

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES.

2. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.

3. EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/SHEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION.

4. WHERE NOTED BY 'ENG' OR 'ENGINEERED', ALL STRUCTURE SHALL BE ENGINEERED BY CERTIFIED STRUCTURAL ENGINEER, INCLUDING, BUT NOT LIMITED TO: SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS 'ENGINEERED'. ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL.

5. ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE, AND SHALL CONFORM TO CURRENT RESIDENTIAL STANDARDS AND THE BRITISH COLUMBIA BUILDING CODE 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.

6. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED, AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING.

7. PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.

8. ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C. 2018 AND GOOD CONSTRUCTION PRACTICE.

9. PROVIDE MINIMUM OF 8" (202mm) CLEARANCE FROM GRADE TO WOOD CLADDING MATERIALS. EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6" (150mm) ABOVE ADJACENT GRADE.

10. ALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2018 PART 9 WHERE SUPPORTING FLOOR OR ROOF LOADS.

11. INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.10.19. - INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 9.32.4.2.

12. ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL PLATES MUST BE PRESSURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.

13. ALL NOTED 'ENGINEERED' COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.

14. SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET MEET CRITERION FOR AIRTIGHTNESS, WATERTIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (security). ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-F-RATINGS FOR ALL WINDOWS WITHIN 2 METRES OF GRADE. THE RELEVANT STANDARD REQUIRES THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO BE ENGINEERED WITH SEALED DRAWINGS AND LETTERS OF ASSURANCE. WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE.

15. INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" (865mm) MIN. to 38" (965mm) MAX. ABOVE NOSING.

16. INSTALL GUARDRAIL AT ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42" (1070mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE, OTHERWISE 36" (915mm) GUARDRAIL ALLOWED. CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SHOE TO RESIST LATERAL LOADS PER B.C.B.C. 2018. OTHER GLAZED RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED W/ SEALED DUGS AND LETTERS OF ASSURANCE.

17. INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT WALLBOARD (min 6" x 150mm) ON FRAMING AS SUBSTRATE AROUND ALL WALL & CEILING AREAS OF STEAM/SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL UET AREAS TO MIN 6'-0" (182m) HIGH.

18. PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING BUILDING CODE AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION.

19. PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND CERTIFIED CONTRACTOR. RECEPTACLES AND APPLIANCE LOCATIONS TO BE APPROVED BY OWNER.

20. ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER.

21. FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF THE B.C.B.C. 2012 PART 9.

22. VERIFY EXISTING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, & COMPACT ACCORDING TO BUILDING ELEVATIONS.

23. ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES, AND MILLWORK TO OWNER'S APPROVAL.

24. STAIR TREADS TO BE CONSTRUCTED OF PLYWOOD OR OTHER ENGINEERED PRODUCT, FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE.

25. ALL FLOOR SHEATHINGS MUST BE SECURED WITH 1 5/8" (40mm) GALVANIZED OR COATED FLOOR SCREWS ON 6" O.C. (150mm).

26. SOLID EAVE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHAKE ROOFS.

27. TEMPORARY HEAT AND/OR FANS REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN THE DRYING OF INTERIOR FRAMEWORK.

28. MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 19% PRIOR TO APPLICATION OF VAPOR BARRIER AND DRYWALL.

29. TWO CONTINUOUS LAYERS OF 30MIN. BUILDING PAPER MUST BE APPLIED TO EXTERIOR SHEATHING EITHER SHUFFLED - OR INSTALLED WITH 22" (550mm) OVERLAP SEAMS HALF-LAPPED TO THE 2nd MID-LINE OF THE BUILDING PAPER.

30. POSITIVE SLOPE FLASHINGS MUST BE INSTALLED ABOVE ALL WINDOWS, DOORS, SILLS, VENTS AND MATERIAL TRANSITIONS. ALL FLASHINGS MUST BE INSTALLED BEHIND BUILDING PAPER, WITH MECHANICALLY SEALED END DAMS. ALL FLASHINGS MUST EXTEND A MINIMUM OF 1" (25mm) BEYOND BOUNDARY OF THE OPENING TO WHICH THEY ARE APPLIED.

31. BUILDING PAPER & FELT PRE-STRIPPING, ONLY, TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT WOOD SURFACES.

32. ALL RAINSCREEN CAVITIES TO BE VENTED TOP & BOTTOM WITH INSECT PROOF VENT STRIPS.

33. PROVIDE STEPPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST PENETRATION DEPTH ON COMPETENT BEARING.

34. 20 Mps CONCRETE FOUNDATION WALL 8" (202mm) THICK MAY BE A MAXIMUM OF 4' (12 m) HIGH FROM GRADE TO U/S FLOOR IF LATERALLY UNSUPPORTED AT THE TOP. REFER TO B.C.B.C. 2018, 9.15.4. - ALL OTHER CONCRETE WALLS TO BE ENGINEERED.

35. PLUMBING PERMIT REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM AND DRAINAGE SYSTEM FOR THE BUILDING. ENSURE ALL FIXTURES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS.

36. ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY THE BUILDER/OWNER PRIOR TO ORDERING.

37. WHERE ALLOWED BY MUNICIPAL AUTHORITY HAVING JURISDICTION, APPROVED HOUSE WRAP, SUCH AS 'TYVEC' OR 'TYPAR' MAY BE USED, IF APPLIED AS SPECIFIED BY THE MANUFACTURER.

38. DESIGNER/DRAFTSPERSON DOES NOT ASSUME LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS UNLESS ADVISED IN WRITING BEFORE PROCEEDING WITH CONSTRUCTION.

ABBREVIATIONS

A/A ATTIC ACCESS - MIN 24"x36"

AFB ABOVE FINISHED FLOOR

BFE BASEMENT FLOOR ELEVATION

BU BUILT-UP

CONT CONTINUOUS

DP DROPPED BEAM

EC ENGINEERED CONNECTION

ENG ENGINEERED

ENG ENGINEERED

FL FLUSH BEAM

H.H. HEAD HEIGHT

MFE MAIN FLOOR ELEVATION

O.C. ON CENTRE

PREF. PREFINISHED

P.L. POINT LOAD ABOVE

R4S ROD & SHELF

S/PF SPRUCE/PINE/FIR #2

T&G TONGUE & GROOVE

T.O.S. TOP OF SLAB

U.F.E. UPPER FLOOR ELEVATION

UN. UNLESS NOTED OTHERWISE

V.O.S. VERIFY ON SITE

2 AVERAGE GRADE CALCULATION  
SCALE : 1/8"=1'-0"

206 ST. CHARLES STREET - Average Grade Calculation							
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter (total factors / perimeter)
AB	11.20	11.47	11.34	11.28	127.86	488.93	42.98 11.376
BC	11.47	11.46	11.47	4.46	51.13		
CD	11.46	11.48	11.47	3.77	43.24		
DE	11.48	11.40	11.44	3.96	45.30		
EF	11.40	11.40	11.40	1.98	22.57		
FG	11.40	11.40	11.40	7.32	83.45		
GA	11.40	11.20	11.30	10.21	115.37		
TOTAL				42.98	488.93		11.38

3 AVERAGE GRADE CALCULATION-SHED  
SCALE : 1/8"=1'-0"

206 ST. CHARLES STREET - Average Grade Calculation-SHED							
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter (total factors / perimeter)
AB	11.39	11.40	11.40	3.35	38.17	131.95	11.58 11.395
BC	11.40	11.40	11.40	2.44	27.82		
CD	11.40	11.39	11.40	3.35	38.17		
DA	11.39	11.39	11.39	2.44	27.79		
TOTAL				11.58	131.95		11.40

SITE DATA

LOCATION:	206 ST. CHARLES STREET - VICTORIA		
BUILDING TYPE:	NEW SFD		
ZONING:	R1-S2		
ZONING REQUIREMENTS	REQUIRED	PROPOSED	COMMENTS
LOT AREA	260 M <sup>2</sup>	354.82 M <sup>2</sup>	3819.30 FT <sup>2</sup>
LOT WIDTH	10 M MINIMUM	15.24 M	50.00 FT
LOT DEPTH	NA	76.36 M	23.27 FT
SETBACKS			
FRONT	6.00 M	6.00 M	19.68 FT
REAR	6.00 M	6.00 M	19.68 FT
SIDE NORTH	1.50 M (2.4 TO HABITABLE)	1.58 M	5.18 FT
SIDE SOUTH	1.50 M (2.4 TO HABITABLE)	3.46 M	11.35 FT
AVERAGE GRADE	NA	11.38 M	37.33 FT
BUILDING HEIGHT	7.50 M (TWO STOREYS MAX)	7.12 M	23.35 FT
BUILDING AREA			
UPPER FLOOR AREA	NA	89.45 M <sup>2</sup>	962.92 FT <sup>2</sup>
MAIN FLOOR AREA	NA	100.50 M <sup>2</sup>	1081.87 FT <sup>2</sup>
TOTAL FLOOR AREA	190 M <sup>2</sup>	189.95 M <sup>2</sup>	2044.79 FT <sup>2</sup>
MAXIMUM F.A.R.	0.60	0.535	
BUILDING FOOTPRINT	NA	107.30 M <sup>2</sup>	1155.00 FT <sup>2</sup>
MAXIMUM LOT COVERAGE	40%	30.24 %	
SITE IMPERVIOUS AREA	NA	196.39 M <sup>2</sup>	2114.10 FT <sup>2</sup>
SITE PERMEABLE AREA	NA	158.43 M <sup>2</sup>	1705.20 FT <sup>2</sup>
RAINWATER MANAGEMENT AREA		0 M <sup>2</sup>	0 FT <sup>2</sup>
TREES TO BE REMOVED	NA	0	

SITE DATA - ACCESSORY BUILDING

LOCATION:	206 ST. CHARLES STREET - VICTORIA		
BUILDING TYPE:	ACCESSORY BUILDING (SHED)		
ZONING:	R1-S2		
ZONING REQUIREMENTS	REQUIRED	PROPOSED	COMMENTS
SETBACKS			
FRONT	18.00 M	19.78 M	64.89 FT
REAR	0.60 M	1.04 M	3.41 FT
SIDE NORTH	0.60 M	11.29 M	37.04 FT
SIDE SOUTH	0.60 M	0.60 M	1.96 FT
FROM BUILDING	2.40 M	2.52 M	8.26 FT
AVERAGE GRADE	NA	11.40 M	37.40 FT
BUILDING HEIGHT	4.00 M	3.74 M	12.27 FT
BUILDING AREA			
TOTAL FLOOR AREA ACCESSORY BLDG	NA	8.91 M <sup>2</sup>	96.00 FT <sup>2</sup>
TOTAL FLOOR AREA ALL ACCESSORY BLDG	37.00 M <sup>2</sup>	8.91 M <sup>2</sup>	96.00 FT <sup>2</sup>
BUILDING FOOTPRINT HOUSE	NA	107.30 M <sup>2</sup>	1155.00 FT <sup>2</sup>
BUILDING FOOTPRINT ACCESSORY BLDG	NA	8.91 M <sup>2</sup>	96.00 FT <sup>2</sup>
TOTAL BUILDING FOOTPRINT	NA	116.21 M <sup>2</sup>	1251.00 FT <sup>2</sup>
MAXIMUM LOT COVERAGE	40.00%	32.75 %	
REAR YARD AREA	NA	91.45 M <sup>2</sup>	984.44 FT <sup>2</sup>
MAXIMUM LOT COVERAGE ACCESSORY	30.00%	9.74 %	

Revisions

Received Date: May 11, 2023

Final Approved Plans

Adopted Date: July 27, 2023

DRAWING LIST
A1 SITE PLAN, AND SITE DATA
A2 FLOOR PLANS
A3 EXTERIOR ELEVATIONS
A4 BUILDING SECTIONS
A5 DETAILS
A6 SHED DRAWINGS

