

410 HEATHER STREET

SUBMITTED FOR: REZONING AND DEVELOPMENT PERMIT

DATE: NOVEMBER 30, 2022

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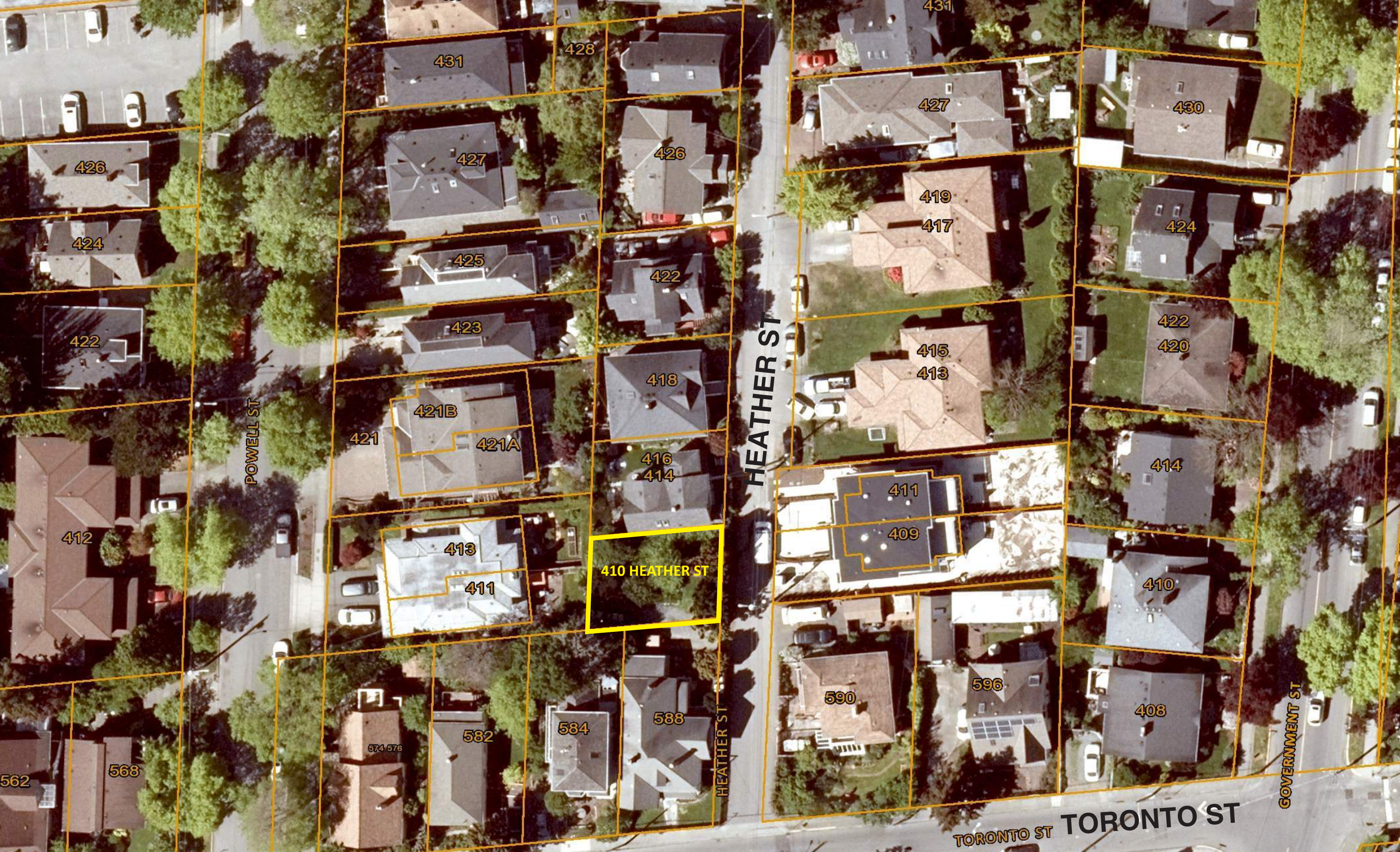
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OWNER:
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LOW HAMMOND ROWE ARCHITECTS





