

REISSUED FOR DEVELOPMENT PERMIT  
APRIL 11, 2022



CITY OF  
VICTORIA

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

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257 BELLEVILLE STREET  
VICTORIA, BRITISH COLUMBIA

Prepared for the City of Victoria on behalf of ADZ Properties Ltd.

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architectural

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General Notes and Assemblies

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Exterior Elevations

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Exterior Elevations

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Exterior Elevations

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Building Sections

landscape

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Planting Details

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Landscape Sections and Details

L3.3

Landscape Sections and Details



<b>MUNICIPAL ADDRESS</b>
257 BELLEVILLE STREET, VICTORIA, BC
<b>LEGAL ADDRESS</b>
LOT A, VICTORIA CITY, PLAN 21081

<b>LAND USE DESCRIPTION</b>
EXISTING: R-6S PROPOSED: R-6S

<b>PROJECT STATISTICS</b>			
	Existing Zoning Standard	Existing Building	Proposal
Zoning	R-6S		R-6S
Site Area (m²)	2000	2053.88	2053.88
Site Coverage (%)	45%	30%	53% 1092.56 870.14
Building Area Main Floor (m²)		619.15	
Gross Floor Area (above Grade excl. Balconies, incl mech.)			6153.22
Floor Space Ratio	3.00:1	0.90	2.995
Building Height (m)	30	15	32 (incl. mechanical penthouse)
Number of Floors	N/A	3	9
Setbacks (m)			
1. "North Elevation"	0.0		
GL 1-mid 6/7-8		21.86	5.94
GL mid 6/7-8		3.64	3.00
GL 8-10		2.30	0.19
GL 10-13		3.51	3.585
2. "South Elevation"	2.5	2.23	2.50
3. "West Elevation"	4.5	4.8	4.575
4. "East Elevation"	0.4		
GL D-G		1.34	0.40
GL A-D		n/a	1.26
Note: Existing Setbacks to relative proposed Gridlines			
Open Space (%)	40%	31.7%	28.5%
Parking Stalls	40	25	78
Bicycle Parking	1.25/unit		6 @ Entry & 71 @ Main & Parkade Level

Net to Gross Ratio	1.28
Parkade Level P1 Area	1846 m²
Parkade Level P2 Area	1846 m²
Number of Floors above Grade	9 incl. Roof Top Mechanical (Laurel Point - 11)
Total Height @ Top of Parapet (excl. Mechanical Room)	30000mm (Laurel Point - 32000mm)
Floor to Floor Height (Typ.)	3350mm
Podium Floor to Floor	4500mm
Typ. Slab thickness	225mm
Zero Elevation	8.80m (center of Cross Street near Lobby)
Number of Units	32-57 (Max. 57 units)
Parking stall count	Min 40 required 78 stalls provided / including 6 Handicap and 6 Visitor U/G

<b>GENERAL NOTES REGARDING UNITS:</b>
Building makes use of an open plan concept. Unit sizes and types will vary depending on end-user's unit configuration. Number and type of unit will vary. Below is a sample configuration of the building.

Typical Unit Configuration	Avg. No.	Avg. Area/unit (m²)
1 BEDROOM	5	110
1 Bedroom & Den	15	125
2 BEDROOM	9	195
Ground Oriented Access	3	115

<b>BUILDING AREA CALCULATION</b>
BUILDING GROSS AREAS MEASURED TO THE INSIDE FACE OF THE EXTERIOR WALLS
<b>OPEN SITE SPACE CALCULATION</b>
CALCULATION BASED ON CITY OF VICTORIA "SCHEDULE A" DEFINITION OF OPEN SITE SPACE.
OPEN SITE SPACE MEANS THAT PORTION OF THE LOT: A) WHICH FROM THE SURFACE OF THE LOT IN A VERTICAL COLUMN UPWARD IS NOT OCCUPIED OR OBSTRUCTED BY THE BUILDING OR ITS PARTS EXCEPT 1) ACCESSORY GARDEN STRUCTURE 2) BALCONY OR ROOF PROJECTION B) WHICH IS GRADED AND LANDSCAPED

<b>BUILDING CODE ANALYSIS</b>	
BUILDING AREA	6054.44 M²
NUMBER OF STORIES	9
NO. OF STREETS	2
APPLICABLE CODE	BCBC 2018
MAJOR OCCUPANCY	C
Building is Classified under Section 3.2.2.47 Group C, Any Height, Any Area, Sprinklered	
SPRINKLERED	Yes
FIRE ALARMS REQUIRED	Yes
STANDPIPE & HOSE REQUIRED	Yes
CONSTRUCTION COMBUSTIBLE	No