RE-ISSUED FOR BP  
APRIL 21, 2023

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Date: APRIL 27, 2022

Scale: AS NOTED

Project: NEW SFD @ 206 ST.CHARLES STREET

Title: SITE PLAN

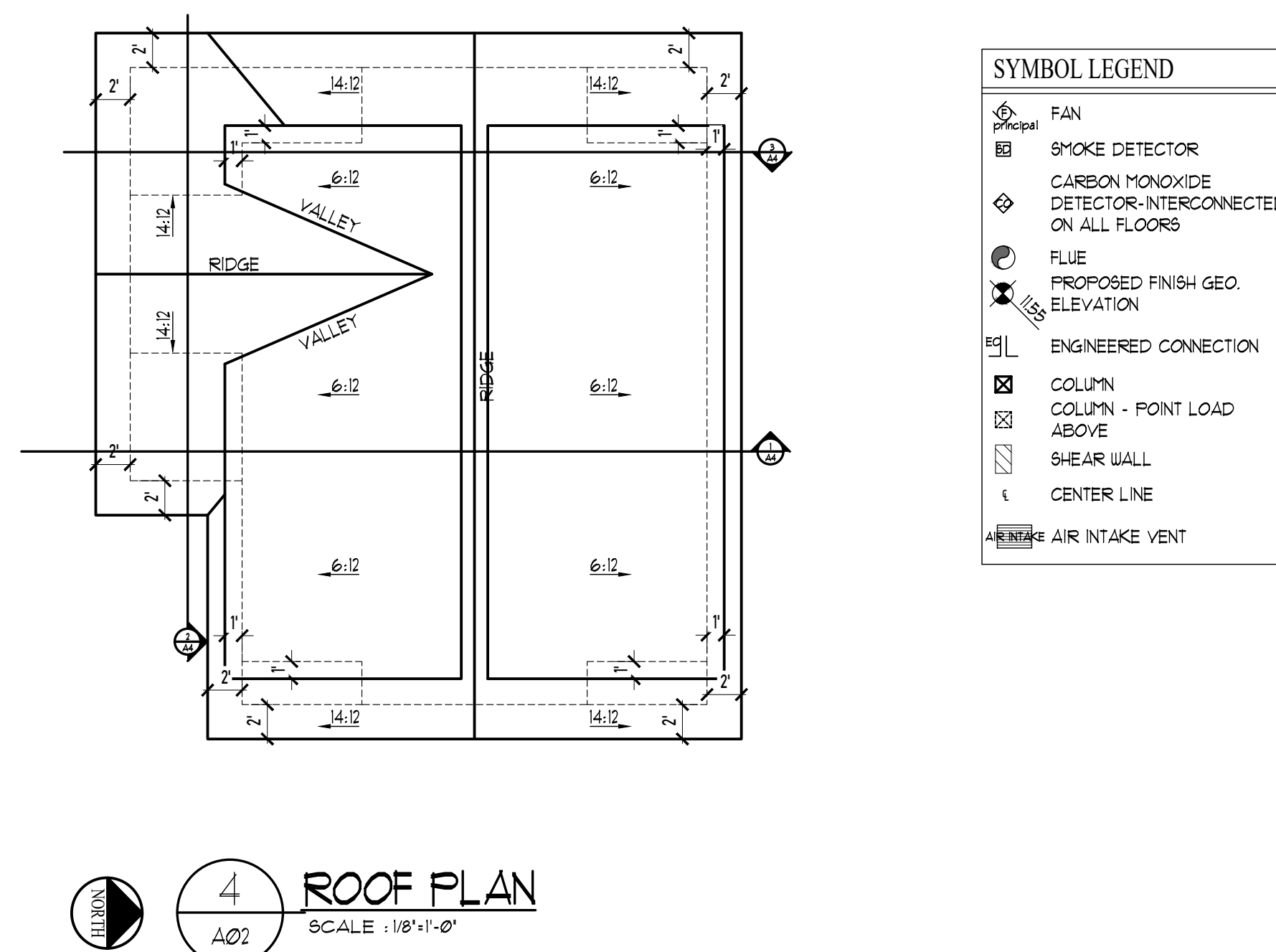
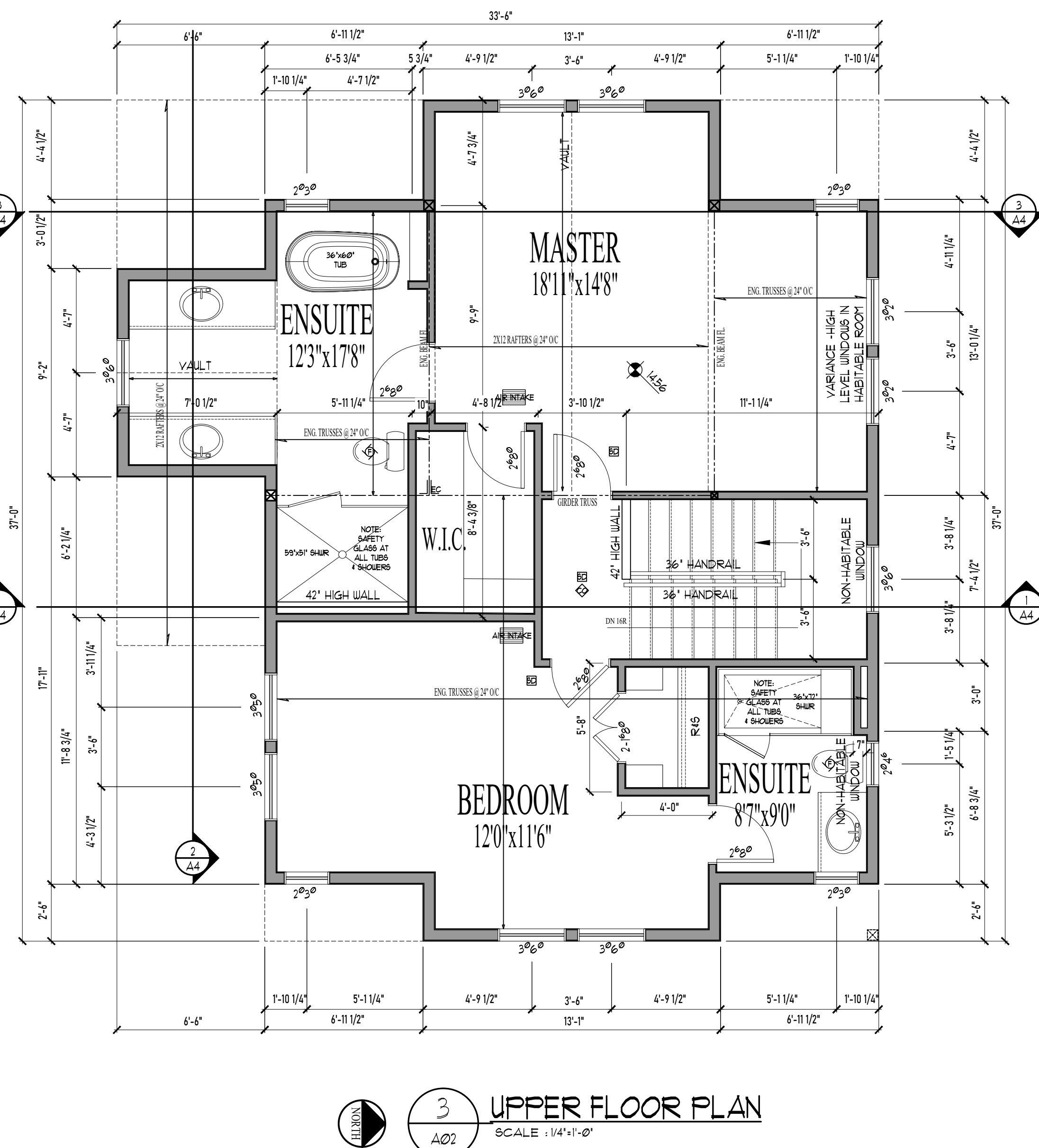
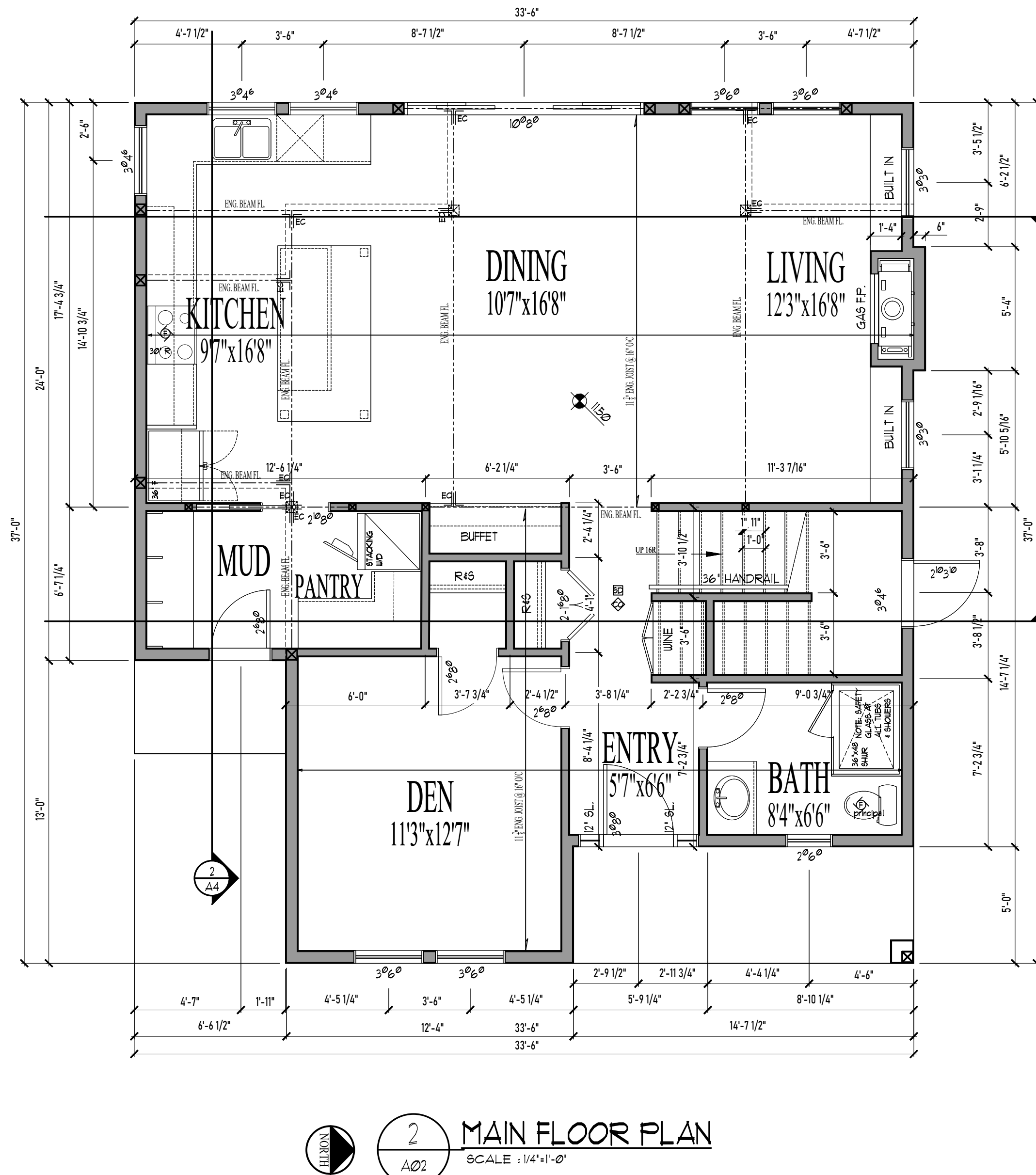
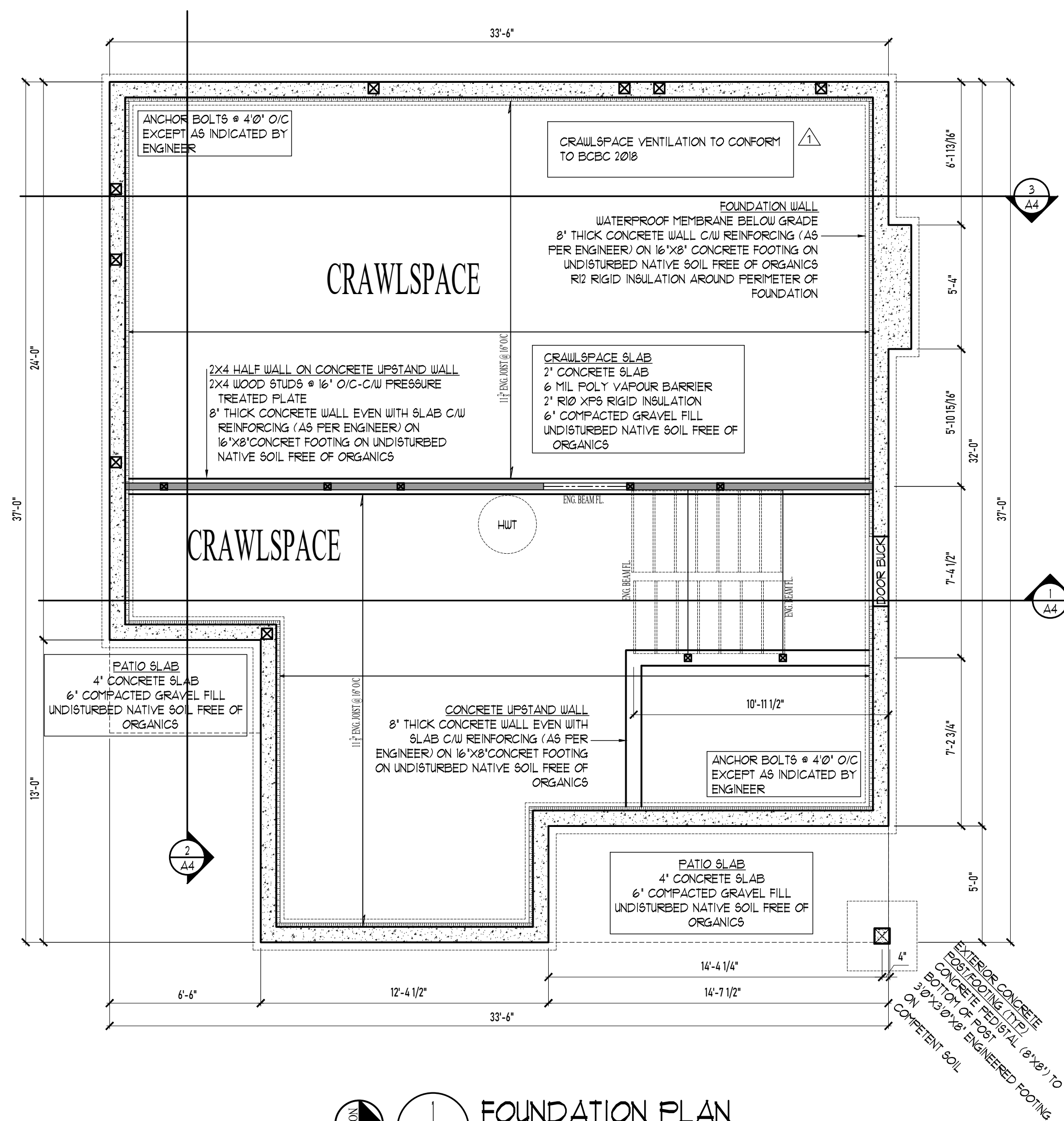
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Scale: AS NOTED