POWELL ST

HEATHER ST

HEATHER ST

TORONTO ST

GOVERNMENT ST

410 HEATHER ST





TORONTO & HEATHER



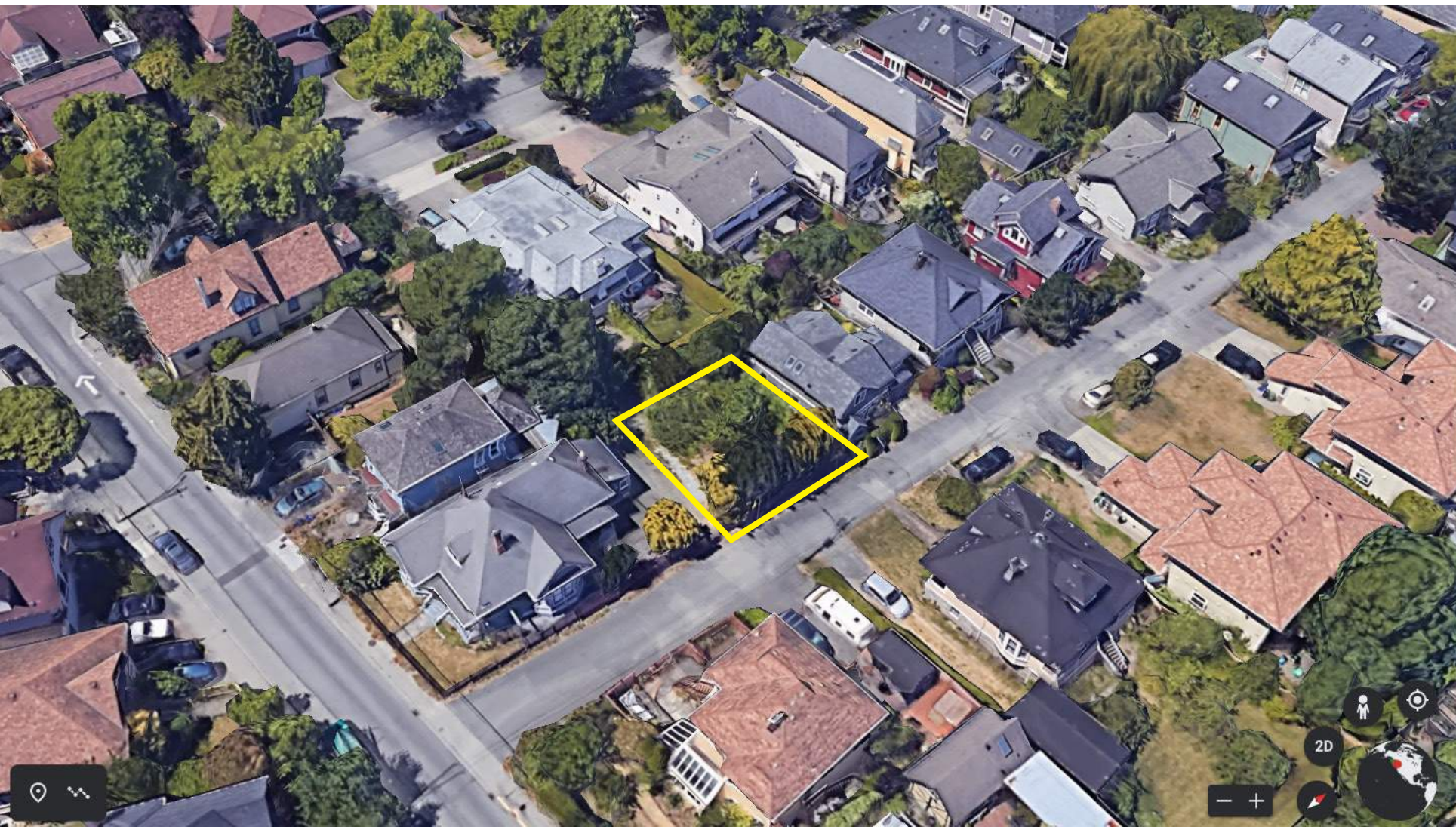
588 TORONTO ST @ HEATHER ST



410 HEATHER STREET

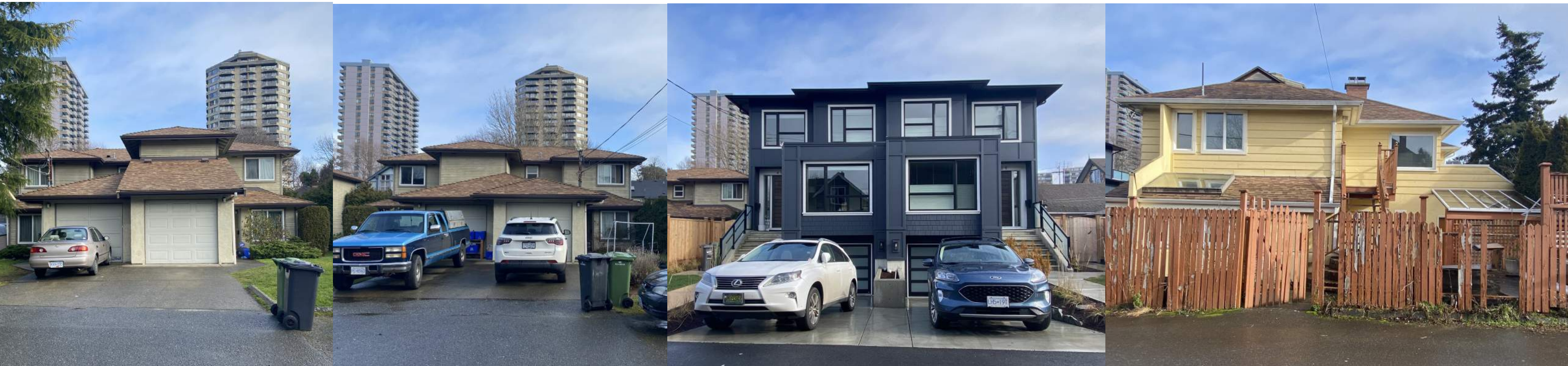


414-416 HEATHER STREET





HEATHER STREET - WEST FRONTAGE



HEATHER STREET - EAST FRONTAGE



Site Plan of:

Lot 20 of Lot 1795,
Victoria City, Plan 432



Scale 1:100
All distances are in metres

Civic address: 410 Heather Street
Victoria, B.C.

