





STREETSCAPE FROM LEIGHTON RD





STREETSCAPE FROM REDFERN RD

PROJECT:

NEW SINGLE FAMILY DWELLING

ADAPT

DESIGN

1630 Sharncliffe Road Victoria BC Canada
250.893.8127
www.adaptdesign.ca

1638 REDFERN,
VICTORIA, BC

Drawings and Specifications as instruments of service are and shall remain the property of Adapt Design. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Designer.

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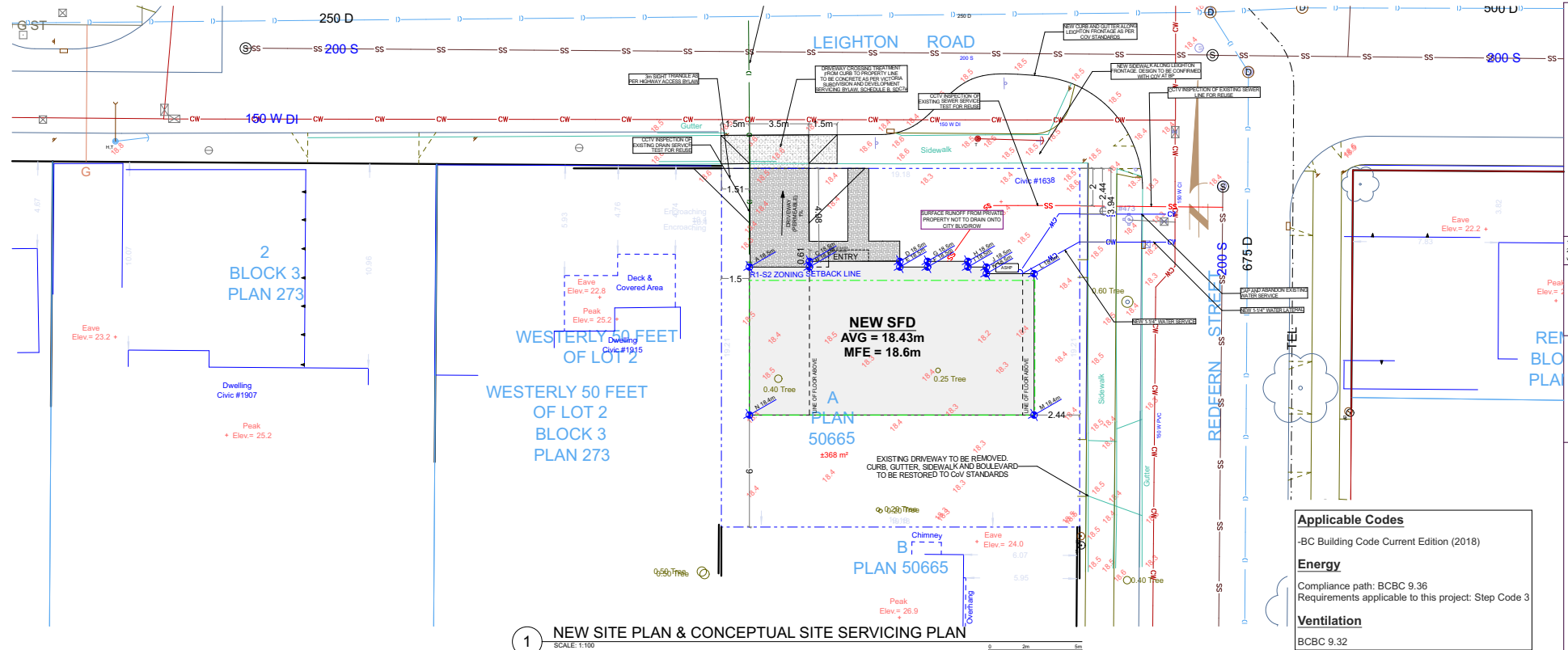
ISSUED FOR
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ISSUED:

COVER SHEET

A-001

Printed: 2023-10-24



Applicable Codes

-BC Building Code Current Edition (2018)