<b>FIRE RESISTANCE RATINGS</b>	
ROOF	2 Hours
MEZZANINE	n/a
FLOORS	2 Hours
LOAD BEARING	2 Hours
FIREWALL REQUIREMENTS	TBC

SPATIAL SEPARATION & UNPROTECTED OPENINGS				
TABLE 3.2.3.1.C UNPROTECTED OPENING LIMITS FOR A BUILDING THAT IS SPRINKLERED THROUGHOUT - FOR GROUPS A, B, C, D AND F, DIVISION 3 OCCUPANCIES				
"NORTH ELEVATION"				
FLOOR	GRIDLINE	LIMITING DISTANCE	AREA	SHOWN
Main	S-7	PL - 12.18m	23.6m²	100%
Room: Mail Room R112				
Note: Allowable openings as per Code 100%				
Main	Mid 6/7-8	PL - 3.00m	41.2m²	39%
Room: Corridor R111				
Note: Allowable openings as per Code 40%				
Main - 5th	8-10	PL - 0.00m	32.3m²	0%
Room: Stair #03 & #04.				
Note: Allowable openings as per Code 0%.				
Main	10-13	PL - 3.62m	48.4m²	34%
Room: Unit #03 R120				
Note: Allowable openings as per Code 40%.				
2nd - 5th	Mid 6/7-8	PL - 3.00m	19.4m²	73%
Room: Units R212, R312, R412 & R512				
Note: Allowable openings as per Code 74%				
2nd & 3rd	10-12	PL - 3.62m	32.6m²	44%
Room: Units R214 & R314				
Note: Allowable openings as per Code 46%				
4th	10-11	PL - 3.62m	13.6m²	100 %
Room: Unit R413				
Note: Allowable openings as per Code 100%				
6th	Mid 6/7-9	PL - 3.00m	35.2m²	43%
Room: Unit R607				
Note: Allowable openings as per Code 46%				
7th	3-4	PL - 6.01m	15.8m²	100%
Room: Unit R706				
Note: Allowable openings as per Code 100%				
7th	4-5	PL - 7.80m	17.7m²	100%
Room: Unit R706				
Note: Allowable openings as per Code 100%				
7th	5-6	PL - 9.57m	14.9m²	100%
Room: Unit R706				
Note: Allowable openings as per Code 100%				
7th	Mid 6/7-8	PL - 3.00m	26.1m²	47%
Room: Unit R706				
Note: Allowable openings as per Code 52%				
All Eighth Floor 'North' Glazing @ 100% allowable Unprotected Openings				

"EAST ELEVATION"				
FLOOR	GRIDLINE	LIMITING DISTANCE	AREA	SHOWN
Main	C-Mid D/E	PL - 1.65m	28.3m²	17%
Room: Mail Room R112 Note: Allowable openings as per Code 18%				
2nd - 7th	Mid C/D-D/E	PL - 1.65m	15.4m²	19%
Room: Unit R211, R311, R411, R511, R606 & R707 Note: Allowable openings as per Code 20%				
2nd - 7th	Mid B/C-C/D	PL - 3.00m	15.3m²	72%
Room: Unit R211, R311, R411, R511, R606 & R706 Note: Allowable openings as per Code 74%				
8th	Mid B/C-DE	PL - 3.00m	29.9m²	43%
Room: Unit R806 Note: Allowable openings as per Code 46%				

<b>COMPARTMENTALIZATION - SEPARATIONS</b>
FIRE SEPARATIONS - GENERAL
3.1.8.1 General Requirements
3.3.4.2 Residential Occupancy, Fire Separations
<b>ASSEMBLY OCCUPANCIES</b>
3.3.2.2 In the case of gathering spaces at grade, or assembly functions
<b>CORRIDOR SEPARATION</b>
3.3.1.4 Public Corridor Separation
3.3.2.6 Corridors
<b>EXIT ENCLOSURES</b>
3.4.4 Fire Separation of Exits
<b>FIRE STOPPING</b>
3.1.9 Building Services in Fire Separations and Fire-Rated Assemblies
3.1.11 Fire Stops in Concealed Spaces
3.1.11.5 Fire Stopping of Horizontal Concealed Spaces
<b>FLOOR ASSEMBLY RATINGS</b>
3.2.2 Building Size and Construction Relative to Occupancy

<b>INTERCONNECTED FLOOR SPACES</b>
3.2.8 Mezzanines and openings through Floor Assemblies
3.2.8.2 (6) Interconnected Space conformity requirements
3.2.3.2 (3) Sprinklered Interconnected Spaces and exposed Building Face
3.2.2.2 Means of Egress from Mezzanines
<b>JANITOR ROOMS</b>
3.3.1.21 Janitor's Rooms
<b>CONT'D</b>

