remarks			Tree retention/location comments
231	Yes	on	no	Green	ash	Fraxinus pensylvanica	26.0	2.73		7.0	G	G	good	Limited so	il volume		
232	Yes	on	no	Green	ash	Fraxinus pensylvanica	29.0	3.045		8.0	G	G	good	Limited so	il volume		
233	Yes	on	no	Green	ash	Fraxinus pensylvanica	23.0	2.415		6.0	G	G	good	Limited so	il volume, late	to leaf	
234	Yes	on	no	Green	ash	Fraxinus pensylvanica	21.0	2.205		6.0	G	G	good	Limited so	il volume		
235	Yes	on	no	Green	ash	Fraxinus pensylvanica	26.0	2.73		7.0	G	G	good		il volume, large e engulfing me s		
236	Yes	on	no	Green	ash	Fraxinus pensylvanica	25.5	2.6775		8.0	G	G	good		il volume, large e engulfing me		
237	Yes	on	no	Green	ash	Fraxinus pensylvanica	24.0	2.52		6.0	G	G	good		il volume, large e engulfing me s		
238	Yes	on	no	Green	ash	Fraxinus pensylvanica	29.5	3.0975		8.0	G	G	good				
22219	No	city	yes	Cherry	plum	Prunus serrulata	7.0	0.735		2.0	G	G	good				
239	No	on	no	Japane maple	se	Acer japonic	a 23.6	2.478		2.5	G	F	good				
240	Yes	on	no		Pap		Betula papyrifera	1	16.0		2	3.0	3	F	moderate		ion pruning over parking ng asymmetric crown
241	Yes	on	no		Pap		Betula papyrifera	1	12.0		1.5	2.0	3	F	moderate	shadir	metrical crown due to ng from neighbouring ipal tree
7879	Yes	city	yes	.	Japa zelk		Zelkova serrata	5	50.0	5.25		12.0	3	F	good		



LADR LANDSCAPE ARCHITECTS

Phone: (250) 598-0105

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Description

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Wilson Public Park

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SCALE

EO

Feb 09 - '23

Aug 25 - '22

Date

Feb 09 - 23'

REVIEWED

PROJECT NO 2202

CW

SEAL

LEGENDS

#3-864 Queens Ave. Victoria B.C. V8T 1M5

REFERENCE + INSPIRATION IMAGES



















#3-864 Queens Ave. Victoria B.C. V8T 1M5 Phone: (250) 598-0105

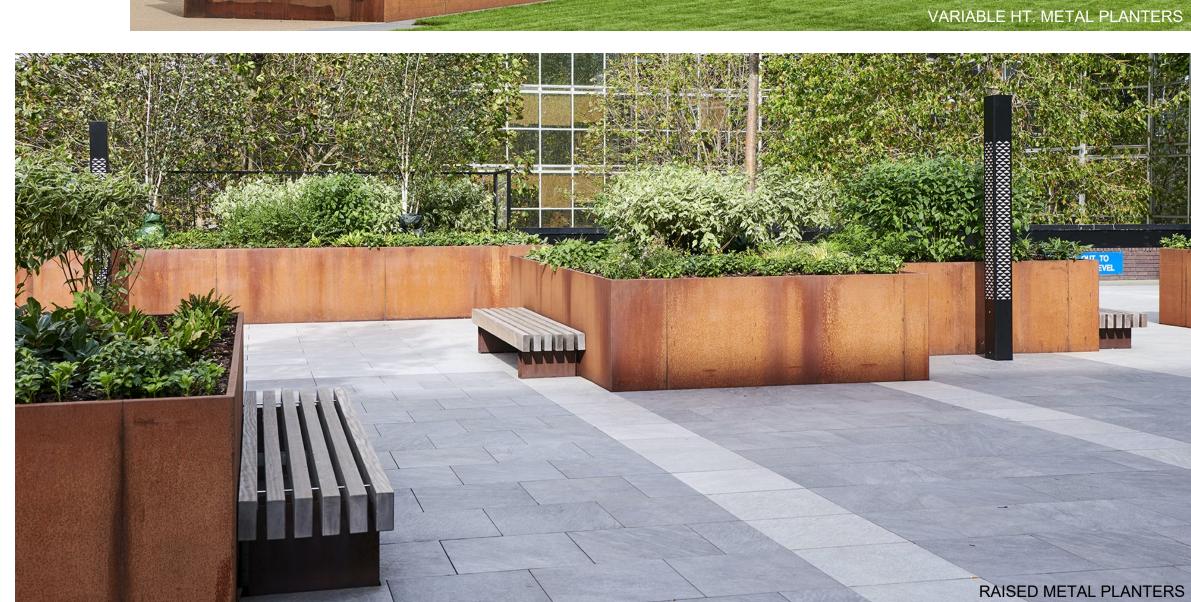




























Feb 09 - '23 Aug 25 - '22 Issued for DP Date

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EO	Feb 09 - 23
SCALE	REVIEWE
1:150	CV
-	