Energy

Compliance path: BCBC 9.36
Requirements applicable to this project: Step Code 3

Ventilation

BCBC 9.32

Property Information

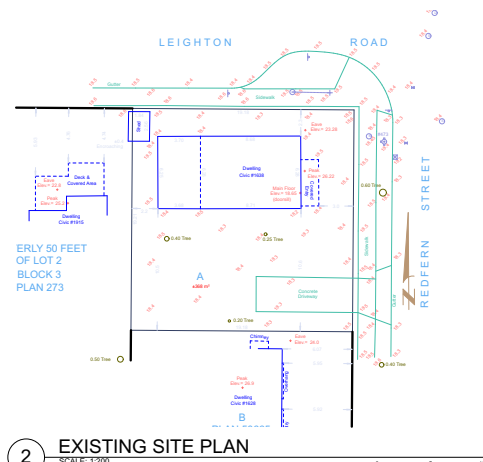
Project Type: NEW S.F.D.
Site Address: 1638 Redfern St, Victoria, BC
Zoning: R1-S2

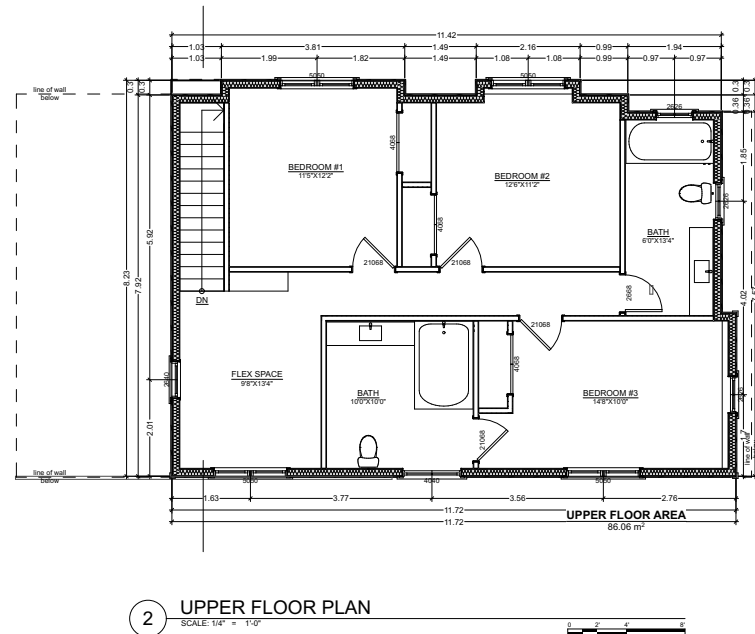
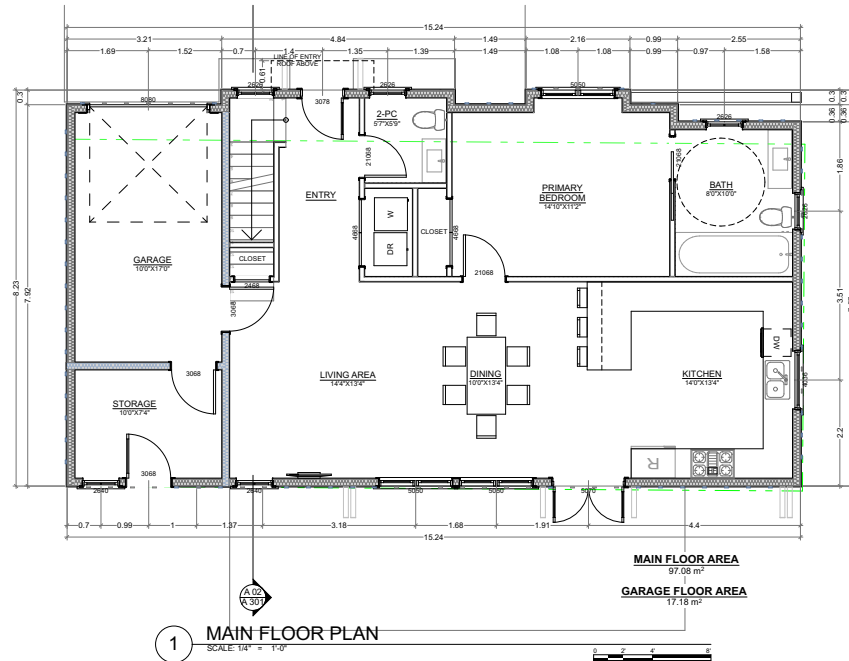
	Zoning	Proposed
Setbacks:		
North	6.0m	*4.98m
East	2.44m	2.4m
South	6.0m	6.0m
West	1.5m	1.5m
Roof Height	7.5m	7.1m
# of Storeys	2	2
Floor Area:		
Main		97.1 m ²
Upper		86.06 m ²
Garage	(18.6 m ²)	17.2 m ²
FA Total	190 m ²	183.16 m ²
FSR	0.6	0.5
Lot Area:		368m ²
Building Footprint:		122m ²
Site Coverage:	40%	31.6%