Project:  
NEW SFD @ 206  
ST.CHARLES STREET

Title:  
PLANS

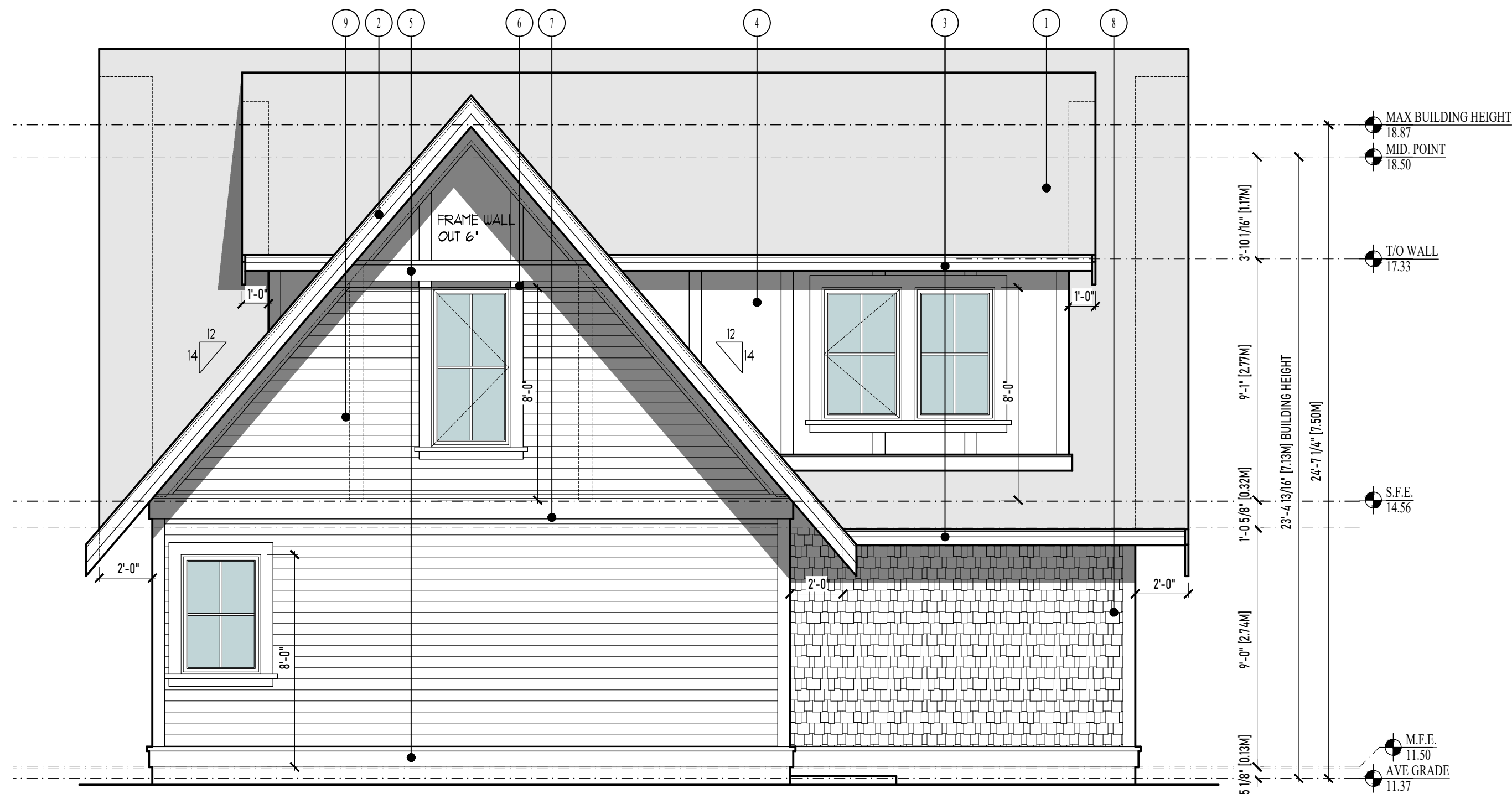
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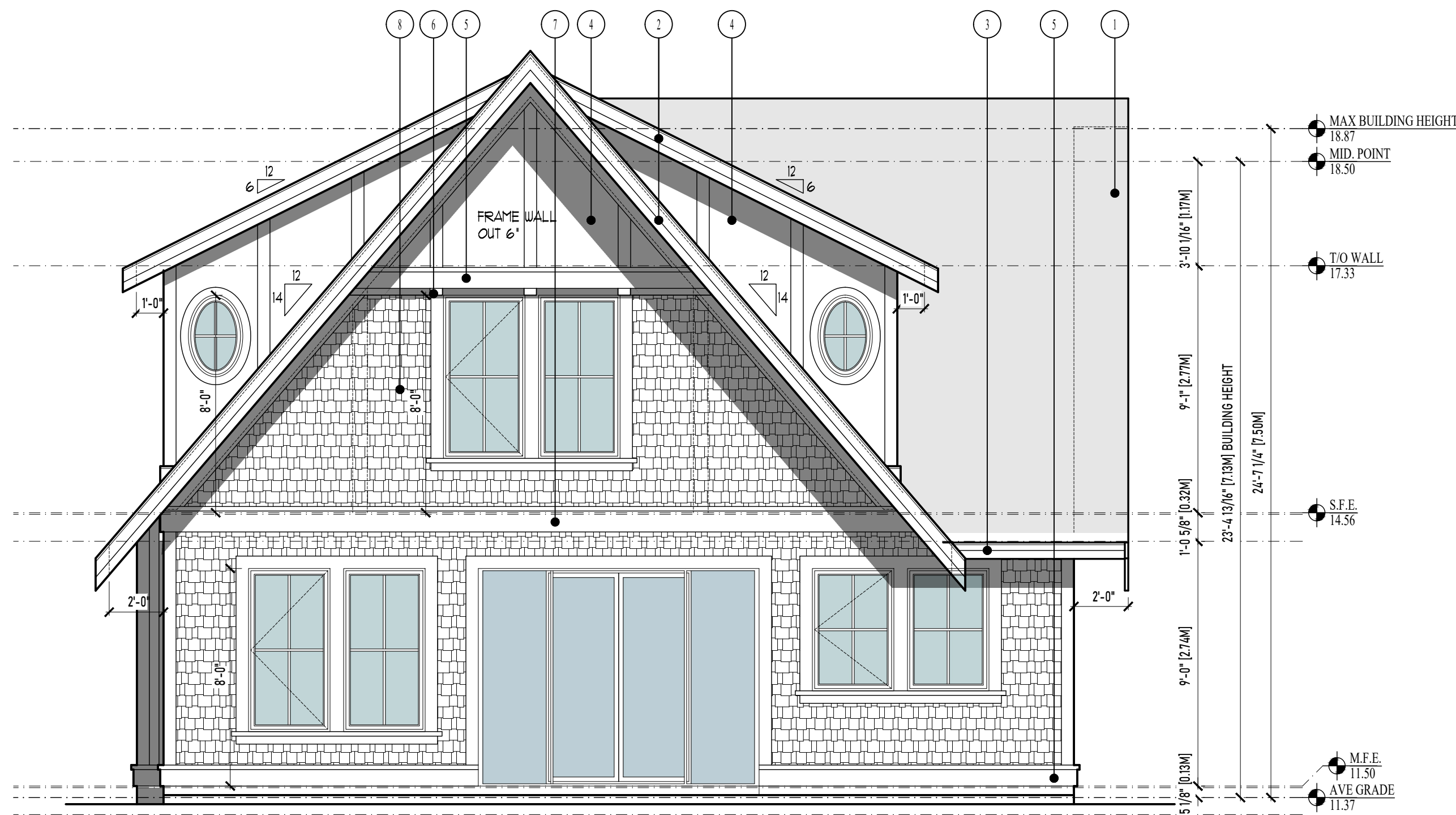


1 FRONT ELEVATION  
SCALE : 1/4"=1'-0"

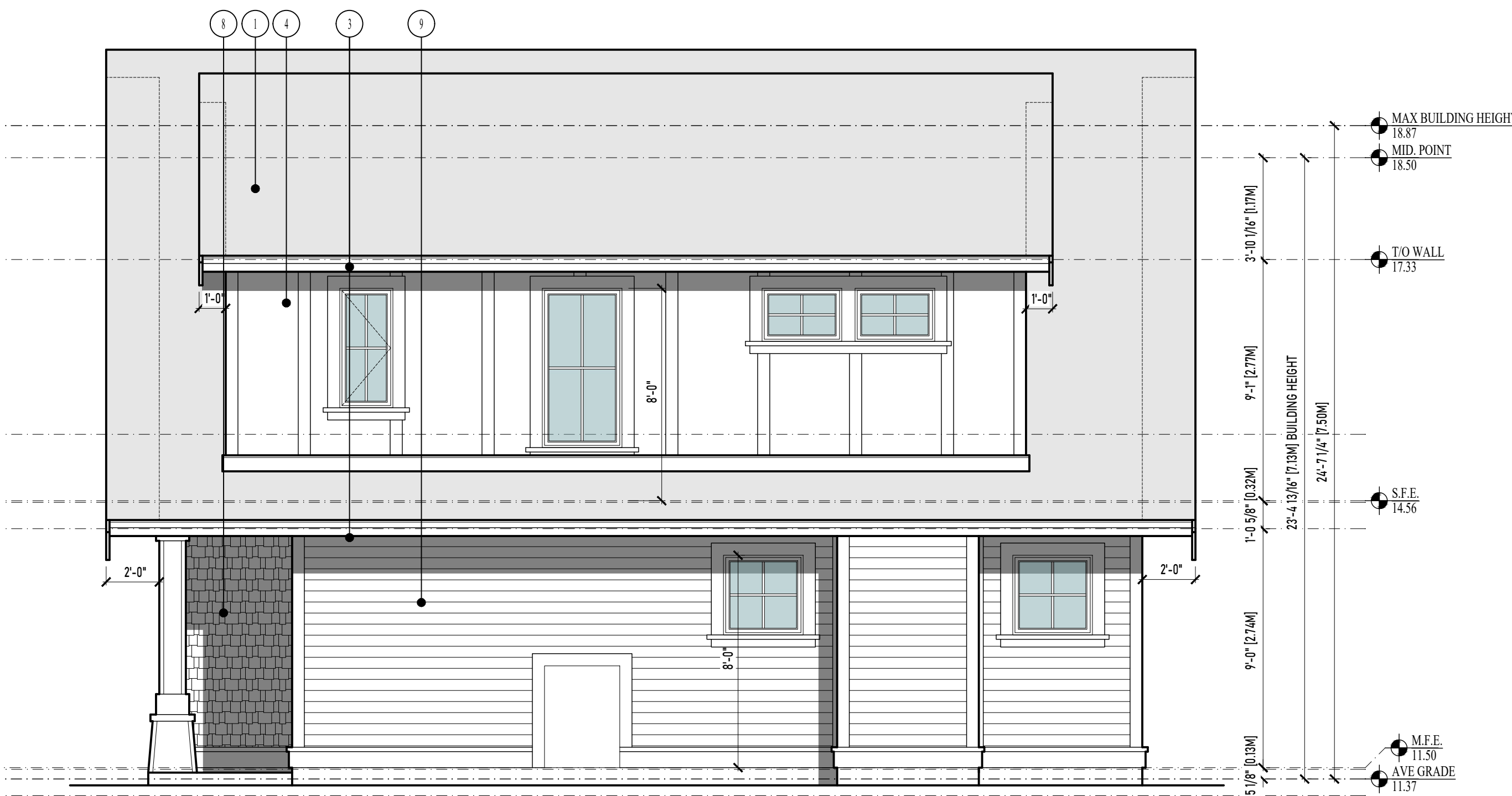


2 SOUTH ELEVATION  
SCALE : 1/4"=1'-0"

MAXIMUM GLAZING CALCULATION - SOUTH ELEVATION	
DISTANCE TO PROPERTY LINE	3.45 M (11.31')
EXPOSED BUILDING FACE AREA	65.11 M <sup>2</sup> (705.01 SF)
GLAZING AREA	4.30 M <sup>2</sup> (46.34 SF)
PERCENTAGE	6.54% (ALLOWED 15.53%)



3 REAR ELEVATION  
SCALE : 1/4"=1'-0"



4 NORTH ELEVATION  
SCALE : 1/4"=1'-0"

MAXIMUM GLAZING CALCULATION - NORTH ELEVATION	
DISTANCE TO PROPERTY LINE	1.58 M (5.18')
EXPOSED BUILDING FACE AREA	65.11 M <sup>2</sup> (705.01 SF)
GLAZING AREA	3.69 M <sup>2</sup> (39.75 SF)
PERCENTAGE	5.61% (ALLOWED 15.53%)

## FINISH SCHEDULE

- 1 ASPHALT SHINGLES  
COLOUR: -  
MANUFACTURER: -
- 2 2X6 OVER 2X10 FASCIA BOARDS - PAINT  
COLOUR: -  
MANUFACTURER: -
- 3 2X4 OVER 2X8 FASCIA BOARDS - PAINT  
COLOUR: -  
MANUFACTURER: -
- 4 CEMENTITIOUS PANEL C/W 5.5" BATTONS - PAINT  
COLOUR: -  
MANUFACTURER: -
- 5 2X8 BATTON C/W 2" WATERTABLE - PAINT  
COLOUR: -  
MANUFACTURER: -
- 6 5.5"x3" DENTAL MOULDING - PAINT  
COLOUR: -  
MANUFACTURER: -
- 7 2X12 BATTON C/W 2" WATERTABLE - PAINT  
COLOUR: -  
MANUFACTURER: -
- 8 CEMENTITIOUS SHAKES - PAINTED  
COLOUR: -  
MANUFACTURER: -
- 9 CEMENTITIOUS SIDING - PAINT  
COLOUR: -  
MANUFACTURER: -
- 10 WOOD DOORS - STAINED  
COLOUR: -  
MANUFACTURER: -

- WINDOWS TO HAVE 5.5" TRIM C/W 2" WATERTABLE AND 3.5" BASE TRIM - PAINT
- DOORS TO BE TRIMMED WITH 5.5" BOARDS - PAINT

GENERAL NOTES:  
- WINDOW OPERATION SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS  
- FLASH OVER ALL MATERIAL TRANSITIONS, AND DOOR & WINDOW HEADS  
- NO COMBED-FACED TRIM  
- ALL COLOURS BY DESIGNED AND OWNER

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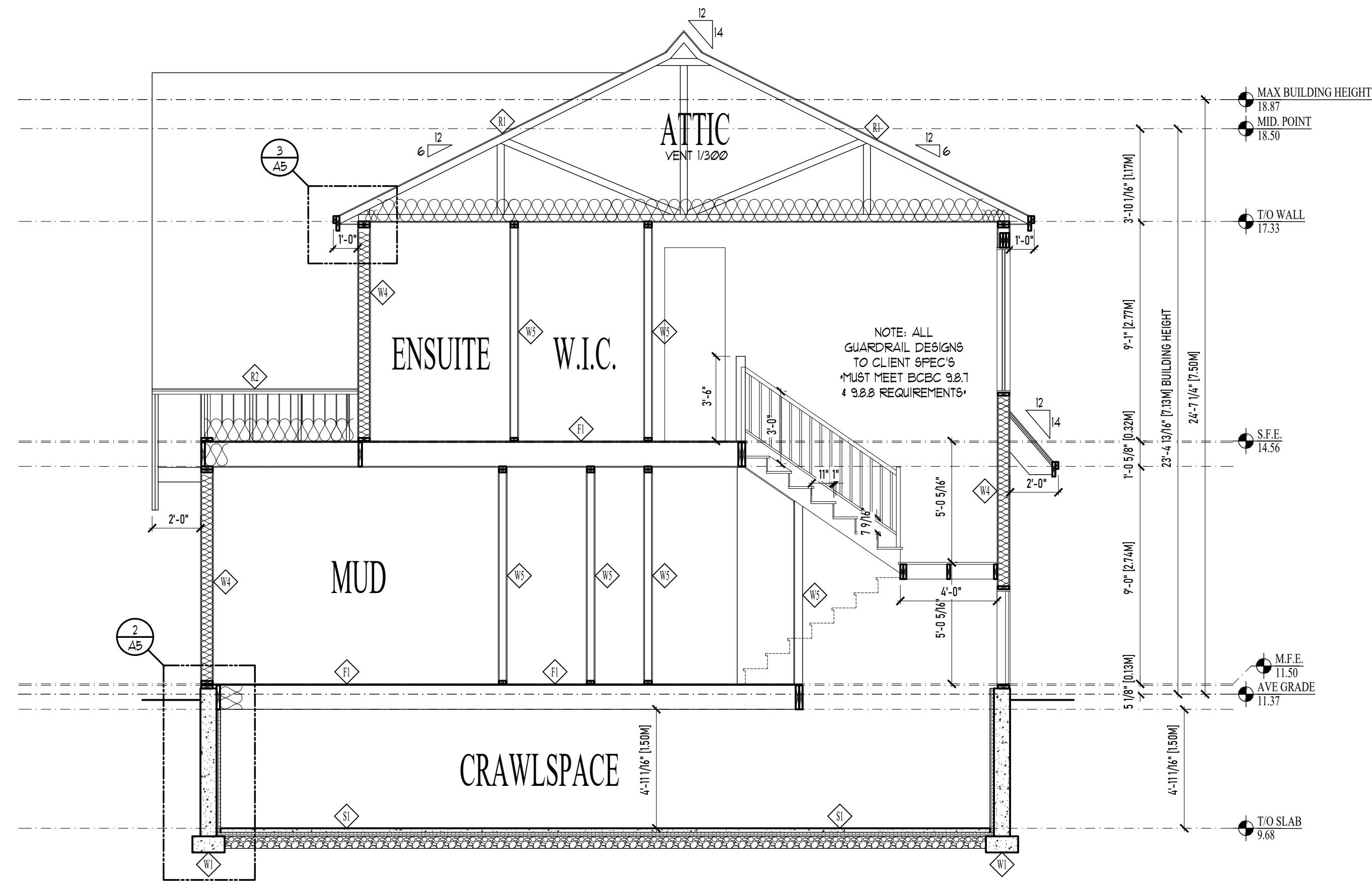
Project:  
NEW SFD @ 206  
ST.CHARLES STREET