<b>PENETRATION OF FIRE SEPARATIONS</b>
3.1.9.4 Combustible Piping Penetrations
3.1.9.5 Openings Through a Membrane Ceiling
<b>REPAIR GARAGES</b>
3.3.5.5 N/A
<b>ROOM WITH FUEL FIRE APPLIANCES</b>
3.6.2.1 Fire Separations Around Service Rooms
3.6.2.2 Service Rooms Under Exits
3.6.2.3 Service Equipment
3.6.2.6 Door Swing for Service Rooms
<b>SERVICE EQUIPMENT THROUGH FIRE SEPARATION</b>
3.1.9.1 Fire Stopping of Service Penetrations
<b>SERVICE ROOMS</b>
3.6.2.1 Fire Separations Around Service Rooms
3.6.2.2 Service Rooms under Exits
<b>SUITE TO SUITE SEPARATION</b>
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<b>SEPARATION BETWEEN MAJOR OCCUPANCIES</b>
3.1.3.1 Separation of Major Occupancies
<b>STORAGE ROOMS</b>
3.3.4.3 Storage Rooms
3.6.2.5 Combustible Refuse Storage
<b>STORAGE GARAGES</b>
3.3.5.6 Storage Garage Separation
<b>VERTICAL SERVICE SPACES</b>
3.3.5.6 Storage Garage Separation
<b>VERTICAL SERVICE SPACES</b>
3.1.8.3 Continuity of Fire Separations
3.1.9.1 Fire Stopping of Service Penetrations
3.5.3 Fire Separations
3.6.3.1 Fire Separations for Vertical Service Spaces
3.6.3.3 Linen and Refuse Chutes
<b>CLOSURES IN FIRE SEPARATIONS 3.1.8</b>
<b>DAMPERS</b>
3.1.8.7,8,9 Fire Dampers, Fire Dampers Waived, Installation of Fire Dampers

<b>DOORS</b>
3.1.8.4 Determination of Ratings
3.1.8.5 Installation of Closures
3.1.8.10 Twenty Minute Closures
3.1.8.11 Self-Closing Devices
<b>DOOR LATCHES</b>
3.1.8.13 Door Latches
<b>HOLD OPEN DEVICES</b>
3.1.8.12 Hold-Open Devices
<b>MAXIMUM OPENINGS PERMITTED IN FIRE SEPARATIONS</b>
3.1.8.6 Maximum Openings
<b>SELF CLOSING DEVICES</b>
3.1.8.11 Self Closing Devices
<b>WIRED GLASS AND GLASS BLOCK</b>
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3.1.8.14 Wired Glass and Glass Block
<b>MAXIMUM AREA OF GLASS IN EXITS AND FIREWALLS</b>
3.1.8.15-16 Temperature Rise Limits, Area Limits for Wired Glass and Glass Block

<b>SIZE AND OCCUPANCY REQUIREMENTS FOR FIRE SAFETY 3.2</b>
<b>BASEMENT FLOOR AND LOAD BEARING RATING</b>
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<b>BUILDING HEIGHT (NUMBER OF STOREYS) FIRST STOREY DEFINITION - MAX 2.0m ABOVE GROUND</b>
3.2.1.1 8 Storeys
<b>NUMBER OF STREETS BUILDING IS FACING WITHIN 15.0m (3.2.2.10)</b>
3.2.2.10 Fire Lanes Requirements
<b>BUILDING CLASSIFICATION (BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY 3.2.2.20-83)</b>
Classification Article - C Residential Construction Type - Non-Combustible Sprinklered - Yes
<b>RATINGS</b>
Floors
Roofs
Load Bearing
<b>SPRINKLER REQUIREMENTS</b>
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3.3.1.1 Separation of Suites
3.3.2 Assembly Occupancy
3.3.3 Care or Detention Occupancy
3.3.4 Residential Occupancy
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<b>CORRIDOR SEPARATION - PUBLIC</b>
3.3.1.4 Public Corridor Separations
<b>CORRIDOR SEPARATION - ASSEMBLY OCCUPANCY</b>
3.3.2.6 Corridors
<b>SUITE EGRESS</b>
3.3.1.5 Egress Doorways
<b>JANITORS ROOM RATING</b>
3.3.1.21 Fire Rating of 1 Hour
<b>STORAGE ROOM RATING</b>
3.3.4.3 Fire Rating of 1 Hour
<b>REPAIR GARAGE SEPARATION</b>
3.3.5.5 Fire Rating of 2 Hours
<b>STORAGE GARAGE SEPARATION</b>
3.3.5.6 Fire Rating of 1.5 Hours