*DENOTES VARIANCE REQUIRED

GRADE POINTS (EXISTING & FINISHED)	GRADE POINTS	AVERAGE OF POINTS	DIST. BETWEEN	TOTALS
A = 18.5m	POINTS A&B	((18.5+18.5) / 2)	X 3.2m	= 59.2
B = 18.5m	POINTS B&C	((18.5+18.5) / 2)	X 0.3m	= 5.55
C = 18.5m	POINTS C&D	((18.5+18.5) / 2)	X 4.8m	= 88.8
D = 18.5m	POINTS D&E	((18.5+18.5) / 2)	X 0.3m	= 5.55
E = 18.5m	POINTS E&F	((18.5+18.5) / 2)	X 1.5m	= 27.8
F = 18.5m	POINTS F&G	((18.5+18.5) / 2)	X 0.3m	= 5.55
G = 18.5m	POINTS G&H	((18.5+18.5) / 2)	X 2.2m	= 40.7
H = 18.5m	POINTS H&I	((18.5+18.5) / 2)	X 0.3m	= 5.55
I = 18.5m	POINTS I&J	((18.5+18.5) / 2)	X 1.0m	= 18.5
J = 18.5m	POINTS J&K	((18.5+18.5) / 2)	X 0.36m	= 6.7
K = 18.5m	POINTS K&L	((18.5+18.5) / 2)	X 2.6m	= 48.1
L = 18.4m	POINTS L&M	((18.5+18.4) / 2)	X 7.6m	= 140.2
M = 18.4m	POINTS M&N	((18.4+18.4) / 2)	X 15.2m	= 279.7
N = 18.4m	POINTS N&A	((18.4+18.5) / 2)	X 7.9m	= 145.8
	TOTAL	=	47.6	877.7

GRADE CALCULATION = 877.7 / 47.6 = 18.43m





PLAN LEGEND

- 2X4 PARTITION WALL
- 2X6 PARTITION WALL
- 2X6 GARAGE WALL
- 2X6 EXTERIOR WALL
- FOUNDATION WALL
- FOUNDATION AND FROST WALL
- COLUMN
- BEAM
- FLOOR DRAIN
- DIMENSION PLACEMENT
- ROOM SIZES ARE INTERIOR DIMENSIONS WIDTH X DEPTH
- HARDWIRED INTERCONNECTED CO DETECTOR
- HARDWIRED INTERCONNECTED IONIC SMOKE DETECTOR
- HARDWIRED PHOTOELECTRIC SMOKE DETECTOR
- BATH FAN: VENTILATION RATE 25 L/S INTERMITTENT
- KITCHEN FAN: VENTILATION RATE 47 L/S INTERMITTENT
- CONTINUOUS PRINCIPAL EXHAUST FAN: VENTILATION RATE AS PER TB 32.3.4 - 9.32.3.5
- FRESH AIR SUPPLY
- PASSIVE AIR INLET



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ISSUED:

**MAIN AND UPPER
FLOOR PLAN**

A-101

Printed: 2023-10-24

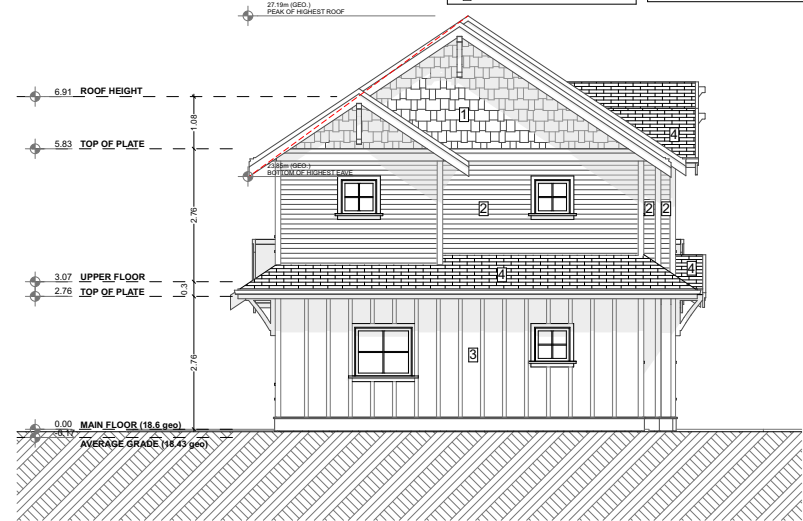
EXTERIOR CLADDING LEGEND	
1	HARDIESHINGLE PAINTED
2	HARDEBOARD SIDING PAINTED
3	HARDEPANEL W/ 9X3 BATTS PAINTED
4	ASPHALT ROOFING SHINGLES

ADDITIONAL EXTERIOR FINISHINGS	
GETTERS	9" CONTINUOUS ALUMINUM PREFABRICATED
SOFFIT	CW 7X7 ALUMINUM COMPOSITE PREFABRICATED
WALL	1/4" T&B BRICK (OPTIONAL)
WALL BAND	2X10 COMB FENCED SPT SHINGLES
WINDOW TRIM	2X10 COMB FENCED SPT SHINGLES
DOOR TRIM	2X10 COMB FENCED SPT SHINGLES
CORNER TRIM	2X10 COMB FENCED SPT SHINGLES
WALL	1/4" T&B BRICK (OPTIONAL)
DOOR TRIM	2X10 COMB FENCED SPT SHINGLES
CORNER TRIM	2X10 COMB FENCED SPT SHINGLES

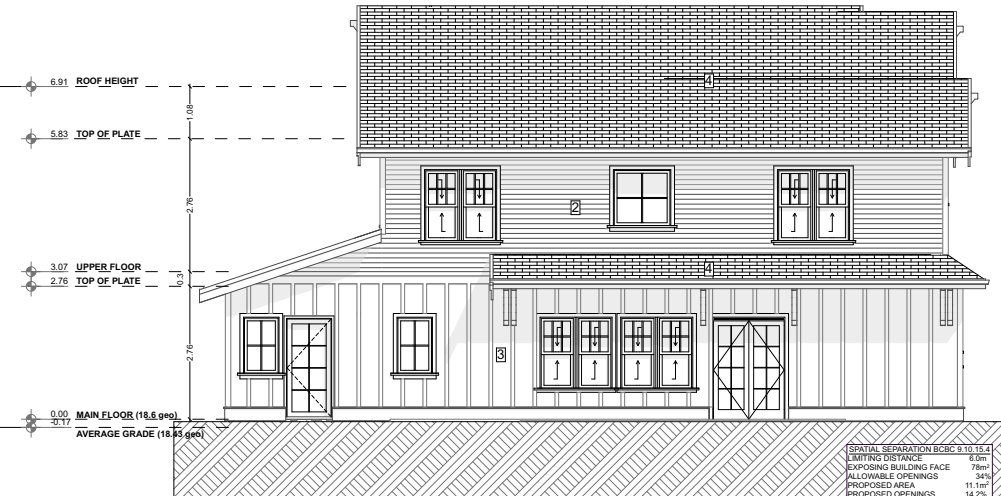
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC CODES REQUIREMENTS. CONTRACTOR TO VERIFY ALL GLASS PRIOR TO ORDERING. HEADS, SILL, AND THRESHOLD, DOOR AND WINDOW HEADS ALL COLOURS AS PER OWNER.