Title:  
ELEVATIONS

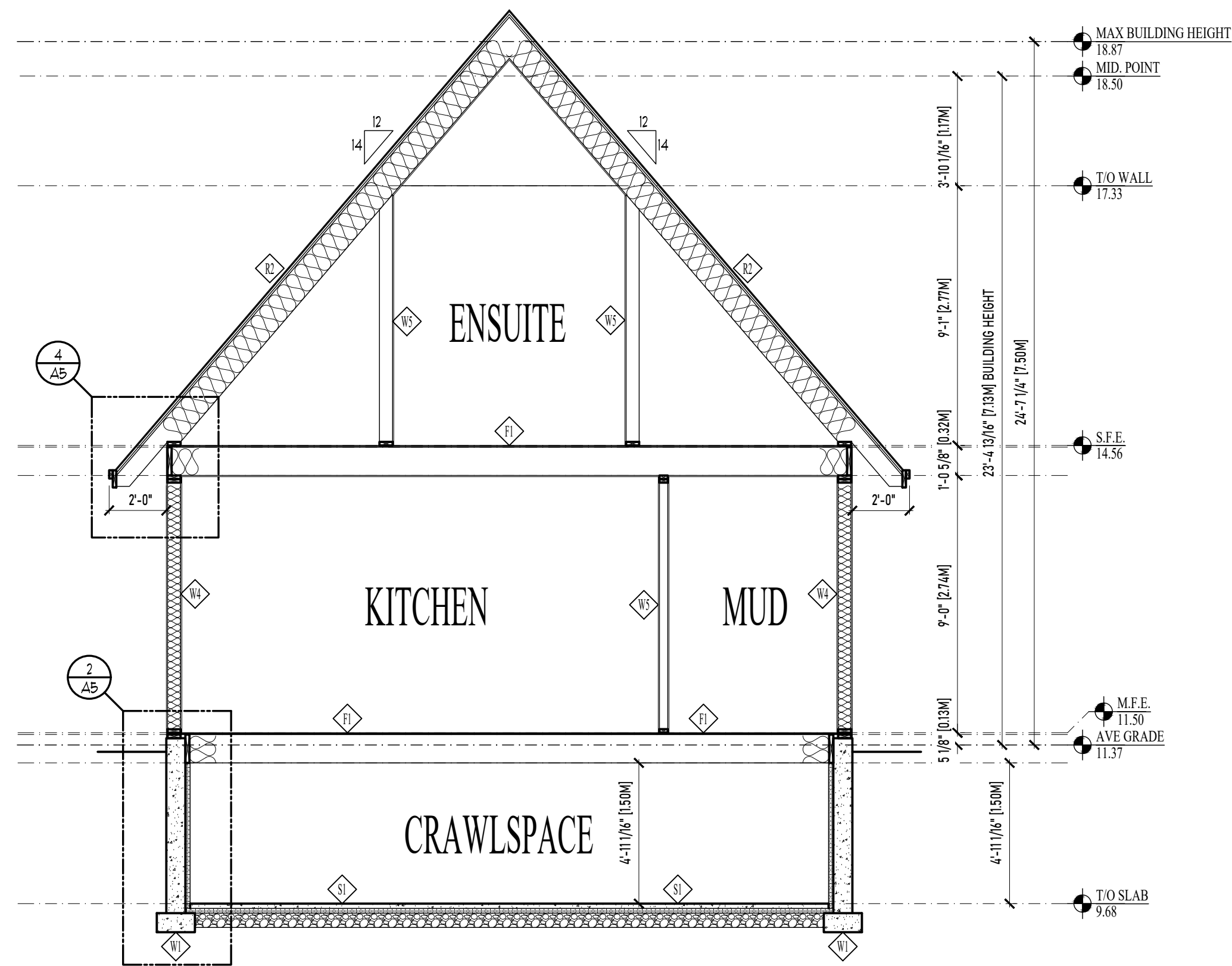
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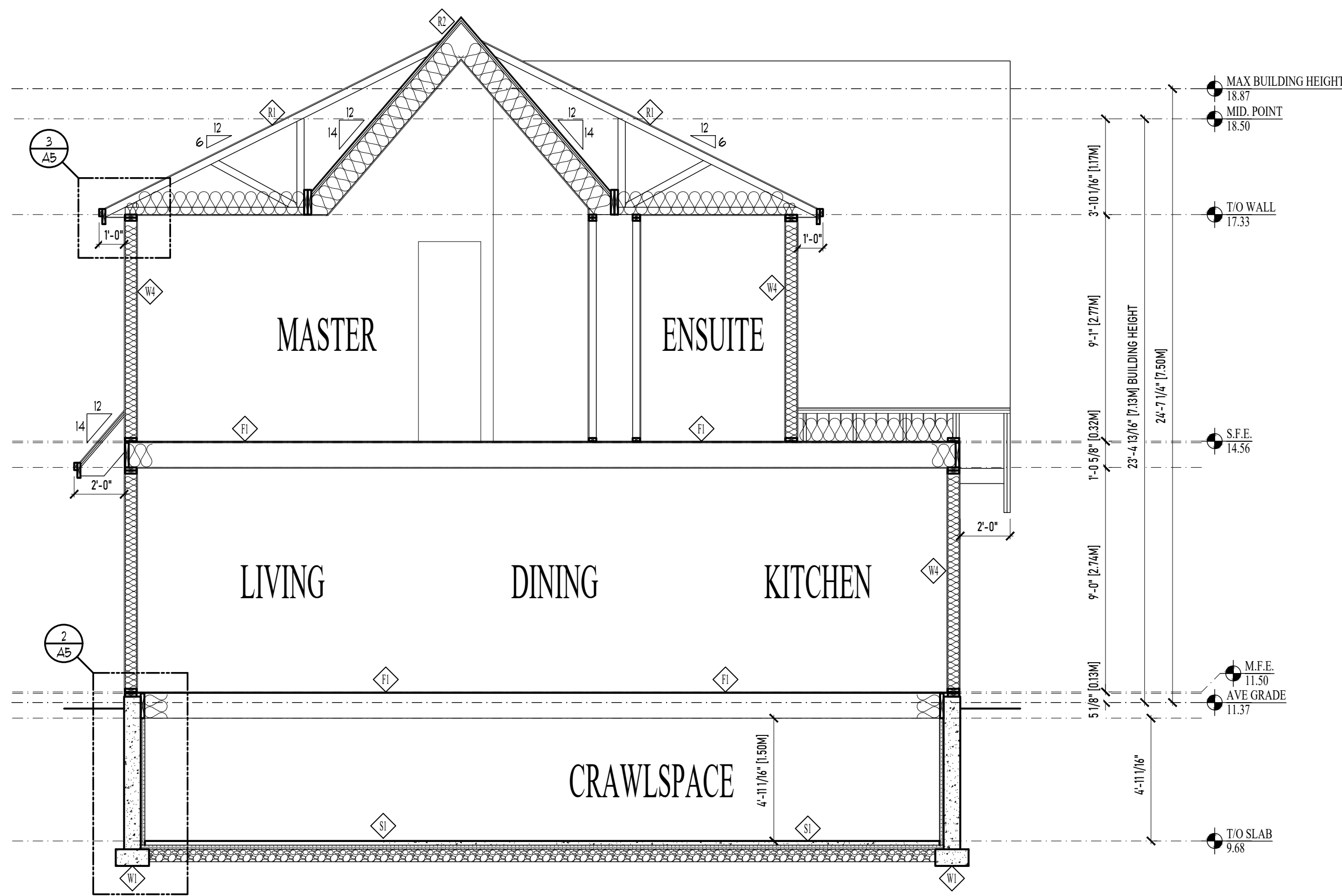




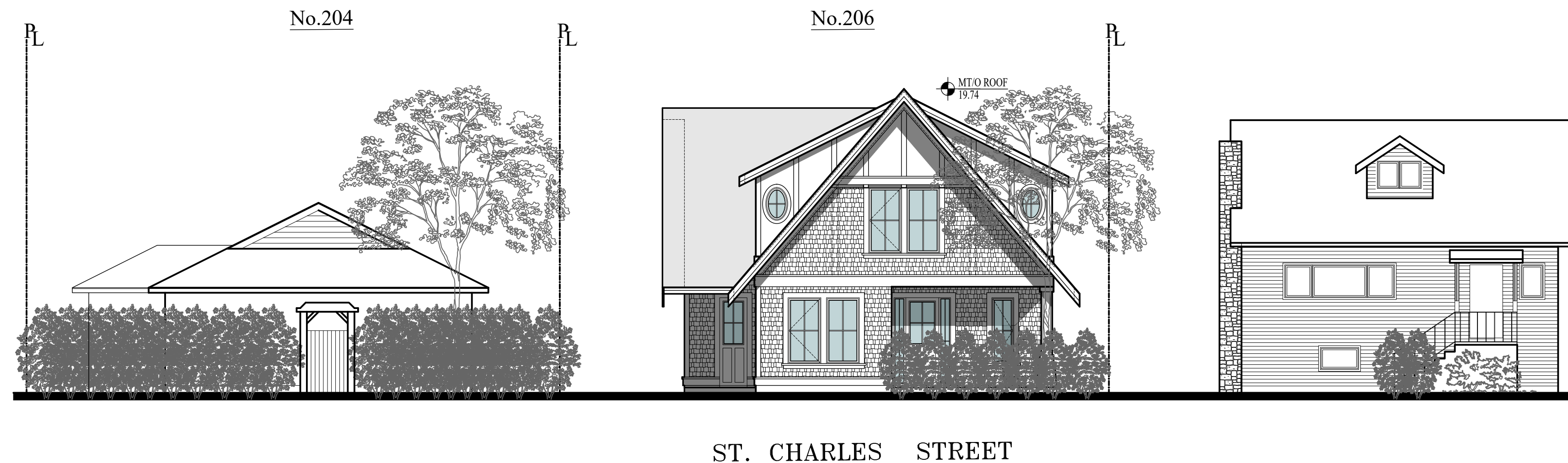
1 BUILDING SECTION  
SCALE : 1/4"=1'-0"



2 BUILDING SECTION  
SCALE : 1/4"=1'-0"



3 BUILDING SECTION  
SCALE : 1/4"=1'-0"



4 STREETSCAPE  
SCALE : 1/8"=1'-0"

CONSTRUCTION SCHEDULE	
<b>ROOF TYPES</b> 1 SLOPED ROOF-ENG. TRUSSES ROOF FINISH AS PER ELEVATIONS UNDERLAYMENTS 1" PLYWOOD SHEATHING C/W 1" CLIPS FREENGINEERED TRUSSES @ 24" O/C R40 LOOSE FILL INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT  2 SLOPED ROOF-2X12 RAFTERS ROOF FINISH AS PER ELEVATIONS UNDERLAYMENTS 1" PLYWOOD SHEATHING C/W 1" CLIPS 1X4 STRAPPING @ 24" O/C 2X3 FURLINGS @ 24" O/C 2X12 RAFTERS @ 24" O/C R40 GLASS FIBER BATT INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT  <b>EXTERIOR SOFFITS</b> 1X4 T&G V-GROOVE CEDAR SOFFIT C/W 1" WIDE INSECT/VENT SCREEN	<b>WALL TYPES</b> 1 FOUNDATION WALL WATERPROOF MEMBRANE BELOW GRADE 8" THICK CONCRETE WALL C/W REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS 2" RIGID INSULATION AROUND INTERIOR OF CRAWLSPACE  2 CONCRETE UPSTAND WALL 8" THICK CONCRETE WALL EVEN WITH SLAB C/W REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS  3 2X4 HALF WALL ON CONCRETE UPSTAND WALL 2X4 WOOD STUDS @ 16" O/C-C/W PRESURE TREATED PLATE 8" THICK CONCRETE WALL EVEN WITH SLAB C/W REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS  4 EXTERIOR WALL ASSEMBLY EXTERIOR FINISH AS PER ELEVATIONS 3" (10mm) CAPILLARY BREAK MAT AIR BARRIER 1" PLYWOOD SHEATHING 2X6 WOOD STUDS @ 16" R30 GLASS FIBER BATT INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT  5 INTERIOR WALL ASSEMBLY 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT 2X4 OR 2X6 WOOD STUDS @ 24" SOUND INSULATION AS DIRECTED BY OWNER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT
<b>FLOOR TYPES</b> 1 FLOOR ASSEMBLY-II T&G ENG. JOIST FLOOR FINISH 3/4" T&G PLYWOOD SUBFLOOR -NAILED, GLUED AND SCREWED 11 3/4" FREENGINEERED JOISTS @ 16" O/C SOUND INSULATION AS INDICATED BY OWNER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT	
<b>SLAB TYPES</b> 1 CRAWLSPACE SLAB 2" CONCRETE SLAB 6 MIL POLY VAPOUR BARRIER 2" RIGID INSULATION 6" COMPACTED GRAVEL FILL UNDISTURBED NATIVE SOIL FREE OF ORGANICS	