Parcel Identifier Number 009-077-774

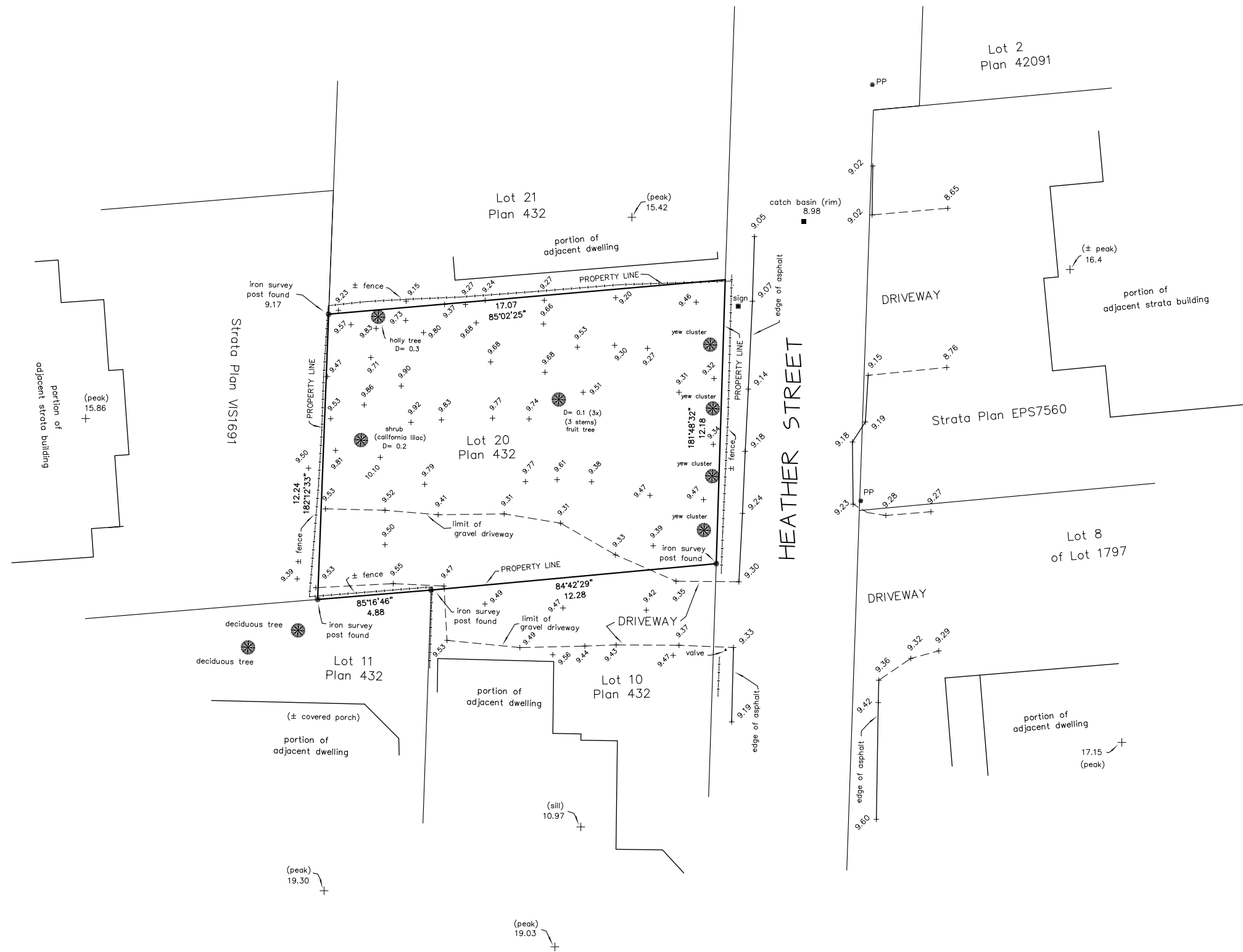
Legend

- Denotes spot elevation + 0.00
- Denotes utility pole ● PP
- Denotes tree & species ● tree
- D denotes diameter

(trees not plotted to scale)
(not all trees indicated)

Elevations are derived from a Geodetic datum

site area =
207.8 square metres



Property dimensions are derived from Land Title Plans and field survey.

The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made, or actions taken based on this document.