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

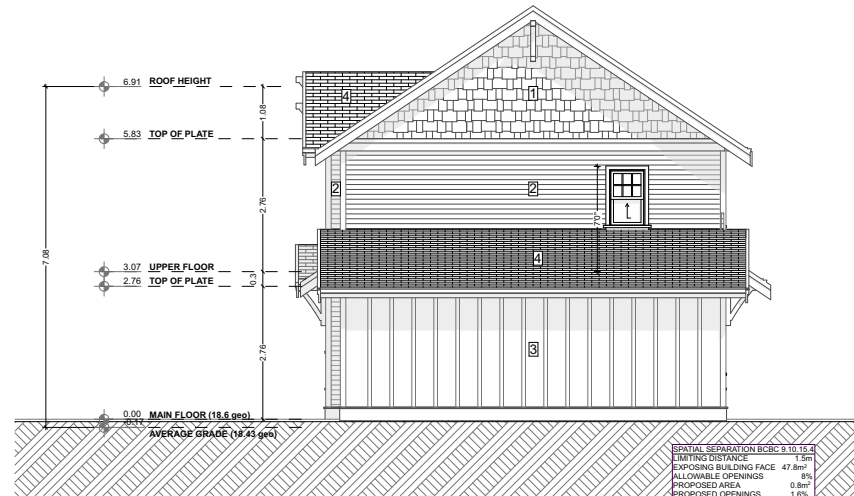


2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



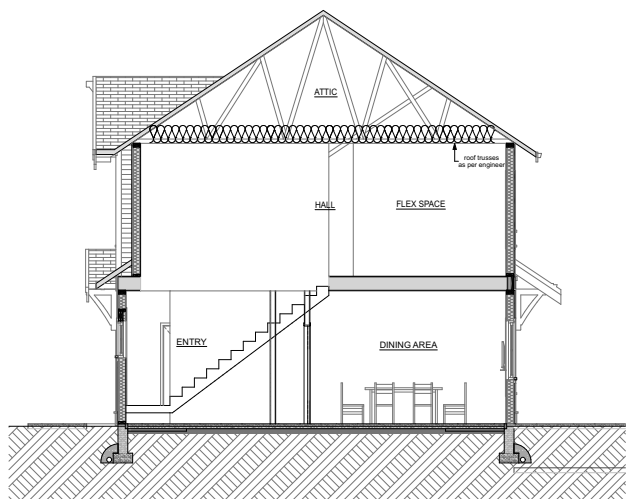
3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

SPATIAL SEPARATION BCBC 8.10.10.3	
LIMITING DISTANCE	0.0m
EXPOSING BUILDING FACE	78m
ALLOWABLE OPENINGS	34%
PROPOSED AREA	11.1m²
PROPOSED OPENINGS	14.2%

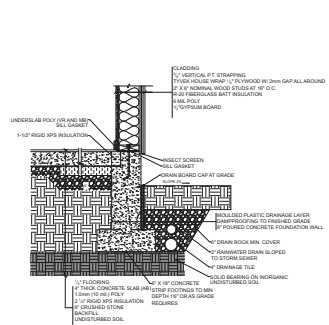
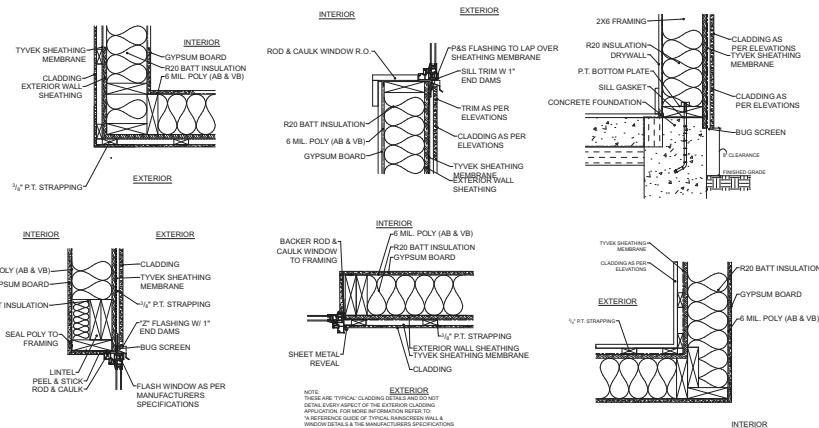