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APRIL 21, 2023



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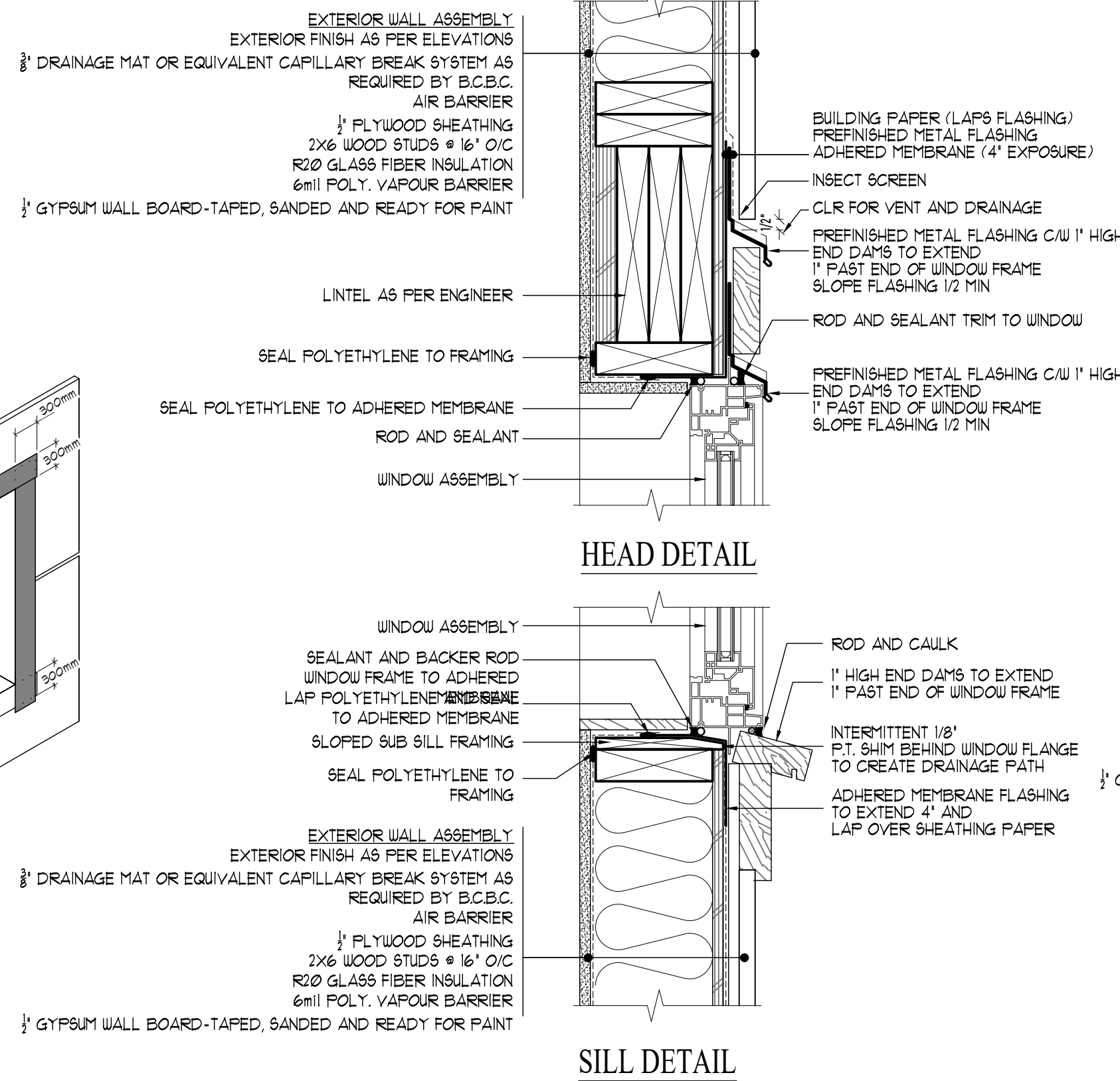
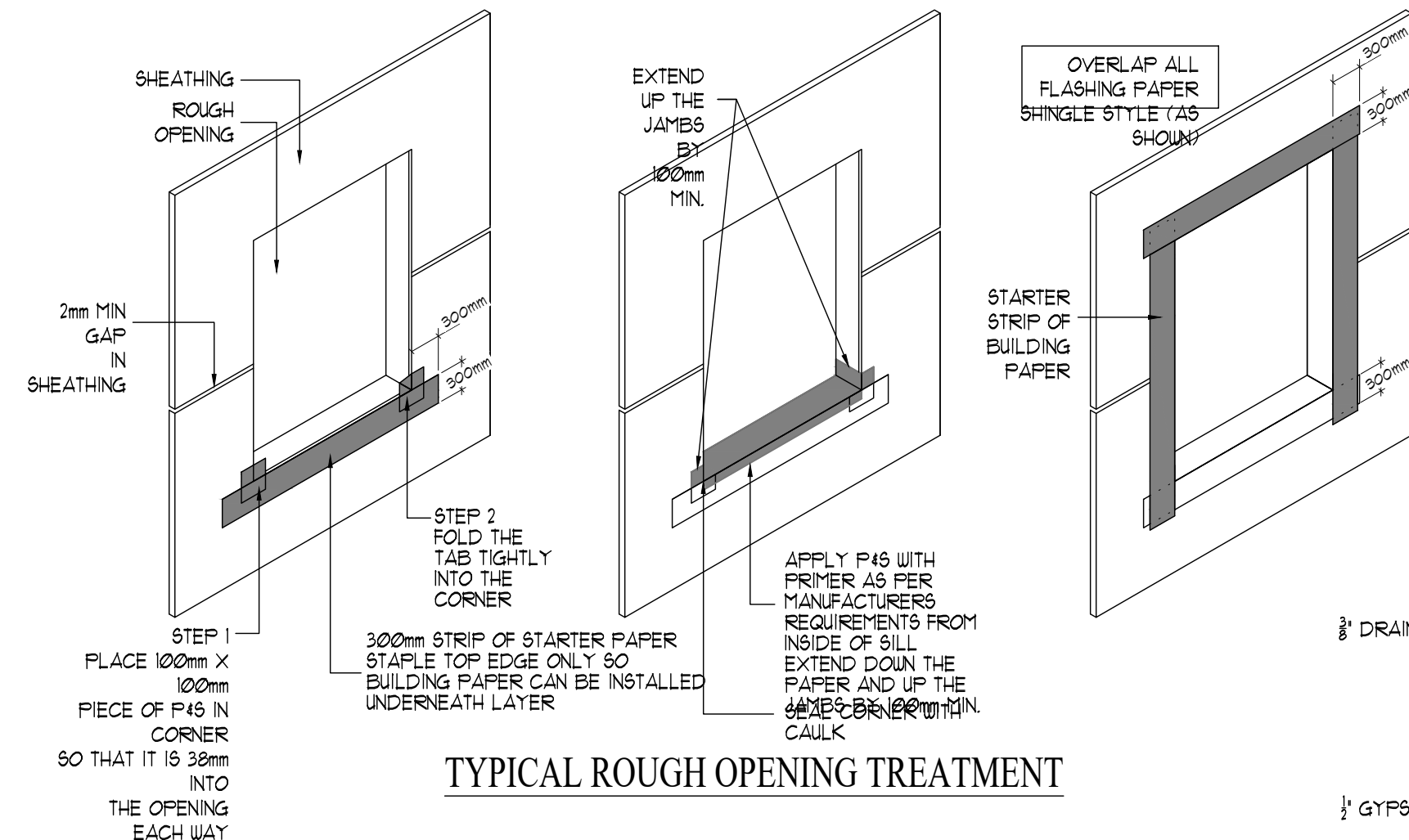
Project:  
NEW SFD @ 206  
ST. CHARLES STREET

Title:  
SECTIONS AND  
STREETSCAPE

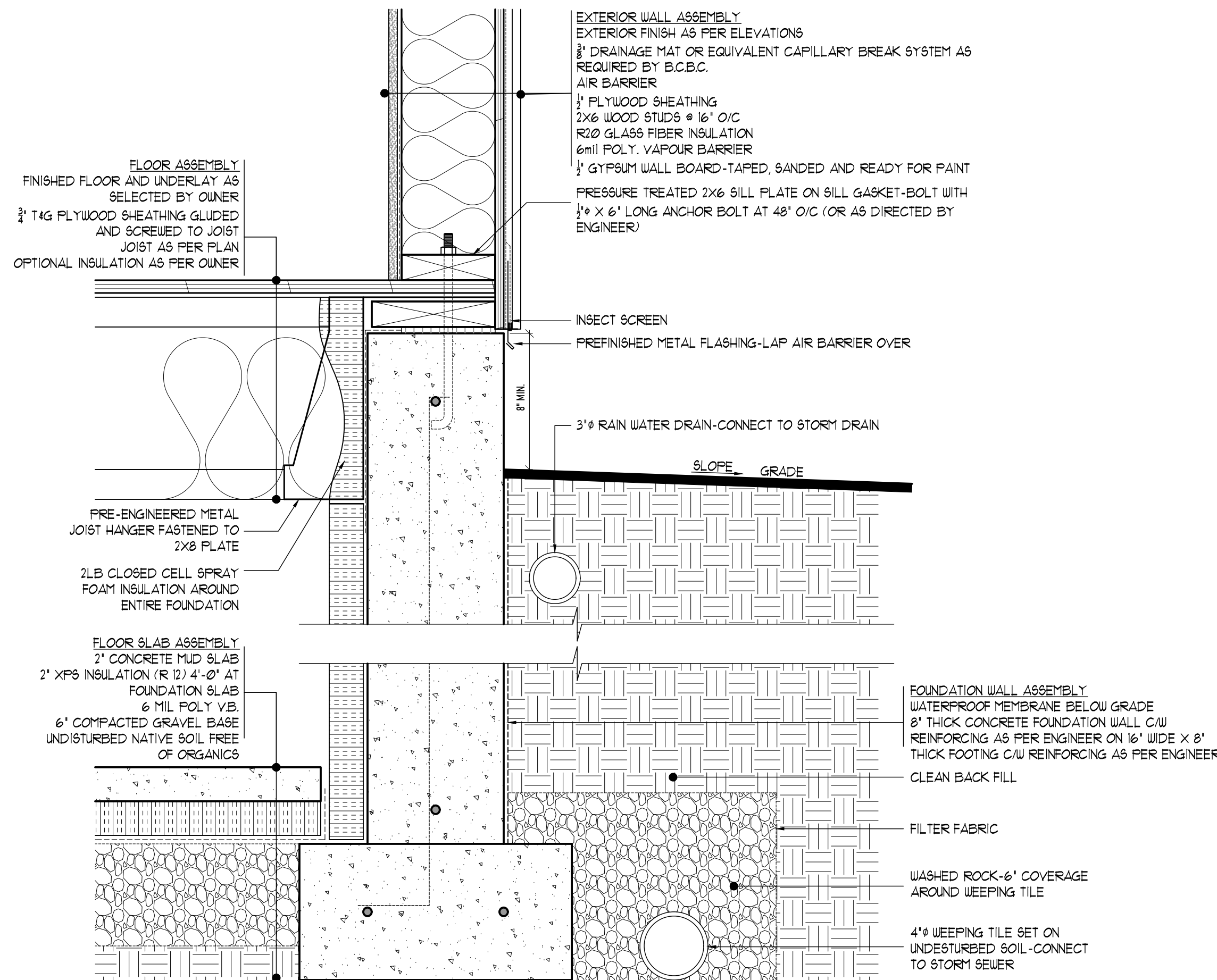
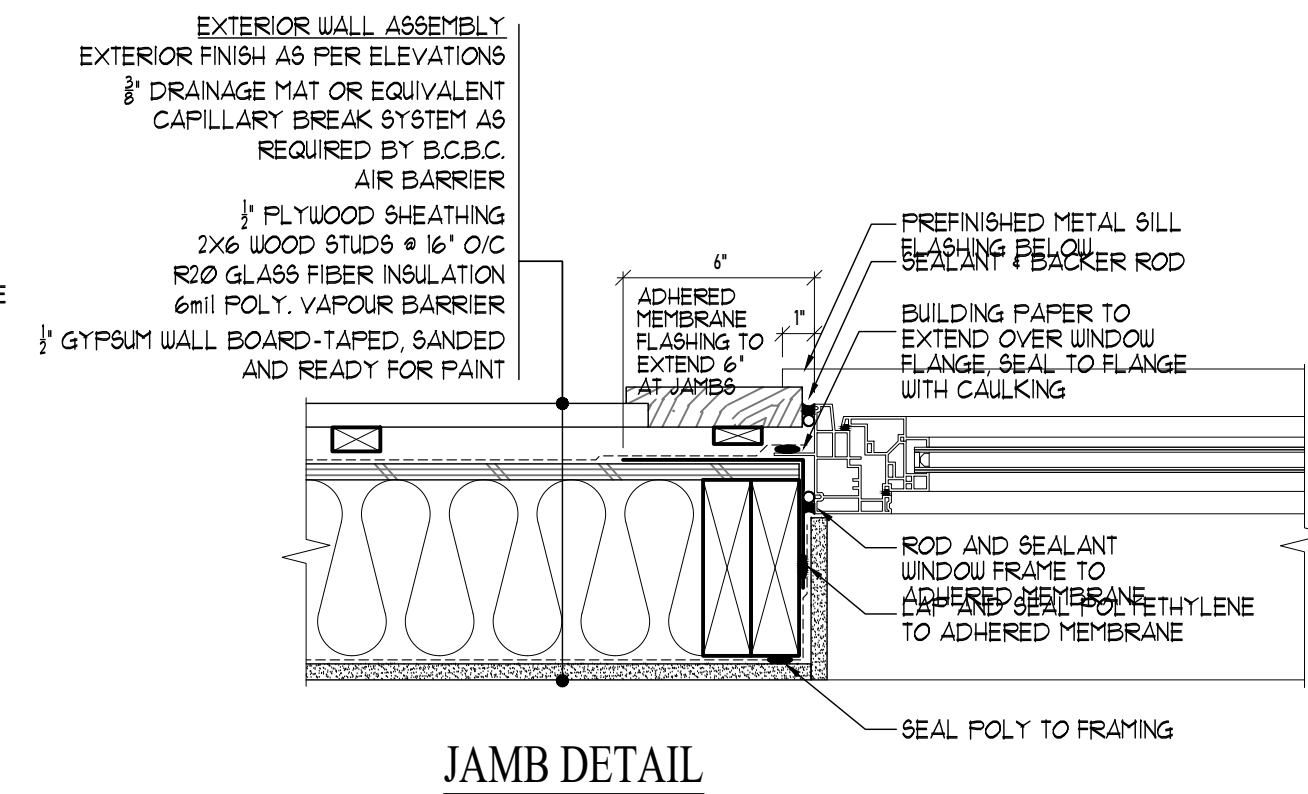
Revision: Sheet:

R4A4  
Proj.No. 2484

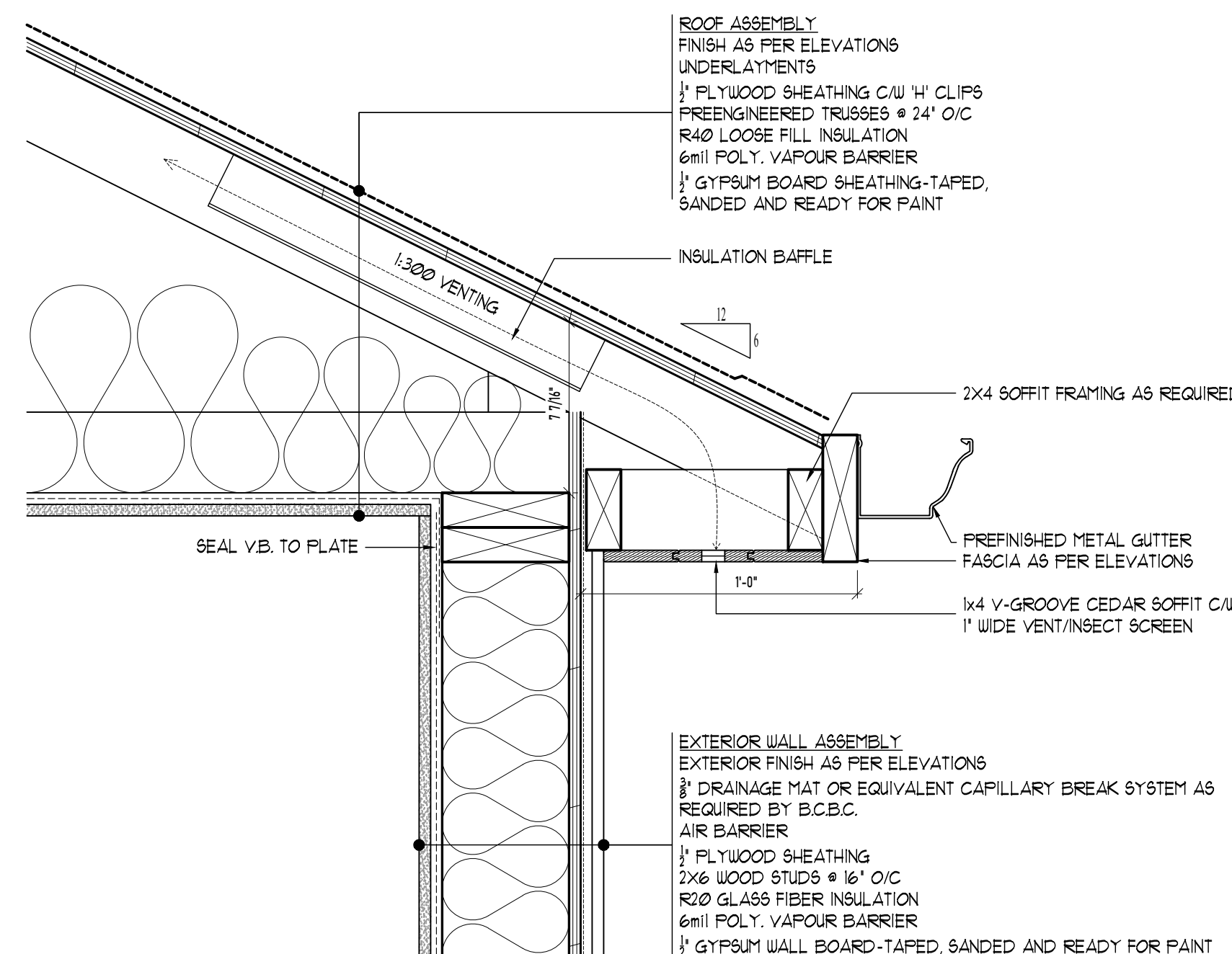




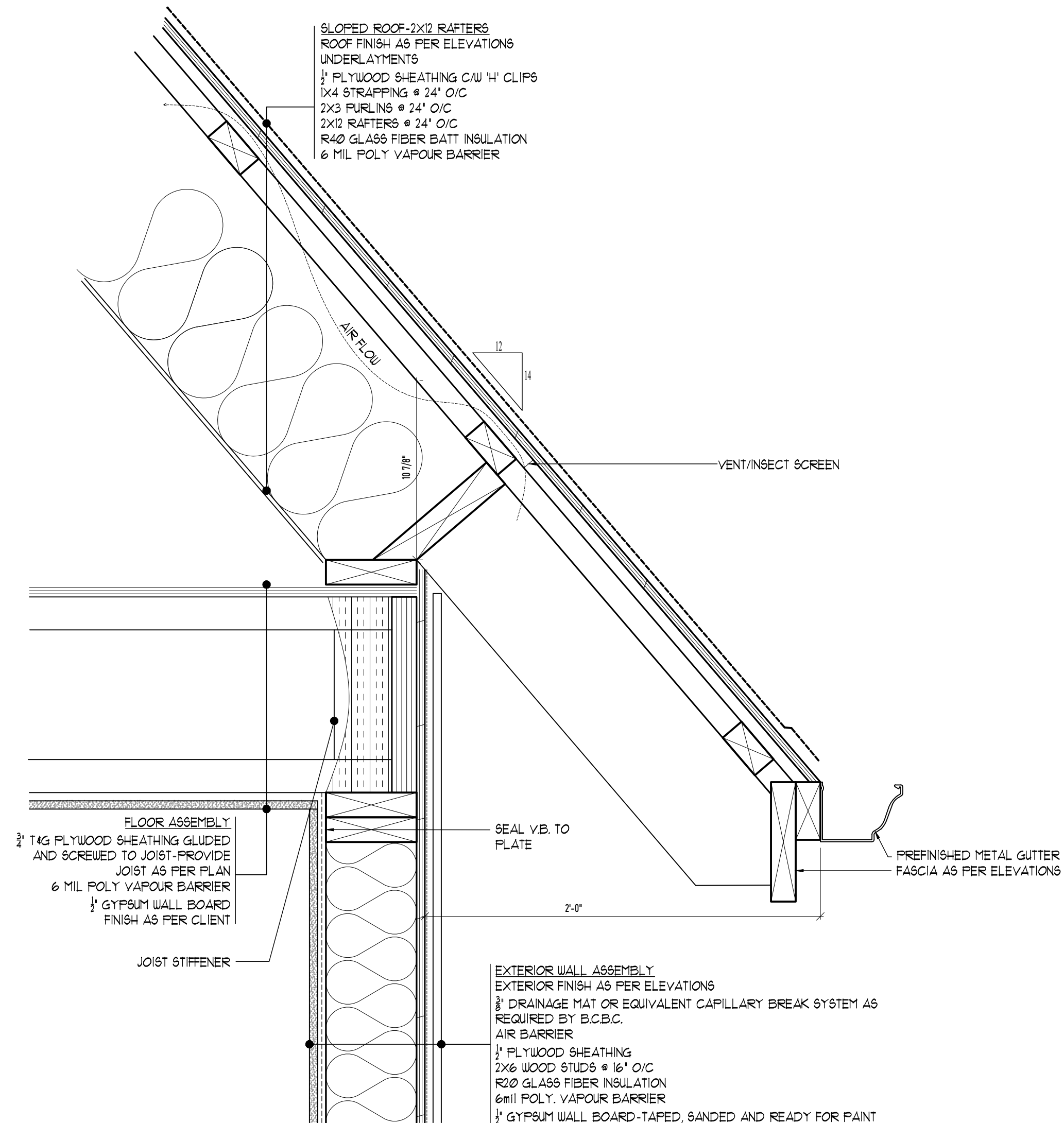
**WINDOW DETAILS**  
SCALE : 2"=1'-0"



**FOUNDATION DETAIL**  
SCALE : 2"=1'-0"



**EAVE DETAIL**  
SCALE : 2"=1'-0"



**EAVE DETAIL**  
SCALE : 2"=1'-0"

RE-ISSUED FOR BP  
APRIL 21, 2023



1161 NEWPORT AVE

Victoria, B.C. V8S 5E6  
Phone: (250) 360-2144  
Fax: (250) 360-2115

Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

Scale: AS NOTED

Project:  
NEW SFD @ 206  
ST.CHARLES STREET

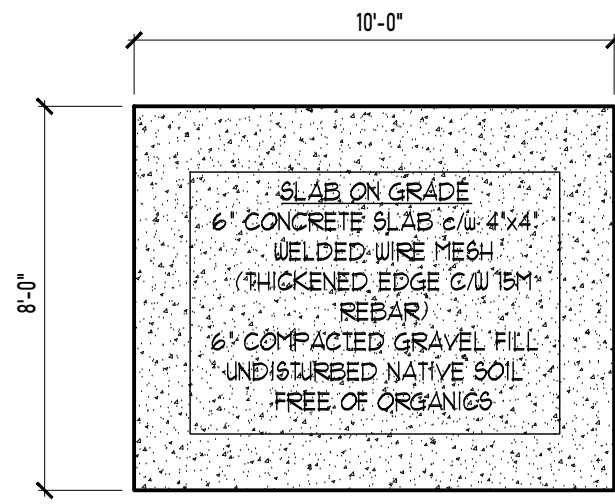
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DETAILS

Revision:

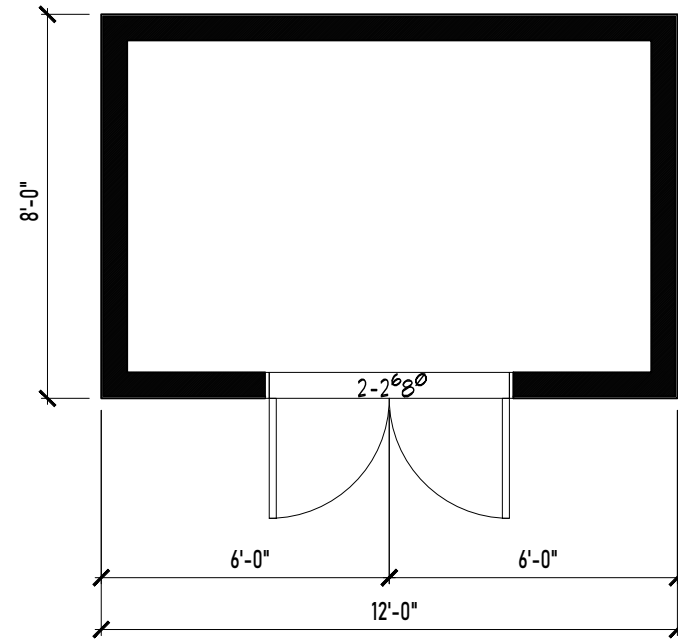
Sheet:

R4 A5  
Proj.No. 2484

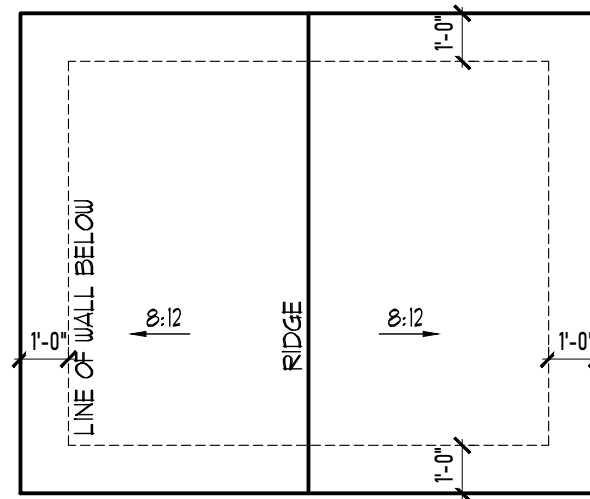




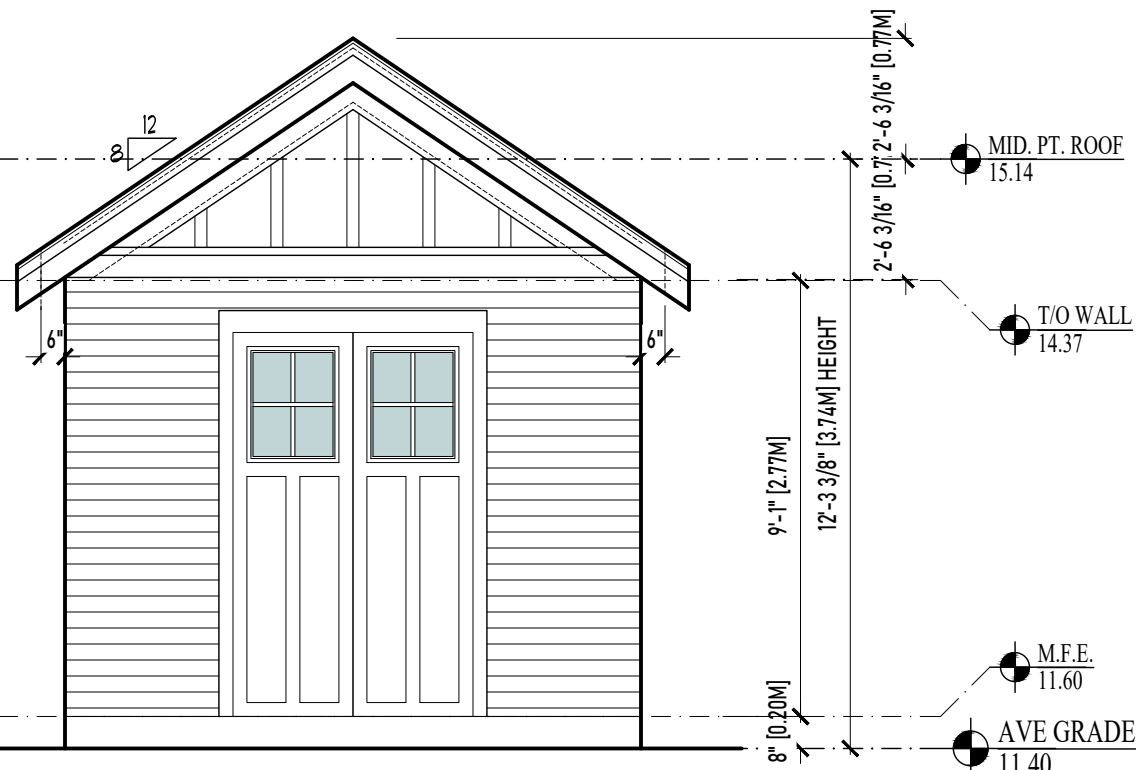
1 FOUNDATION PLAN  
SCALE : 1/4"=1'-0"