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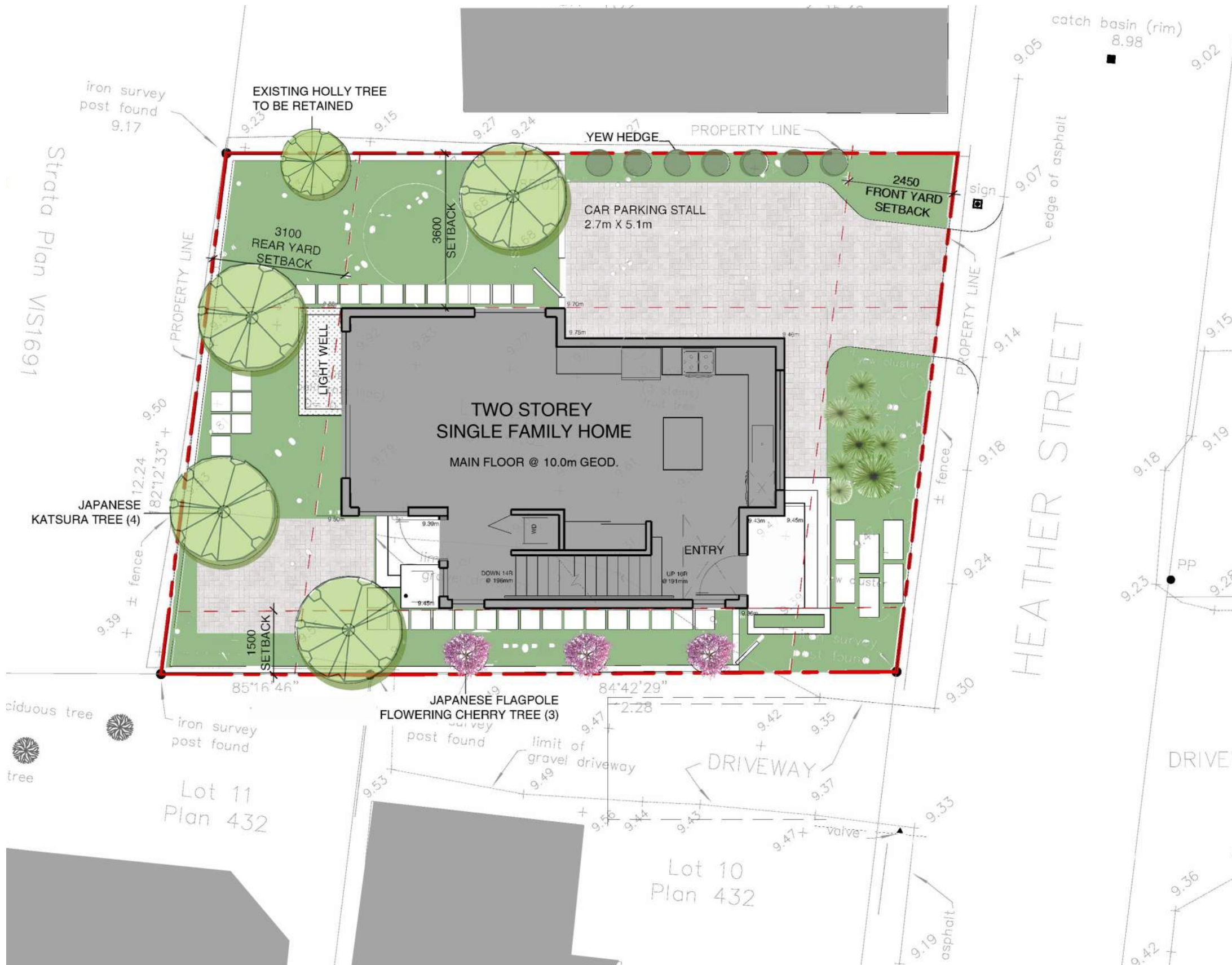
Certified correct this 1st day of February, 2022

Glen Mitchell
1DCZ32
Digitally signed by Glen Mitchell
1DCZ32
Date: 2022.02.01
14:24:18 -08'00'

B.C.L.S.

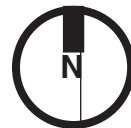
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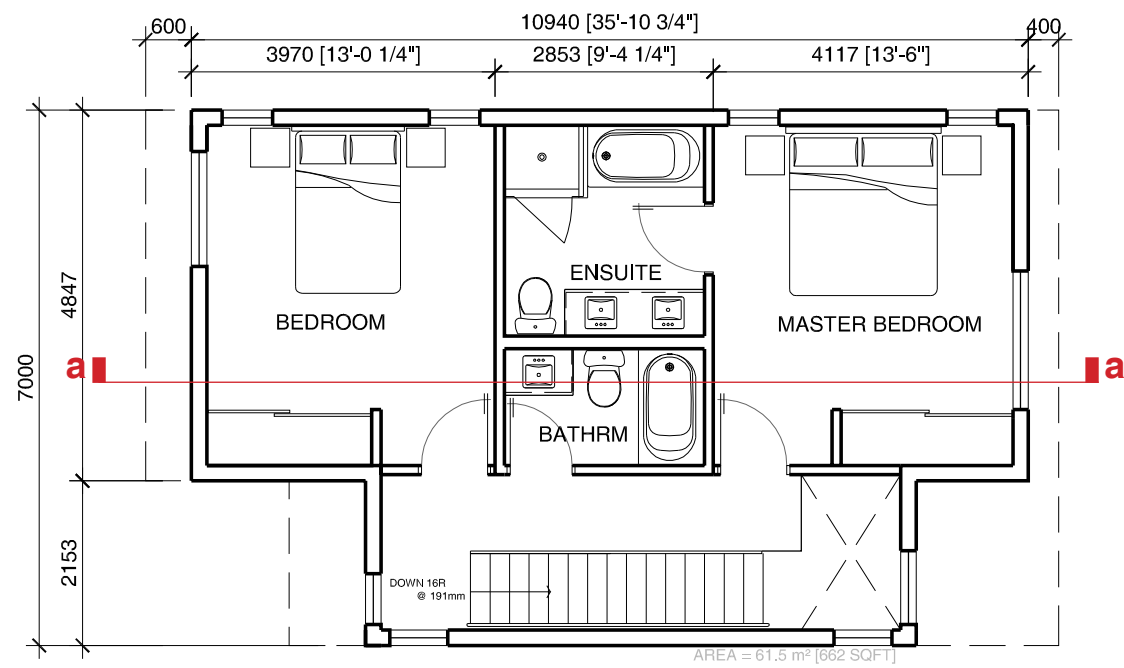