4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

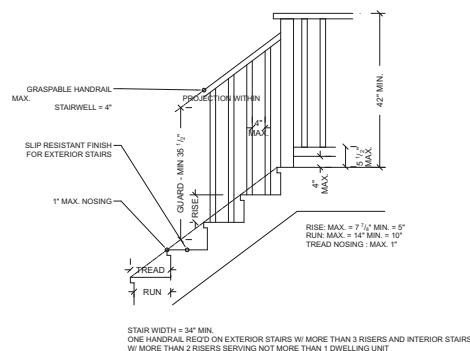
SPATIAL SEPARATION BCBC 8.10.10.3	
LIMITING DISTANCE	1.5m
EXPOSING BUILDING FACE	47.8m²
ALLOWABLE OPENINGS	8%
PROPOSED AREA	0.8m²
PROPOSED OPENINGS	0.6%



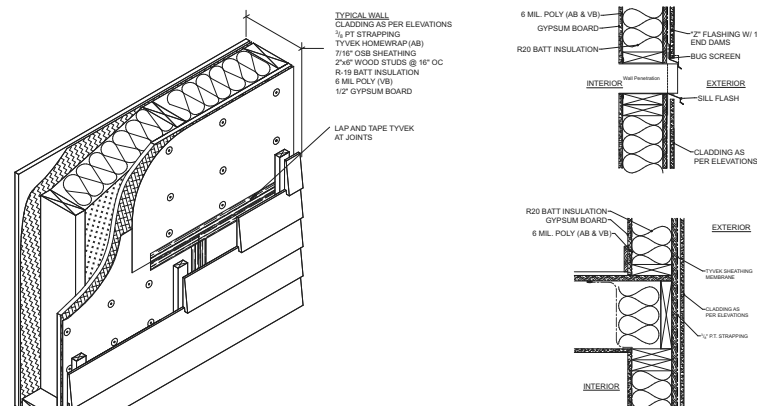
2 CROSS SECTION
SCALE: 1/4" = 1'-0"



SLAB ON GRADE

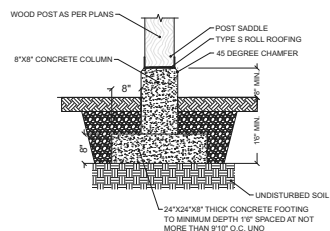


TYPICAL STAIRS

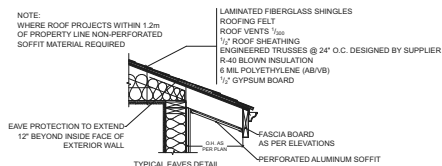


TYPICAL WALL ISOMETRIC

CLADDING DETAILS



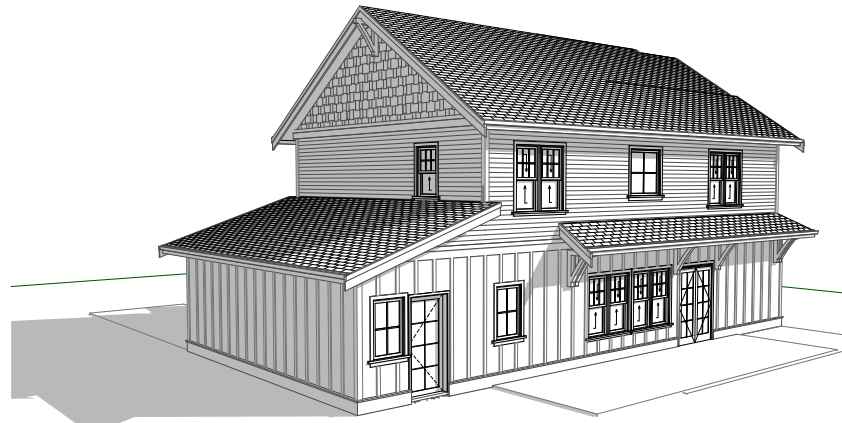
COLUMN FOOTING



ROOF EAVE



FRONT PERSPECTIVE



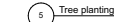
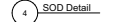
REAR PERSPECTIVE