<b>EGRESS AND EXIT REQUIREMENTS 3.3.3.4</b>
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3.3.1.9 1100mm Minimum Width
<b>ACCESS TO EXIT DIMENSIONS (CLEARANCE)</b>
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Corridor and Aisle Widths
3.3.1.9 1100mm minimum width
3.3.2.5 Aisle Seating (N/A)
3.3.3.3 Minimum of 1100mm wide
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3.3.1.9 (3) to 3.3.1.9 (6) Projections limited to 100mm into corridor
3.3.1.23 Obstructions
<b>CORRIDOR OBSTRUCTIONS IN EXITS</b>
3.4.3.3 Exit Width Reduction

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3.3.2.7 Doors
3.4.6.15 Door Release Hardware
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3.3.1.12 Sliding Doors
3.4.6.13 Sliding Doors
<b>INTERCONNECTED FLOOR SPACE (3.2.8) EXCEPTIONS TO SPECIAL PROTECTION</b>
3.2.8.2 Exceptions to special protection
<b>CONSTRUCTION REQUIREMENTS</b>
2.2.8.3 Construction Requirements

<b>SPRINKLERS</b>
2.2.8.4 Building containing interconnected floor space shall be sprinklered throughout
<b>VESTIBULES</b>
3.2.8.5 Vestibules
<b>DRAFT STOPS</b>
3.2.8.7 Draft Stops

<b>DOOR SWING</b>
3.3.1.11 Door Swing
3.4.5.11 Direction of Door Swing
<b>DOOR WIDTH</b>
3.3.3.4 Doorway Width
3.4.3 Width and Length of Exits
3.4.6.10 Doors
<b>ELECTROMAGNETIC LOCKS</b>
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<b>TRANSPARENT DOORS AND PANELS</b>
3.3.1.19 Transparent Doors and Panels
3.4.1.8 Transparent Doors and Panels
<b>WIRED GLASS IN DOORS</b>
3.1.8.15 / 16 Temperature Rise Limit for Door / Area Limits for Wired Glass & Blocks
3.1.8.17 Temperature Rise and Area Limits Waived
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3.2.7.3 Emergency Lighting
3.2.7.4 Emergency Power for Lighting
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3.4.3.2 Exit Width
<b>EXIT DIMENSIONS (HEADROOM CLEARANCE)</b>
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<b>LOCATION OF EXITS FROM FLOOR AREAS</b>
3.4.2.3 Distance between Exits
3.4.2.5 Location of Exits

<b>EXIT CAPACITY</b>
3.4.3.2 Exit Width
<b>EXIT THROUGH LOBBY</b>
3.4.4.2 Exits Through Lobbies
<b>EXIT SIGNAGE</b>
3.4.5 Exit Signs
<b>GUARDS</b>
3.3.2.9 Guards
3.3.1.1.8 Guards
3.4.6.5 Guards
<b>HANDRAILS</b>
3.4.6.4 Handrails
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3.2.7.1 Minimum Lighting Requirements
<b>OBSTRUCTIONS TO EGRESS</b>
3.3.1.23 Obstructions
3.4.3.3 Exit Width Reduction
<b>OCCUPANT LOAD</b>
3.1.17 Occupant Load (3.1.17.1) 2 persons per sleeping room in a dwelling unit
<b>RAMPS</b>
3.3.1.14 Ramps and Stairways
3.4.1.4 Public Corridor Separations
3.4.6.7 Treads, Risers and Tactile Warning
<b>FIXED SEATS, ASSEMBLY OCCUPANCY</b>
3.3.2.4 Fixed Seats
3.3.2.8 Fixed Bench Type Seats Without Arms

<b>STAIR LANDINGS AND STAIR FLIGHTS</b>
3.4.6.3 Landings and Maximum Vertical Rise of Stair Flights
<b>STAIR TREADS AND RISERS</b>
3.3.1.14 Ramps and Stairways
3.3.1.16 Curved or Spiral Stairs
3.3.2.14 Risers for Stairs
3.4.6.7 Treads, Risers and Tactile Warning

<b>STAIR WIDTH</b>
3.4.3.1 Exit Width Based on Occupant Load
<b>TRAVEL DISTANCE TO:</b>
3.3.1.5 Egress Doorways (Table 3.3.1.5.B)
3.3.1.6 Egress Travel Distance (refer to 3.4.2.5 for distances)
3.4.2.3 Distance between Exits
3.4.2.5 Location of Exits