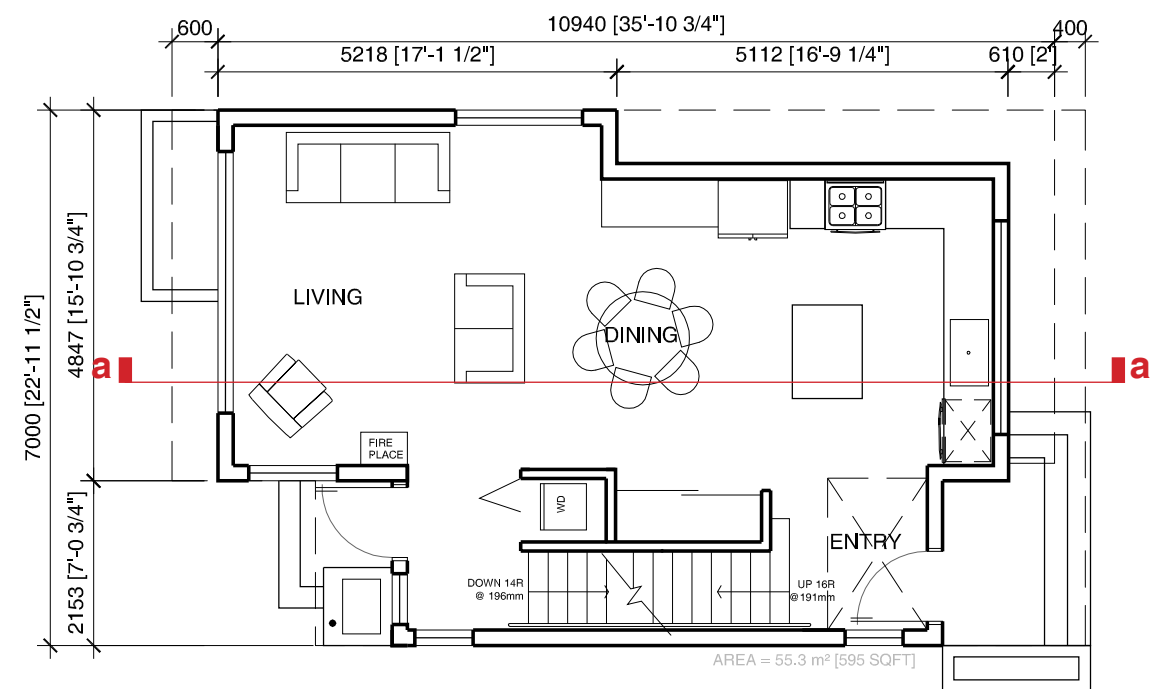
| | |
|----------------------------|--|
| EXISTING ZONE | = R2 (Two Family Dwelling) |
| PROPOSED ZONE | = R1-S2 |
| LOT AREA | = 207.8m² (260m² MIN) |
| HEIGHT | = 7.5m MAX = 6.8m |
| FLOOR AREA | = 124.68m ² MAX = 116.8m ² |
| FSR | = 0.6 MAX = 116.8/207.8 = 0.56 |
| SITE COVERAGE | = 40% MAX = 37.86% (78.67/207.8) |
| OPEN SITE SPACE | = 50.4% (104.8m ² / 207.8m ²) |
| SETBACKS FRONT | = 6.0m MIN = 2.45m PROPOSED |
| REAR | = 6.0m MIN = 3.1m PROPOSED |
| SIDE 1 | = 1.5m MIN = 1.5m PROPOSED |
| SIDE 2 | = 2.4m MIN = 3.6m PROPOSED |
| PARKING | 1 Surface Stall provided in side yard - 5.1m x 2.7m Parking of adjacent property to be relocated. |
| Schedule C - 2.2.3. | Parking to be minimum 1.0m away from street. |