FRONT PERSPECTIVE



REAR PERSPECTIVE



1 SCALE: 1:100

Identify and have crews be aware of utilities on and around the

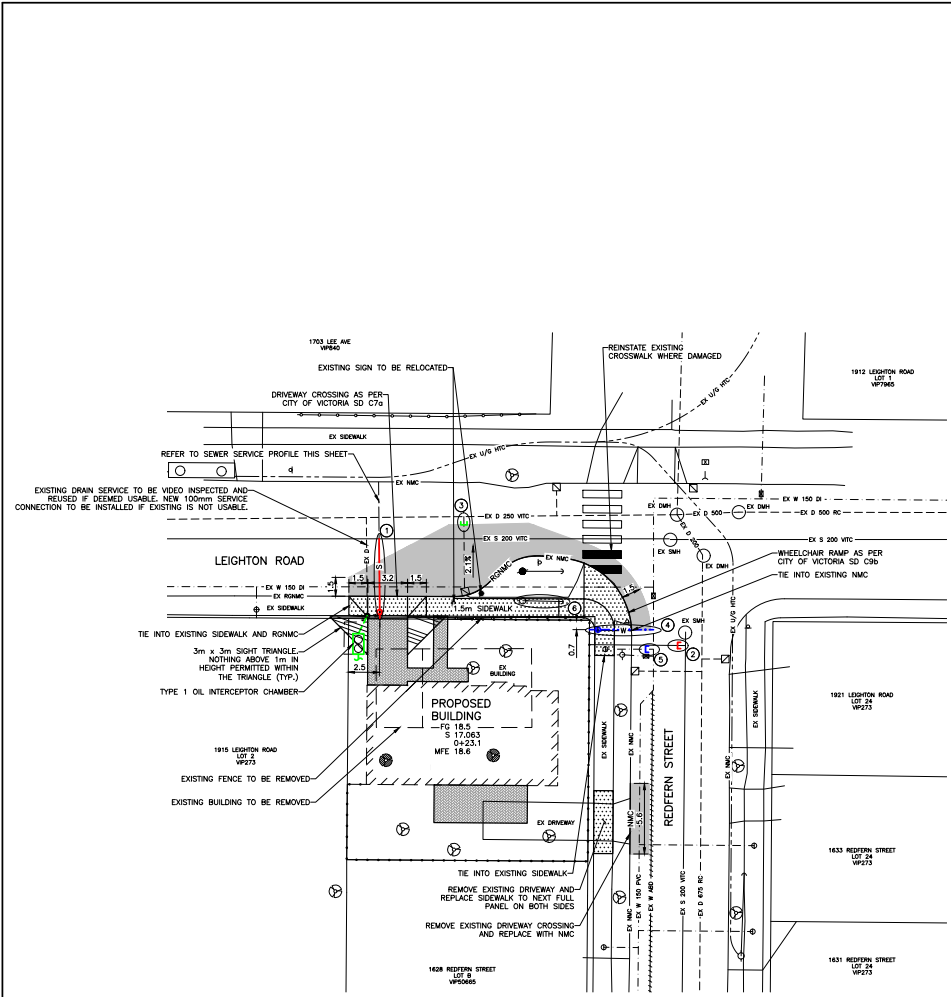
Contractor to locate, identify and have crews be aware of all new and existing utilities on and around the property.