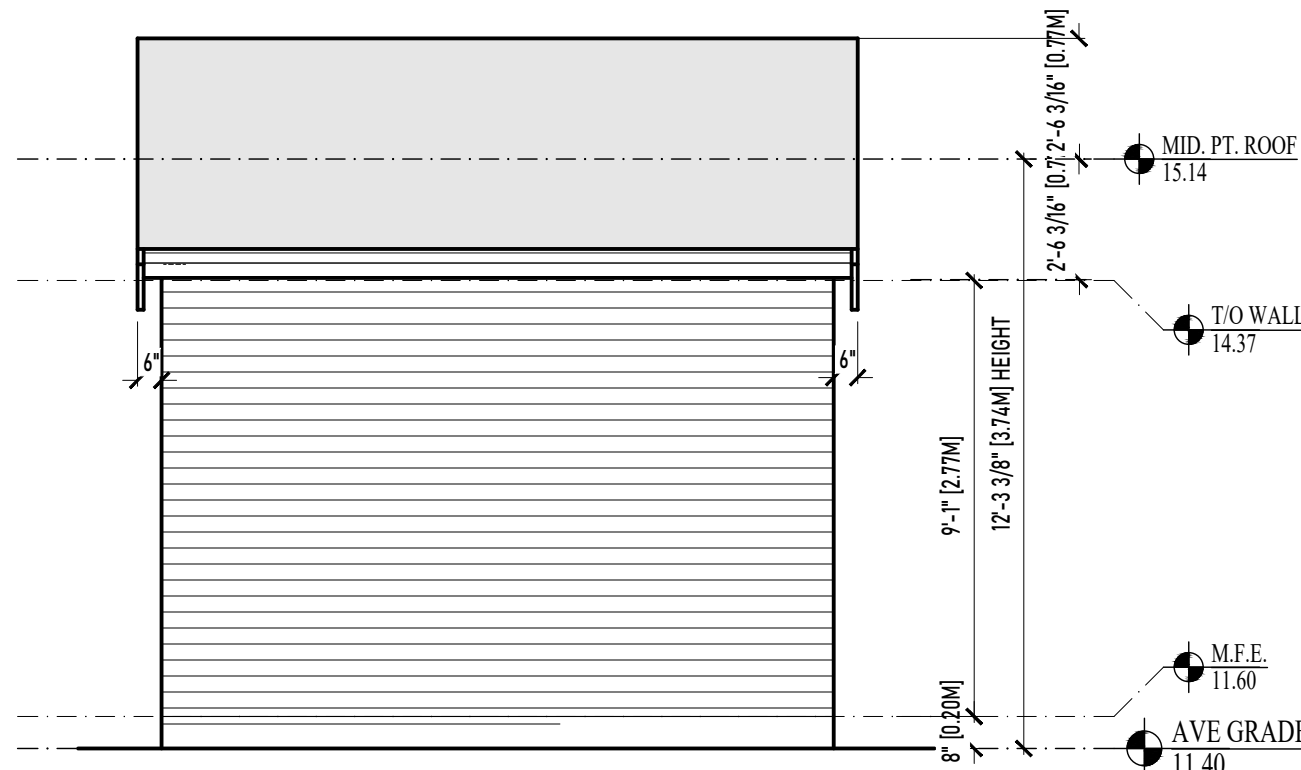
2 FLOOR PLAN  
SCALE : 1/4"=1'-0"



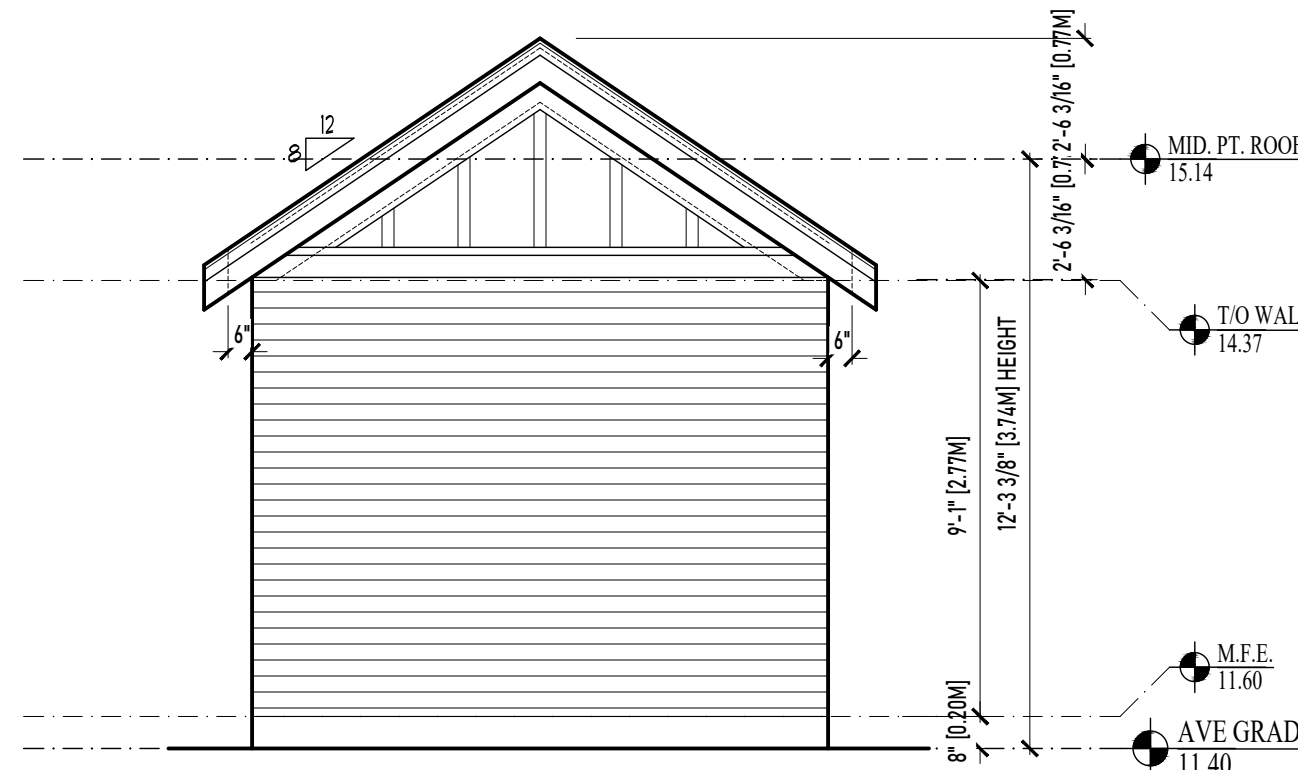
3 ROOF PLAN  
SCALE : 1/4"=1'-0"



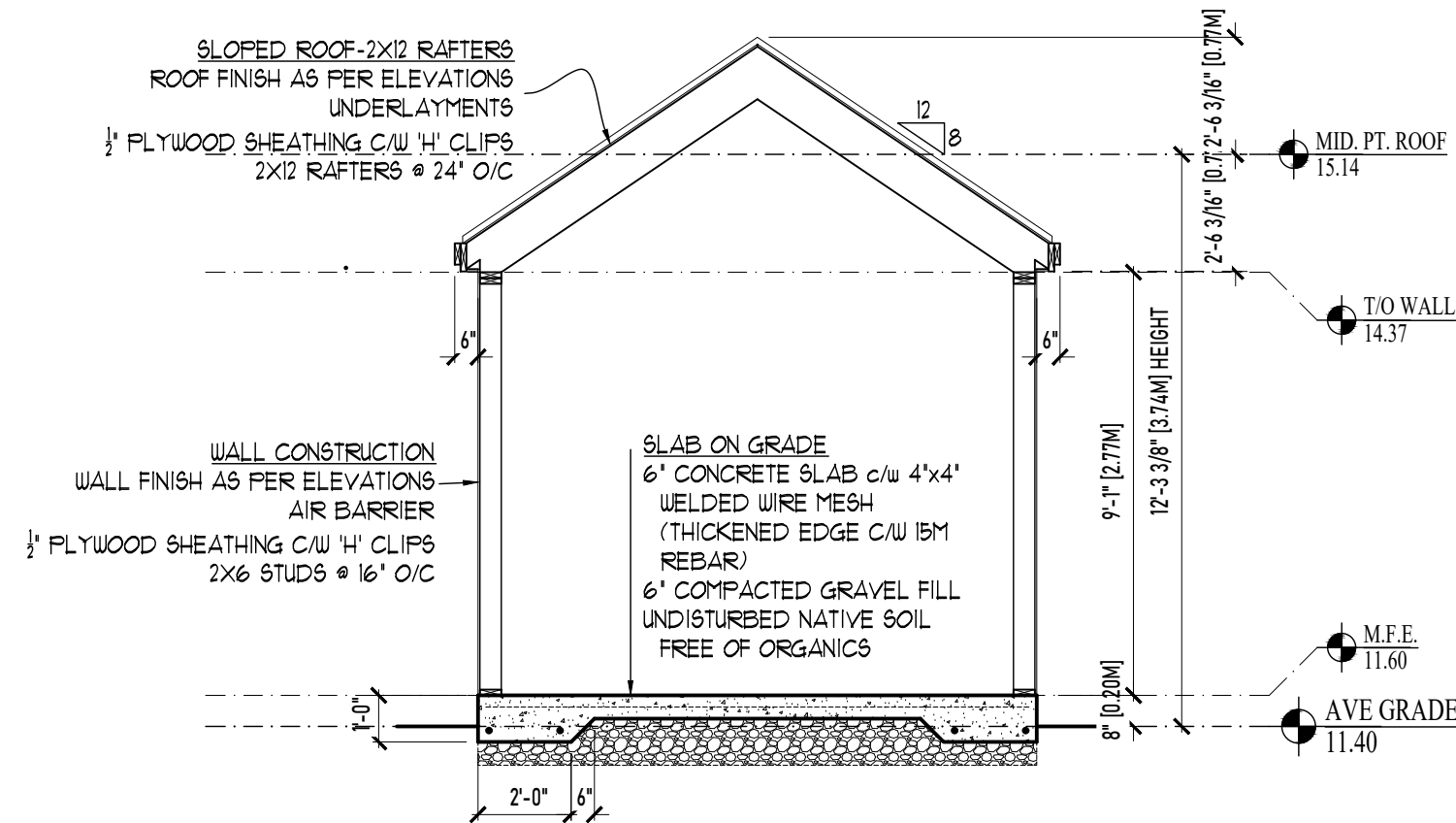
4 FRONT ELEVATION  
SCALE : 1/4"=1'-0"



5 SIDE ELEVATION  
SCALE : 1/4"=1'-0"



6 REAR ELEVATION  
SCALE : 1/4"=1'-0"



7 SECTION  
SCALE : 1/4"=1'-0"

RE-ISSUED FOR BP  
APRIL 21, 2023



1161 NEWPORT AVE

Victoria, B.C. V8S 5E6  
Phone: (250) 360-3144  
Fax: (250) 360-2115

Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

Scale: AS NOTED

Project:  
NEW SFD @ 206  
ST.CHARLES STREET

Title:  
SHED PLANS,  
SECTIONS AND  
ELEVATIONS

Revision:

Sheet:

R4 A6  
Proj.No. 2484



ENVIRONMENTAL NOTES:

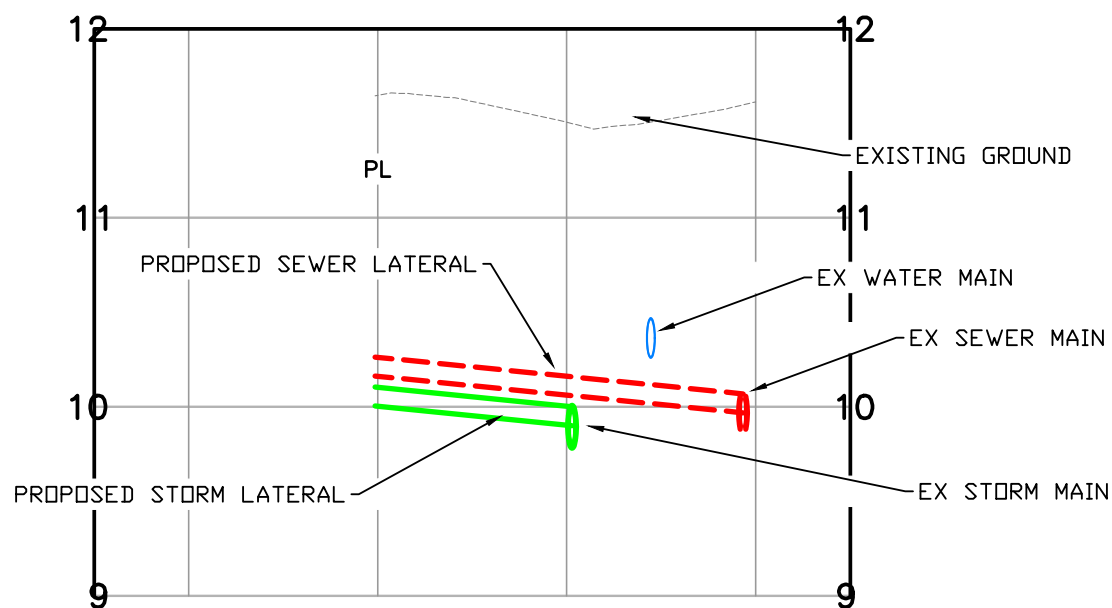
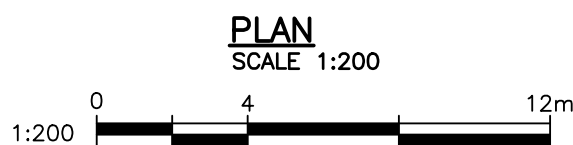
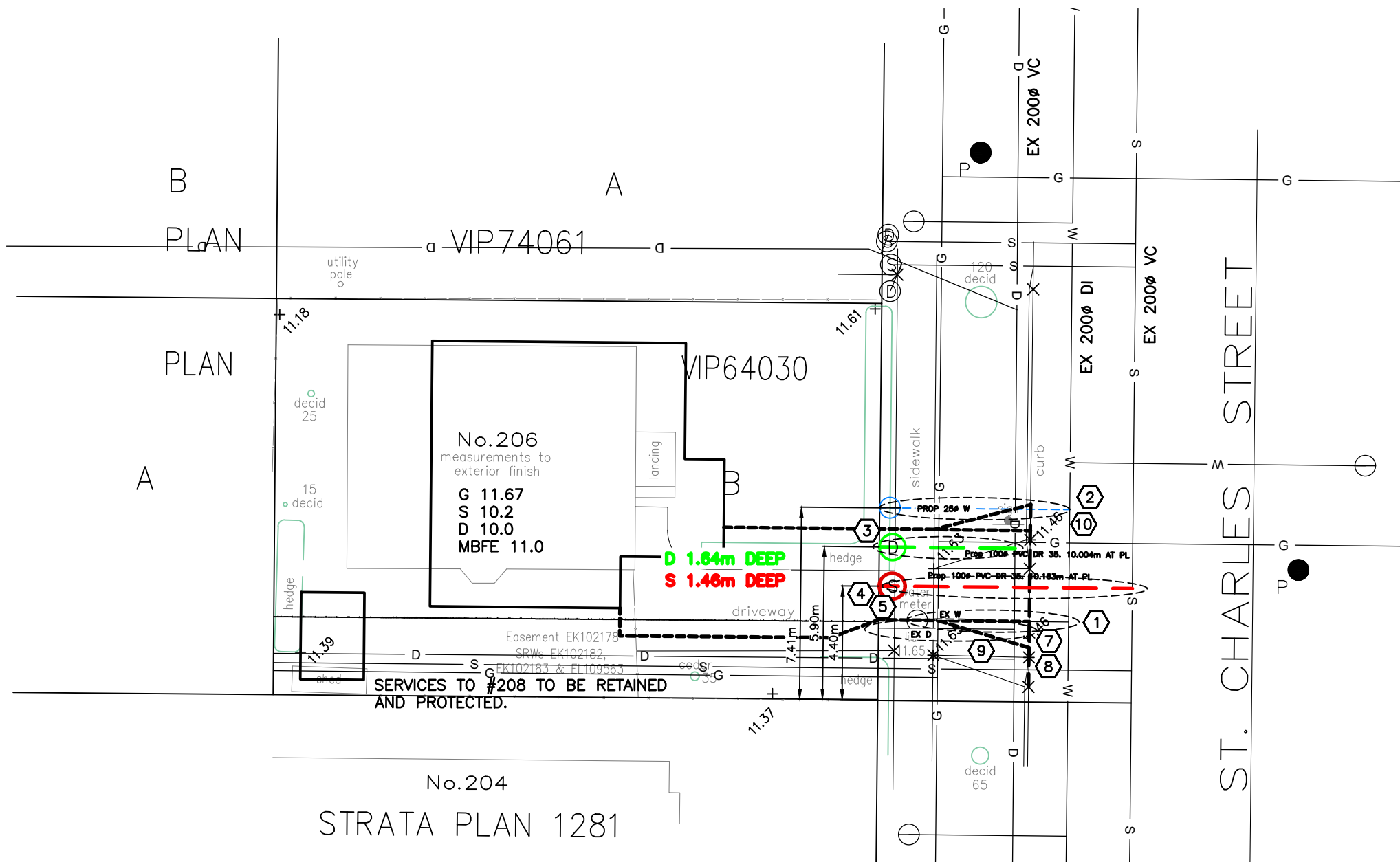
- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME BMP'S TO CONSIDER:
  - CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
  - NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
  - A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
  - SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
  - COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
  - STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
  - PLACE DRAIN ROCK AND FILET FABRIC AT THE IN LET OF CULVERT AS PER DETAIL B.
- SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT VICTORIA ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILT FENCING AS PER DETAIL A IN LOCATION SHOWN ON PLAN.
- ADHERE TO ALL CONDITIONS OF THE PROJECT ENVIRONMENTAL PROTOCOL WORKSHEET.