PROJECT NO 2202



- Installation Method: Cast-in-place
- Application: Sidewalk fill and frame
- Colour: Natural
- Finish: Fine broom finish
- **BRICK PAVER TYPE B** Smooth Red Brick Dimensions: 94mm x 194mm x 25mm Application: Sikewalk accents Colour: Orange red



Dimensions: 300mm x 450mm x 80mm

Installation Method: Mortar set

Application: Entry banding

Colour: Charcoal grey

Finish: Flamed

Chinatown Paving Materials

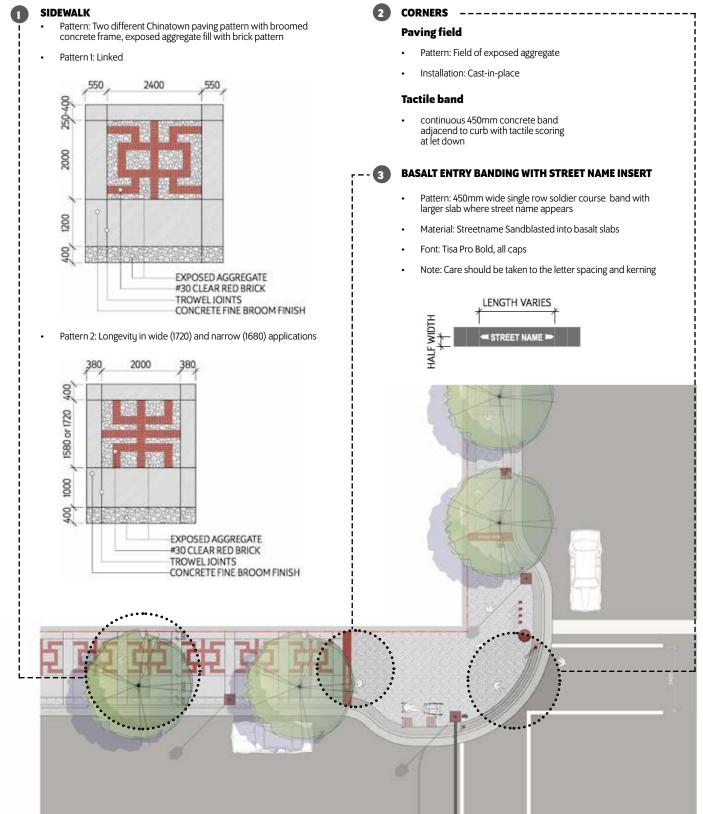
L4

BASALT PAVERS 3 EXPOSED AGGREGATE



Chinatown Paving Applications

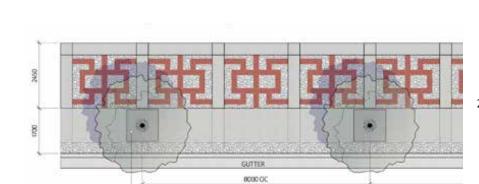
CHINATOWN PAVING APPLICATIONS



CHINATOWN PLANTING DETAILS

TREE GRATE, TYP.

APPLICATION For all sidewalks in China Town area there are be two types of trees-in-sidewalk condition:



Chinatown Planting Details

1. Adaptation of existing tree locations to sidewalk improvements:

- Small modifications of proposed trowel joint pattern are recommended to best accommodate for existing tree locations. Detailed design and recommendations to be provided on a case-by-case basis for each improvement
- Use of proposed poured-in-place resin bound material instead of tree grates is highly recommended to best accommodate heaving and overgrown tree routes and large tree trunks.

New development condition:

- A street tree spacing of between 8 10 metres is desired
- Tree grates should be set in a concrete band that runs across the sidewalk from curb to building face as illustrated on the diagram below with trowel joint defining the band always aligned with tree grates
- Street trees should be sited to correspond with architectural features of building frontage when possible



Streetscape Standards for specific

location guidelines.