All landscaping on municipal property to conform to municipal standards

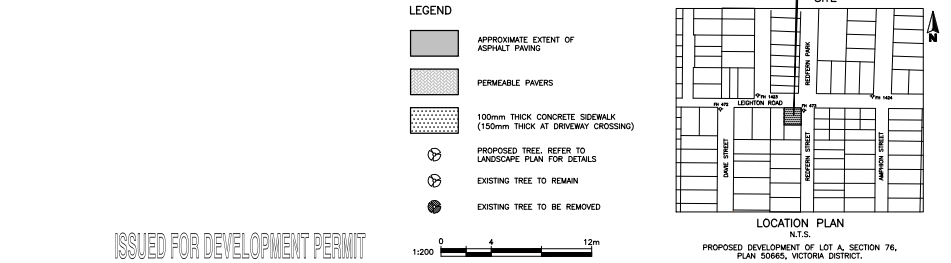
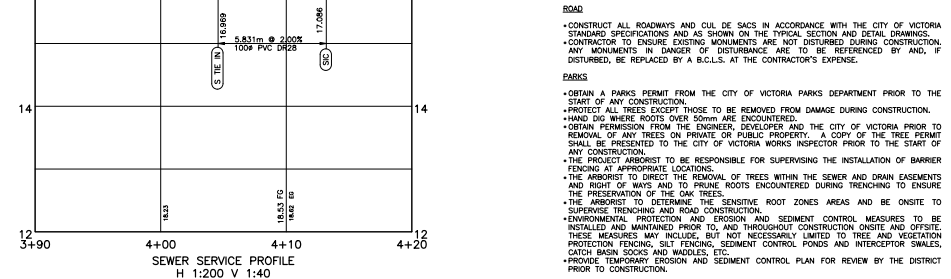
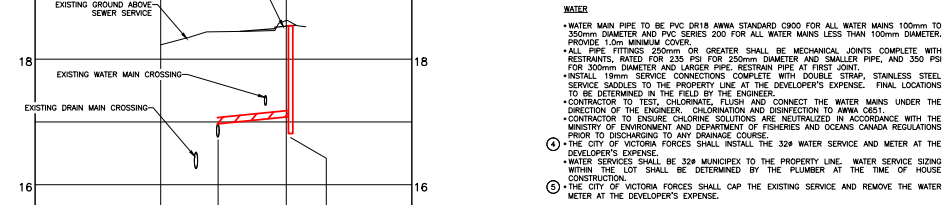
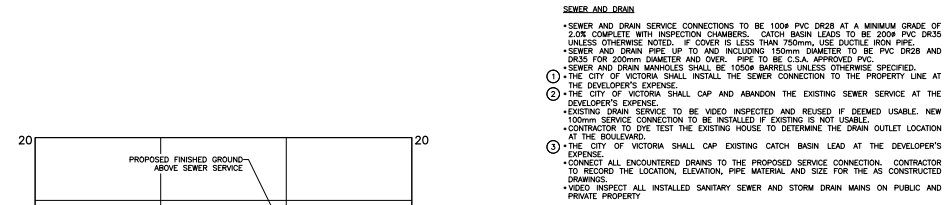
All fencing to conform to municipal bylaws

Planting locations shown on plans are approximate and should be verified by survey if important

Project Arborist to install tree protection fencing where required and to be available for onsite supervision when working near critical root zones



- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCO, LATEST EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATIONS.
 - BED ALL PIPE USING CLASS 'B' BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SURFACE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN REVIEWED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG LEIGHTON ROAD AND REDFERN STREET DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS	LEGEND										SEAL
	WATER	W	GAS	G	EXISTING U/G UTIL.	MANHOLE	⊕	HYDRANT	⊕		
	SEWER	S	CURB	C	PROPOSED U/G UTIL.	CLEANOUT	⊕	VALVE	⊕		
	DRAIN	D	SIDEWALK	SW	LIGHT STANDARD	CATCHBASIN	⊕	METER	⊕		
	DITCH	→	EDGE PAVE.	→	POWER POLE	MONUMENT	⊕	REDUCER	⊕		
	CULVERT	→	BUSHLINE	→	ANCHOR	LOT PIN	⊕				
	HEADWALL	→	TREE	→	ROAD SIGN	LEAD PLUG	⊕				

REVISIONS		DESIGNED	KS
		DRAWN	JR
		CHECKED	
		DATE	SEPT 2023
		B.M.	
		ELEV.	
		SCALE	Horz. 1:200
			Vert. 1:40
No.	DESCRIPTION	YMMGD	SIGN

PROJECT		1638 REDFERN STREET	WESTBROOK PROJECT No.
		LDA CONSTRUCTION INC.	3927
		SITE PLAN	GOVERNING AUTHORITY FILE No.
		GENERAL NOTES	SHEET 1 1 REV.
		DETAILS	WESTBROOK DRAWING No.
			392701

WESTBROOK CONSULTING LTD - 2023-10-03 03:00PM H:\PROJECTS\3927 1638 Redfern St\LDG Drawings\392701.dwg

ISSUED FOR DEVELOPMENT PERMIT

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