SITE PLAN
1:100

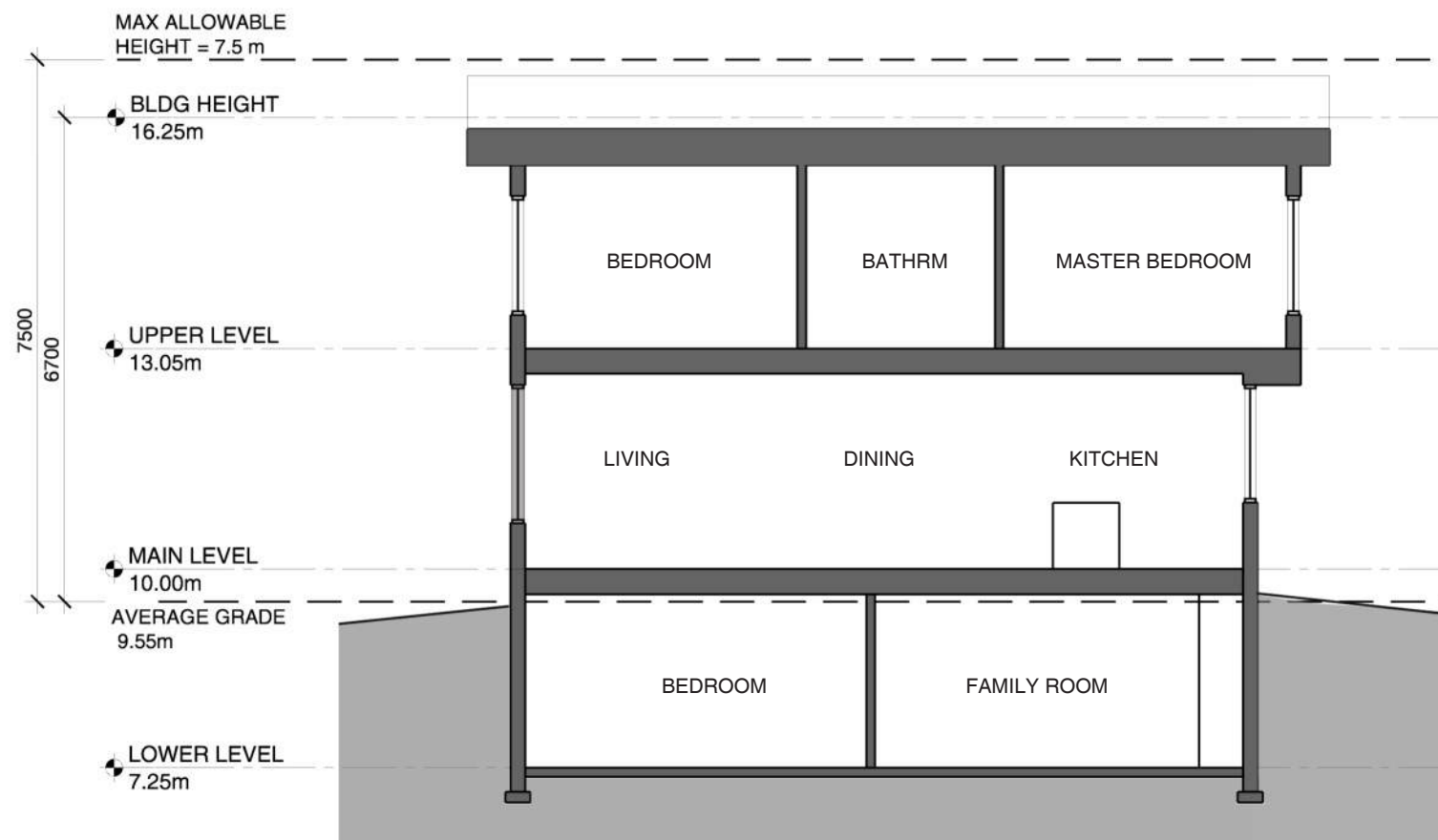




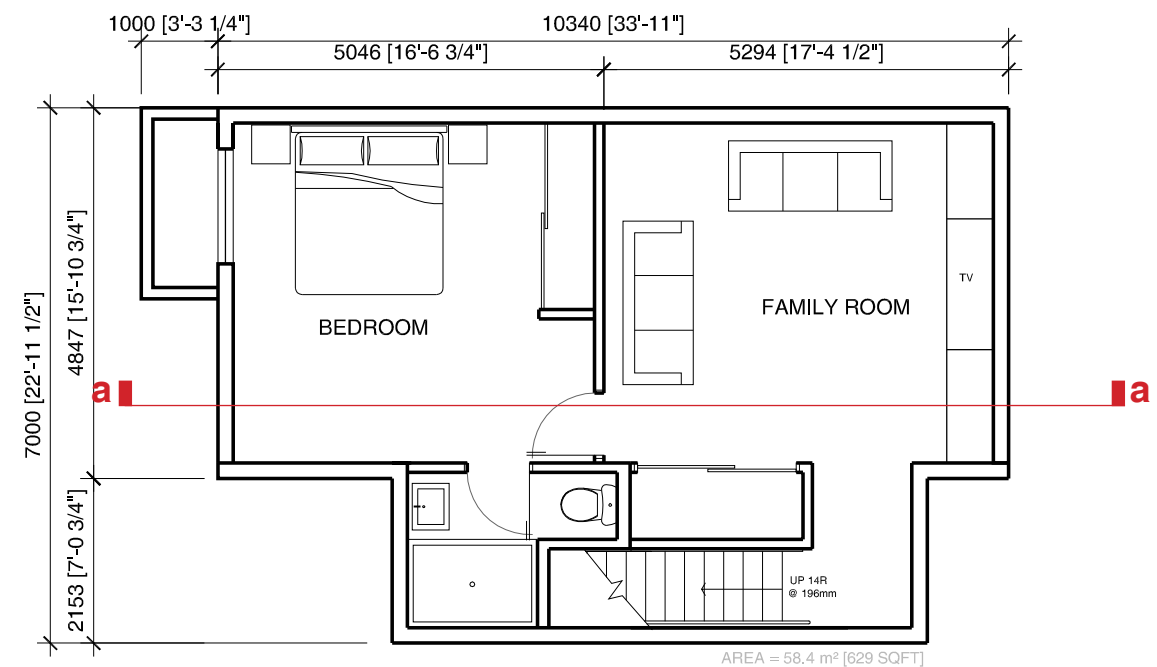
level 2 floor plan
1:100



level 1 floor plan
1:100



section a-a

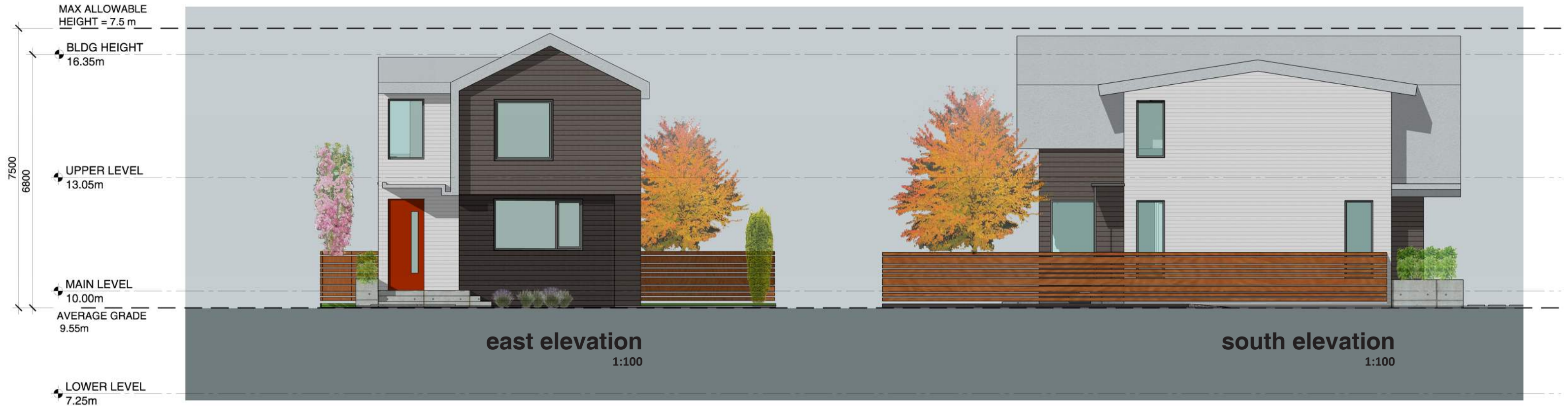


basement floor plan