GENERAL CONSTRUCTION NOTES:

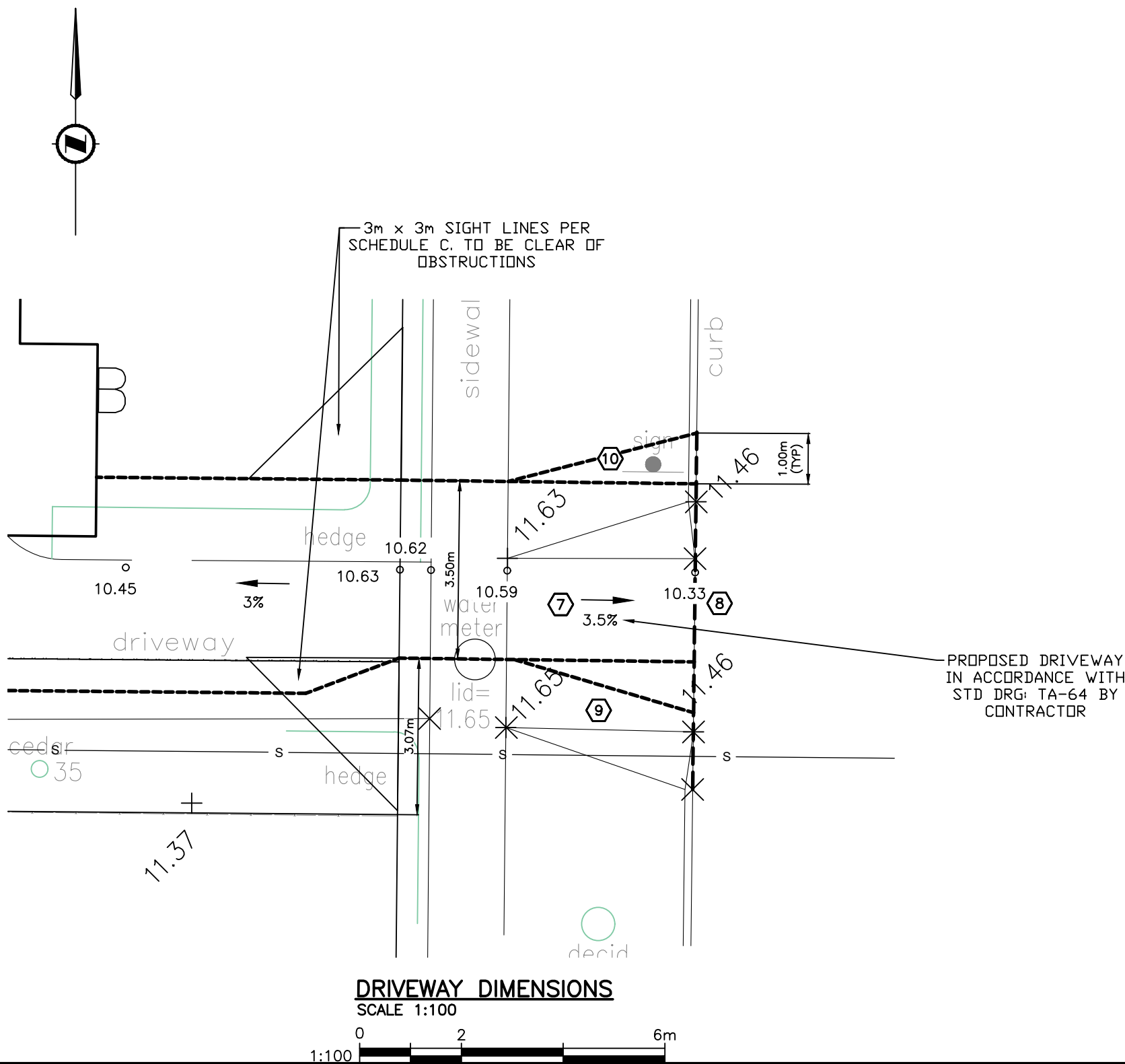
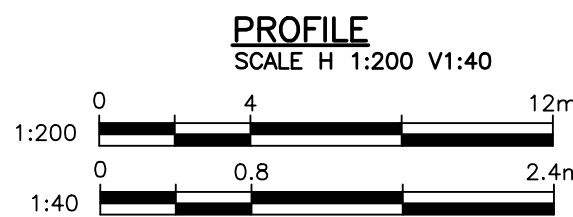
- CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
- REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION.
- REINSTATE ALL PRIVATE PROPERTY AND BOULEVARDS TO PRE-CONSTRUCTION CONDITIONS.
- CONTACT VICTORIA PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES.
- ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING WORKS.
- CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
- ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.

DETAILED CONSTRUCTION NOTES:

- EXISTING WATER CONNECTION TO BE DECOMMISSIONED BY CITY AT APPLICANTS EXPENSE.
- NEW 25mm WATER CONNECTION AND METER BY CITY AT APPLICANTS EXPENSE.
- NEW 100mm PVC DR 35 STORM CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- NEW 100mm PVC DR 35 SEWER CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- EXISTING STORM CONNECTION TO BE DECOMMISSIONED BY CITY AT APPLICANTS EXPENSE.
- EXISTING SEWER CONNECTION TO BE FOUND AND CAPPED AT PROPERTY LINE BY CONTRACTOR.
- PROVIDE 3.5m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 3m DEEP.
- CURB AND GUTTER TO BE REPLACED WITH NMC AND DROPS. REMOVE AND REPLACE TO NEAREST JOINT.
- SAW CUT AND REMOVE A MINIMUM OF 0.6M WIDE STRIP OF ASPHALT AND REPLACE WITH NEW 50MM ASPHALT SURFACE, LAP JOINT TO EXISTING.
- EXISTING DRIVEWAY TO BE REMOVED AND BOULEVARD RESTORATION IN ACCORDANCE WITH PARKS SPECIFICATION TO BE COMPLETED.
- EXISTING SIGN TO BE RELOCATED TO APPROXIMATELY 1m FROM DRIVEWAY FLARE.



Sewer Data:	9.75m 100ø PVC @ 2.00% Invert In 10.018 Invert Out 10.213
Storm Data:	5.22m 100ø PVC @ 2.00% Invert In 9.950 Invert Out 10.054



GENERAL NOTES:

**DRAWING INFORMATION**  
DIMENSIONS ARE METRIC; MILLIMETERS ON DETAIL DRAWINGS; METERS ON 1:200 PLAN AND PROFILE, UNLESS OTHERWISE NOTED.

INFORMATION THAT IS PROVIDED IN OUR PLANS, DESIGNS, OR SPECIFICATIONS IS INTENDED TO INDICATE THE GENERAL ARRANGEMENT OF WORK TO BE CARRIED OUT. AS THE PROJECT PROGRESSES, THE DEGREE OF DETAIL THAT IS PROVIDED MAY REQUIRE ADDITIONS OR DELETIONS.

EXISTING SERVICE INFORMATION WITHIN AREAS OF CONSTRUCTION MAY HAVE BEEN SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY. ADDITIONAL SERVICES MAY BE PRESENT BUT NOT INDICATED ON THESE DRAWINGS.

**GENERAL REQUIREMENTS**  
REFER TO HOEL ENGINEERING'S "STATEMENT OF CONDITIONS" FOR ADDITIONAL INFORMATION AS TO THE USE OF THESE DOCUMENTS AND CONSTRUCTION OF THE WORKS.

REFER TO VICTORIA STANDARD DRAWINGS AND SPECIFICATIONS AND PERMITS, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS, LATEST EDITION, BC HYDRO, TELUS, SHAW AND FORTIS GAS DRAWINGS AND SPECIFICATIONS, AND OTHER AGENCIES/ SUB-CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR INFORMATION NOT COVERED ON THESE DRAWINGS.

ALL OTHER CONSTRUCTION, MATERIAL AND INSTALLATION OF SERVICES NOT COVERED SPECIFICALLY BY THE BC BUILDING CODE, BC ELECTRICAL CODE, OR BY OTHER BYLAWS OR SPECIFICATIONS SHALL BE IN GENERAL CONFORMANCE WITH THE MASTER MMCD SPECIFICATIONS/STANDARD DETAIL DRAWINGS, AND ADDENDUMS.

UNLESS OTHERWISE SPECIFIED HEREIN, ALL WORK WITHIN PRIVATE PROPERTY AND EASEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE AND INSPECTED BY THE MUNICIPAL WORKS INSPECTOR.

**USE OF INFORMATION**  
THIS DOCUMENT MAY NOT BE USED, COPIED OR SHARED WITHOUT THE EXPRESS WRITTEN AUTHORITY OF HOEL ENGINEERING LTD AND AT NO TIME MAY IT BE USED OR REFERENCED IN ANY FORM FOR ANY LEGAL INSTRUMENT.

COORDINATION REQUIREMENTS

**COMMUNICATION AND REPORTING**  
CONTACT BC ONE-CALL PRIOR TO CONSTRUCTION FOR SERVICES LOCATE. 1-800-474-6886

THE CONTRACTOR IS TO COORDINATE AND COMMUNICATE WITH THE ENGINEER, ALL UTILITIES, AND AUTHORITIES HAVING JURISDICTION, WELL IN ADVANCE (2-WORKING DAYS MINIMUM) OF THE START OF ANY EXCAVATION AND COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL SUB-CONSULTANTS, CONTRACTORS AND TRADES REQUIRED FOR THE COMPLETION OF THE WORKS.

THE CONTRACTOR SHALL PROVIDE THE REQUIRED QUALITY CONTROL AND CONFORMANCE TESTING REPORTS TO THE ENGINEER AT THE COMPLETION OF EACH PHASE OF THE WORK.

PERMITS

A TREE BYLAW PERMIT IS TO BE OBTAINED PRIOR TO ANY SITE ACTIVITIES.

A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL ROAD ALLOWANCE MUST BE OBTAINED BEFORE WORKS COMMENCE.

A PERMIT TO CROSS OR WORK NEAR FORTIS GAS PIPELINE IS REQUIRED. CONTACT 1-877-599-0996

**NOTIFICATION**  
WHEN GIVING ADVANCE NOTIFICATION, THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE SCHEDULING DEMAND AND PRIOR COMMITMENTS OF ALL PARTIES.

FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN DELAYS, REJECTION OF THE WORK, OR EXPENSIVE TESTING TO PROVE COMPLIANCE.

IN THE EVENT THAT THE CONTRACTOR IS NOT PROVIDING HIS OWN CONSTRUCTION LAYOUT, THE ENGINEER IS TO BE NOTIFIED BY EMAIL OR OTHERWISE IN WRITING AT LEAST 5 DAYS BEFORE ANY CONSTRUCTION LAYOUT IS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONDITIONS ARE NOT FAVORABLE TO THE ACHIEVEMENT OF THE DESIGN INTENT.

**CHANGE REQUESTS**  
CONTRACTOR REQUESTED CONSTRUCTION CHANGES MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION.

**TESTING REQUIREMENTS**  
CONFORMANCE TESTING IS TO BE PROVIDED BY THE CONTRACTORS TESTING ENGINEER FOR ALL ROAD CROSSINGS, ROAD BASE, CONCRETE, AND PAVING CONSTRUCTION MATERIALS AND AS OTHERWISE REQUIRED BY VICTORIA OR THE ENGINEER.

ALL TESTING IS TO BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.

**MISCELLANEOUS**  
ALL PUBLIC ROADS ARE TO BE MAINTAINED MUD AND DUST FREE DURING CONSTRUCTION.

ALL LANDSCAPING AND STRUCTURES TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER.

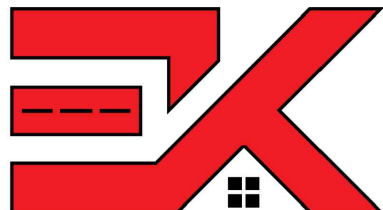


KEY PLAN - 1:2500

FOR PROPOSED SERVICES OF  
LOT B, SECTION 19, VICTORIA DISTRICT, PLAN VIP64030  
PID 023-534-320

206 ST. CHARLES STREET

PERMIT TO PRACTICE NUM: 1000348



KYLE ENGINEERING  
SUITE 1, 40 CADILLAC  
AVE. VICTORIA, BC, V8Z 1T2  
250 475 6906

FOR REVIEW



CONFIRM UNDERGROUND  
LOCATIONS WITH  
UTILITY COMPANIES

THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

LEGEND	
Existing Municipal Infrastructure	Drain —D—
Proposed Municipal Infrastructure	Ditch —D—
Existing External U/G Utilities	Sewer —S—
Proposed External U/G Utilities	Water —W—
Street Lighting Pole Mount	Traffic Sign
Post Top	Pedestrian Signal
	Traffic Signal
	Ctrl Monument
	Traverse Hub
	Gas Valve
	Water Meter
	Valve
	Flush Valve
	Hydrant
	Reducer
	Air Valve
	Water Meter

REVISIONS

REVISIONS APPROVED

DESIGN APPROVED

CITY OF VICTORIA

206 ST. CHARLES STREET

SERVICES PLAN

B.M. : CV028BC  
Design: ESK  
Scale: Hor: 1:200  
Drawn: ESK  
Vertical: 1:40  
Elev: 21.77m  
Checked:  
Date: DEC 2022

FILE No.

DESIGN No.

DRAWING No.

—

—

Sheet 1 of 1



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