<b>INTERIOR FINISH</b>
<b>ATTACHMENT TO WALLS AND PARTITIONS</b>
3.1.5.6 Nailing Elements
<b>ELECTRICAL AND COMMUNICATIONS CABLE RATINGS</b>
3.6.1.1 Scope
<b>LIMITS IN LOBBIES USED AS EXITS</b>
3.4.4.2 Exits Through Lobbies

<b>LIMITS IN LOBBIES USED AS EXITS</b>
3.4.4.2 Exits Through Lobbies
<b>INTERIOR FINISH, FLAME SPREAD</b>
3.1.5.10 Combustible Interior Finishes
3.1.12 Flame Spread Rating and Smoke Developed Classification
3.1.13 Interior Finish
<b>PLASTIC PIPE AND DUCTS</b>
3.1.9.4 Combustible Piping Penetrations

<b>BARRIER FREE DESIGN FOR PERSONS WITH DISABILITIES</b>
<b>ACCESS ROUTES WITHIN BUILDING</b>
3.8.1.3 Access Routes
<b>PARKING AREAS</b>
3.8.3.4 Parking Stalls for Persons with Disabilities
<b>AREAS REQUIRING BARRIER FREE PATH OF TRAVEL</b>
3.8.2.1 Application and Exemptions
3.8.2.3 Specific Requirements
3.8.2.27 Apartment Buildings and Condominiums
<b>ASSISTIVE LIVING DEVICES</b>
3.8.3.7 Assistive Living Devices
<b>BUILDING ENTRANCES</b>
3.8.3.5 Main Entrances
<b>CONTROLS</b>
3.8.3.21 Controls
<b>DOORS AND DOORWAYS</b>
3.8.3.5 Main Entrances
3.8.3.13 Door Numbers
<b>DRINKING FOUNTAINS</b>
3.8.3.17 Drinking Fountains
<b>EXTERIOR WALKS, PARKING AND DRIVEWAYS</b>
3.8.3.2 Parking and Driveways

<b>PUBLIC COUNTERS</b>
3.8.3.14 Public Counters
<b>RAMPS</b>
3.8.3.3 Ramps
<b>SIGNS</b>
3.8.3.12 Directional Signs
<b>SPACES IN SEATING AREAS</b>
3.8.3.6 Seating Areas
<b>TELEPHONE SHELVES AND COUNTERS</b>
3.8.3.18 Counters
3.8.3.16 Public Telephones
<b>WASHROOMS</b>
3.8.2.3 Location and Washrooms
<b>STALLS AND WATER CLOSETS</b>
3.8.3.8
3.8.3.9
<b>URINALS</b>
3.8.3.10
<b>LAVATORIES</b>
3.8.3.11
<b>UNIVERSAL TOILET ROOMS</b>
3.8.3.12

<b>FIRE ALARM SYSTEMS</b>
<b>DETERMINE THE NEED</b>
3.2.4.1 Determination of Requirement for a Fire Alarm System
Full Fire Alarm System Required & Supplied

<b>REQUIREMENT FOR DEVICES</b>
3.2.4.10-12 Fire Detectors, Smoke Detectors, Prevention of Smoke Circulation
/ 15-17 System Monitoring, Manual Stations, Alert and Alarm Signals
/ 19-21 Visual Signals, Smoke Alarms, Voice Communications Systems
<b>HOSE CABINET DESIGN</b>
3.2.5.10/ .11 Hose Connections, Hose Stations
<b>HOSE CABINET LOCATION</b>
3.2.5.11 Hose Stations
<b>STANDPIPE SYSTEM DESIGN</b>
3.2.5.8 Standpipe System Design
<b>PORTABLE FIRE EXTINGUISHERS</b>
3.2.5.17 Portable Fire Extinguishers. For Types Required and Locations see BC Fire Code
<b>HEALTH REQUIREMENTS</b>
3.7.2.2 Water Closets
3.7.2.3 Lavatories

<b>EXTERIOR WALL ASSEMBLY SCHEDULE</b>
<b>EXTERIOR WALL ABOVE GRADE:</b>
• EXTERIOR FINISH - CLADDING TBD
• 50MM (R10) RIGID INSULATION ON
• 100 MM Z-GIRTS
• AIR BARRIER MEMBRANE
• 15.9 MM EXTERIOR SHEATHING
• 152MM STEEL STUDS CW
• RSI 3.5 (R20) BATT INSULATION
• VAPOUR BARRIER
• GYPSUM WALL BOARD
• PAINT FINISH

<b>FOUNDATION WALL BELOW GRADE:</b>
• GRAVEL
• DRAINAGE LAYER
• BENTONITE LAYER (IF REQUIRED)
• FOUNDATION WATERPROOFING
• CONCRETE FOUNDATION WALL

THE USE OF HIGHLY CONDUCTIVE METAL FRAMING IS OFFSET THROUGH THE USE OF A CONTINUOUS LAYER OF RIGID INSULATION OVER THE MAIN MEMBERS. FOUNDATION WALLS INCLUDE THE CONTINUATION OF RIGID INSULATION FROM THE ASSEMBLY ABOVE TO 1220MM (4 FEET) BELOW GRADE.