SEAL **LEGENDS** **LADR** LANDSCAPE ARCHITECTS

#3-864 Queens Ave. Victoria B.C. V8T 1M5

Phone: (250) 598-0105

✓ 4 \ Chinatown Furnishing

METAL TREE GUARD

PRODUCT TYPE:

PRODUCT NAME:

COLOUR/FINISH:

DISTRIBUTION:

MANUFACTURER:

DESIGN STYLE:

Tree Guard

Metal

Metal Tree Guard

Glossy Black (RAL 9017) Baked-on

Inner Harbour, Old Town, Rock

Bay, New Town, Government

See Character area section of

Streetscape Standards for specific

Street, Douglas Street

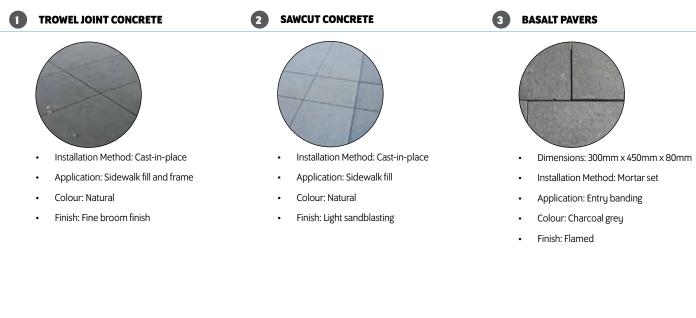
Contemporary

Powder Coat

City of Victoria

location guidelines.

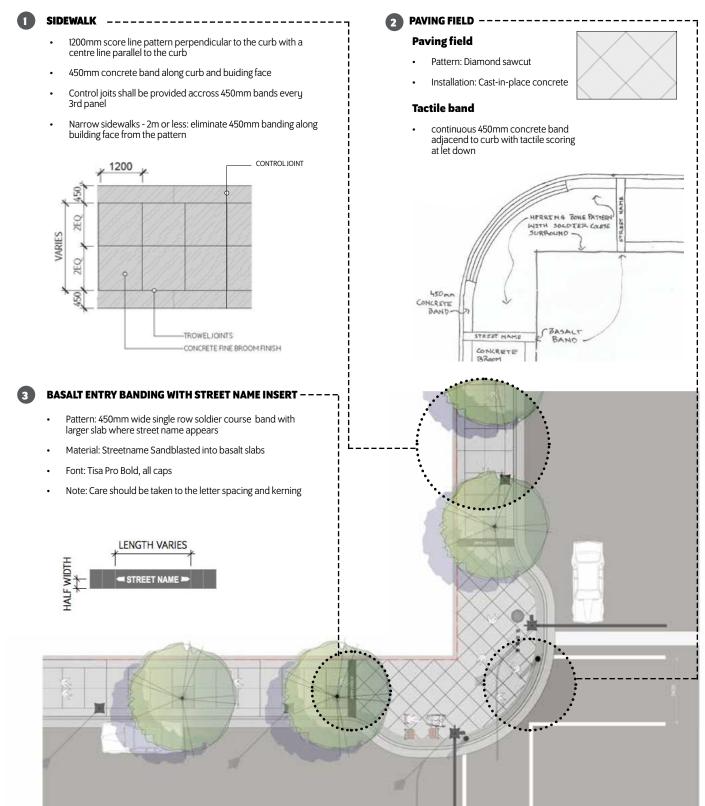
ROCK BAY PAVING MATERIALS







ROCK BAY PAVING APPLICATIONS





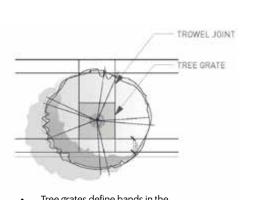
ROCK BAY PLANTING DETAILS

For all sidewalks in Rock Bay area there are be two types of trees-in-sidewalk condition:

- 1. Adaptation of existing tree locations to sidewalk improvements:
- Small modifications of proposed trowel joint pattern are recommended to best accommodate for existing tree locations. Detailed design and recommendations to be provided on a case-by-case basis for each improvement area.
- Use of proposed poured-in-place resin bound material instead of tree grates is highly recommended to best accommodate heaving and overgrown tree routes and large tree trunks.
- New development condition:

frontage when possible

- A street tree spacing of between 8 10 metres is desired
- Tree grates should be set in a concrete band that runs across the sidewalk from curb to building face as illustrated on the diagram below with trowel joint defining the band always aligned with tree grates
- Street trees should be sited to correspond with architectural features of building



 Tree grates define bands in the sidewalk pattern as illustrated on

the diagram above

SQUARE TREE GRATE PRODUCT TYPE: PRODUCT NAME: **DESIGN STYLE: MATERIALS: COLOUR/FINISH: DIMENSIONS:** 48" W **DISTRIBUTION: MANUFACTURER:**

SPECIAL NOTES:

Tree Grate Square Tree Grate Contemporary Dobney Foundry Ltd. See Character area section of Streetscape Standards for specific location guidelines.

PROJECT

Wilson Public Park The Albion Residences 530 Herald Str. + 533 Chatham Str.

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Description

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Aug 25 - '22

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Victoria DT PR Guidelines

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PROJECT NO 2202

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