1:100

LEVEL 1 FLOOR AREA = 55.3 m² (595 SQ FT)
 LEVEL 2 FLOOR AREA = 61.5 m² (662 SQ FT)
 BASEMENT FLOOR AREA = 58.4 m² (629 SQ FT)

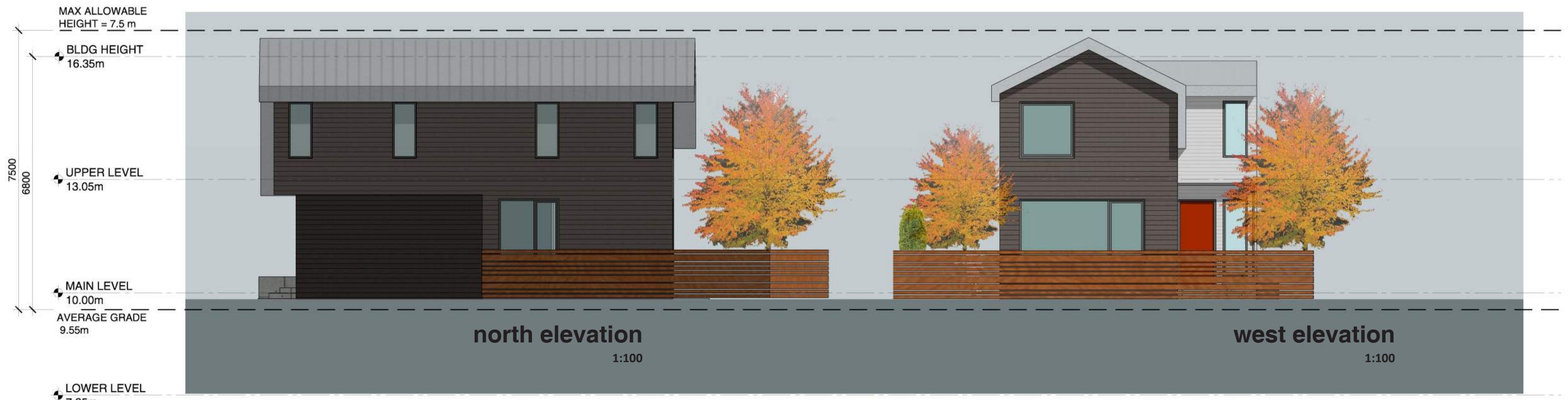
TOTAL FLOOR AREA PER ZONING = 116.8 m² (1257 SQ FT)






east elevation
1:100


south elevation
1:100





north elevation
1:100


west elevation
1:100


- 

WHITE 4" CEDAR SIDING
- 

GRAY 4" CEDAR SIDING
- 

CHARCOAL 4" CEDAR SIDING
- 

GALVANIZED STANDING SEAM METAL ROOF
- 

BLACK FRAME LOW E VINYL WINDOWS
- 

HORIZONTAL STAINED WOOD PRIVACY FENCE

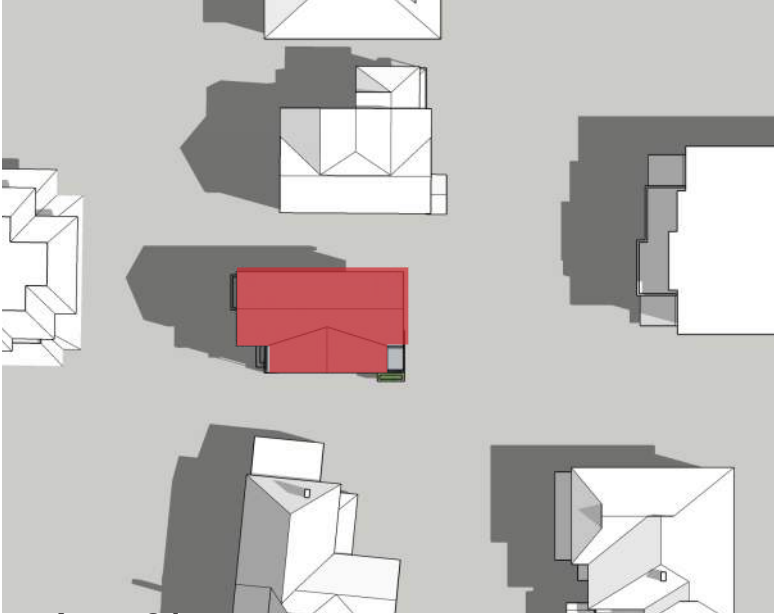


HEATHER STREET ELEVATION



HEATHER STREET - IMMEDIATE NEIGHBOURS - ELEVATION



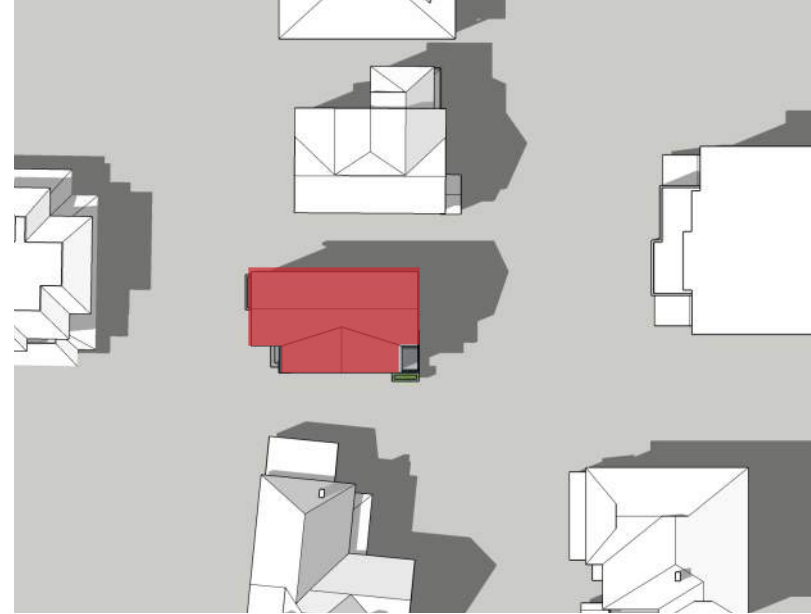


June 21

9am



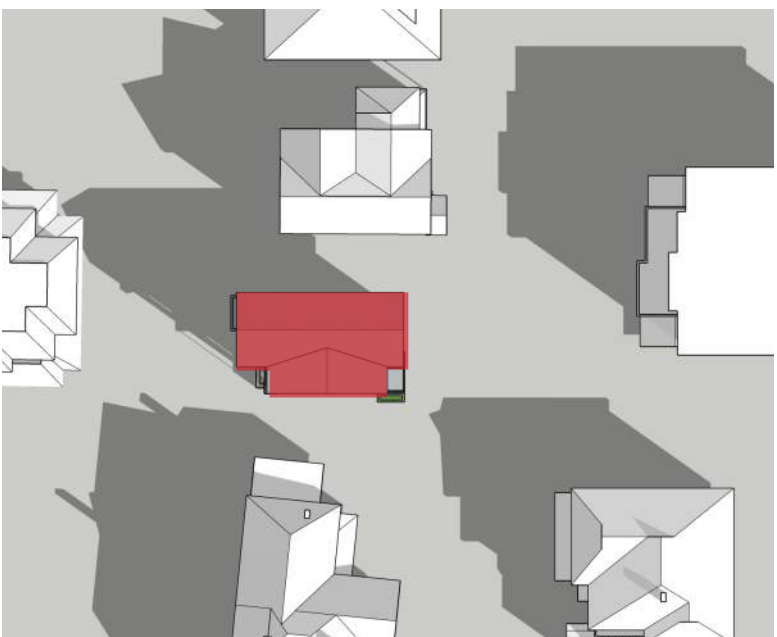
12pm



3pm



6pm



march / sept 21

9am



12pm



3pm

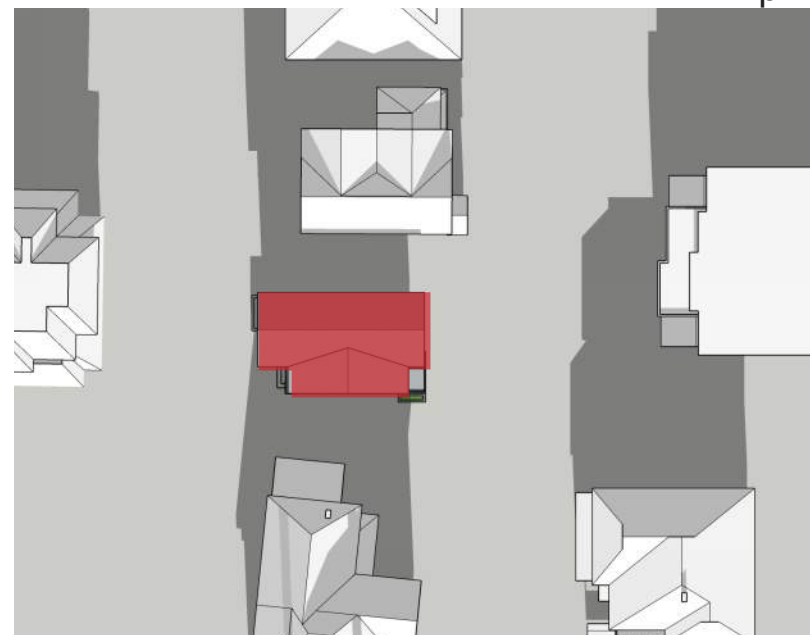


6pm



December 21

9am



12pm



3pm