<b>OPTION #1 - ROOFS AND DECKS</b>
• BALLAST - GRAVEL, DECKING, OR CONCRETE PAVERS
• FILTER CLOTH
• DRAINAGE MAT
• PROTECTION BOARD
• 150MM (R 30) RIGID INSULATION SLOPED TO DRAIN
• WATERPROOF PROOFING MEMBRANE (AIR/VAPOUR BARRIER)
• CONCRETE STRUCTURE





VIEW FROM BELLEVILLE STREET



VIEW FROM INNER HARBOR



VIEW FROM QUEBEC STREET



VIEW FROM PENDRAY & QUEBEC STREET

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

no.	issued for	date
1	DEVELOPMENT PERMIT	OCT 23/2012
2	DEVELOPMENT PERMIT	MAR 16/2020
3	REISSUED DEVELOPMENT PERMIT	DEC 03/2020



alan lowe architect inc.



drawing title	
PERSPECTIVES	
A0.02	
drawn	scale
DL	AS SHOWN
checked	project no.
DL	20.118



MARCH SHADOW STUDIES



MARCH 21ST 2011 - 10.00am

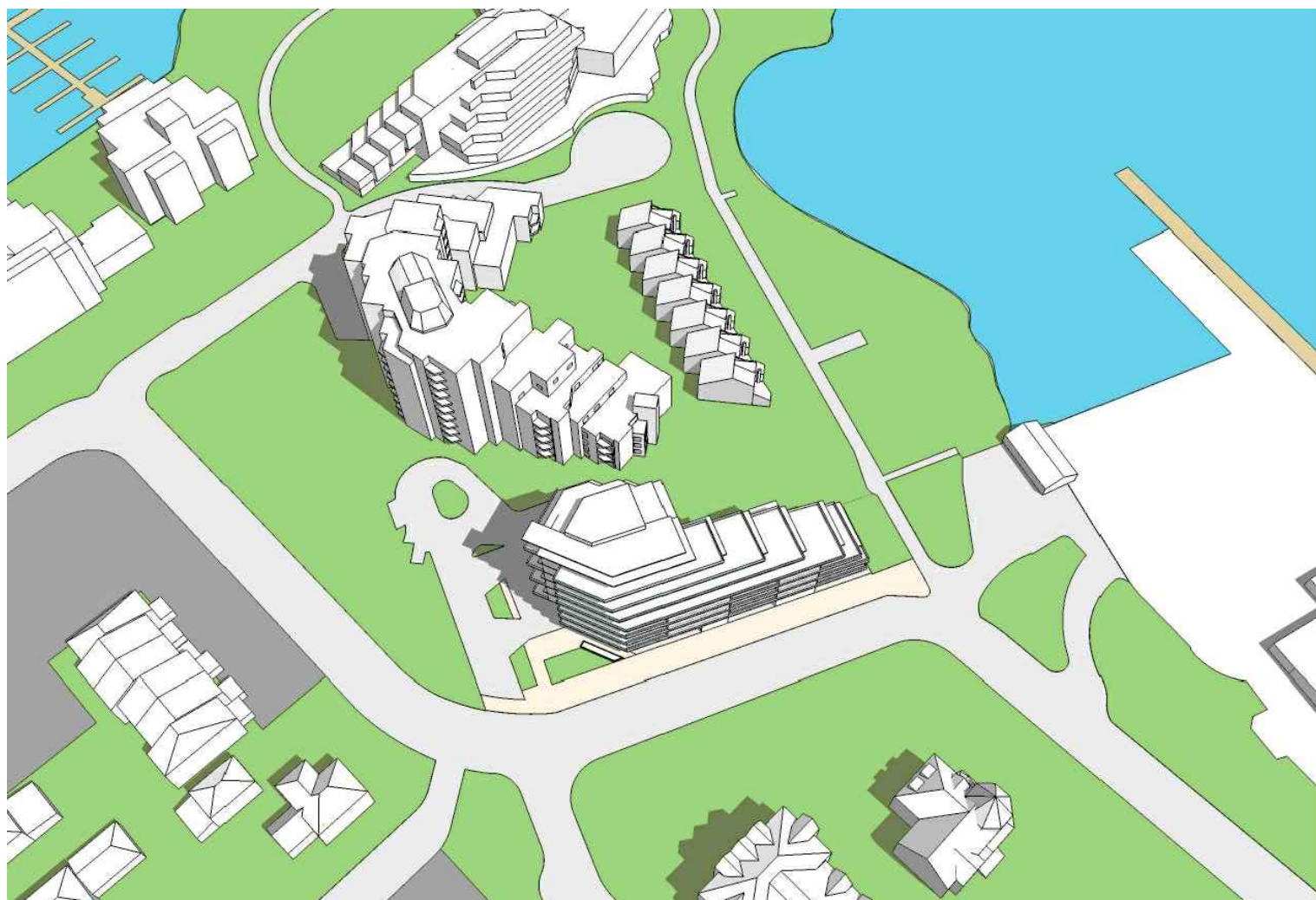


MARCH 21ST 2011 - 12.00pm

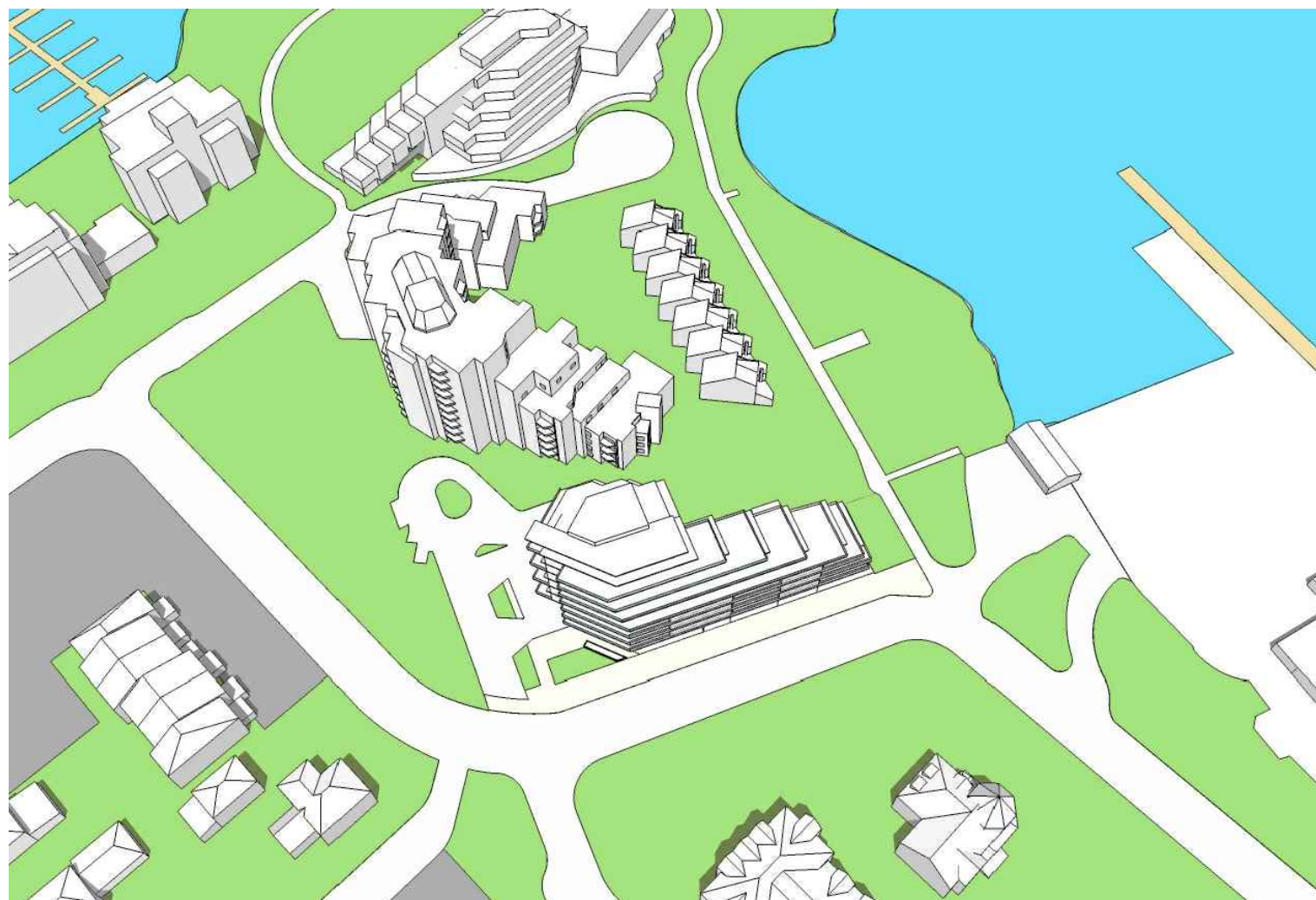


MARCH 21ST 2011 - 2.00pm

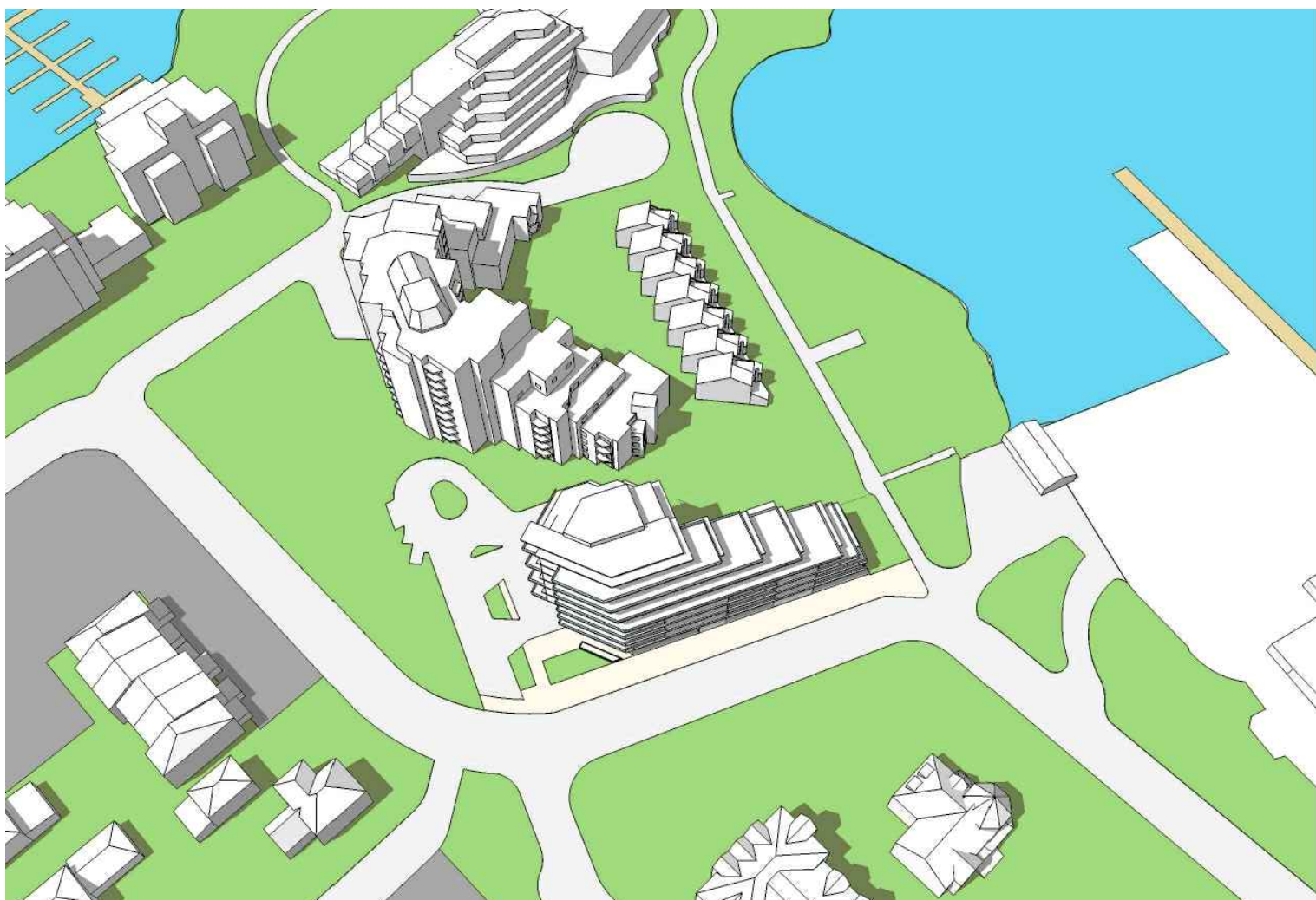
JUNE SHADOW STUDIES



JUNE 21ST 2011 - 10.00am



JUNE 21ST 2011 - 12.00pm

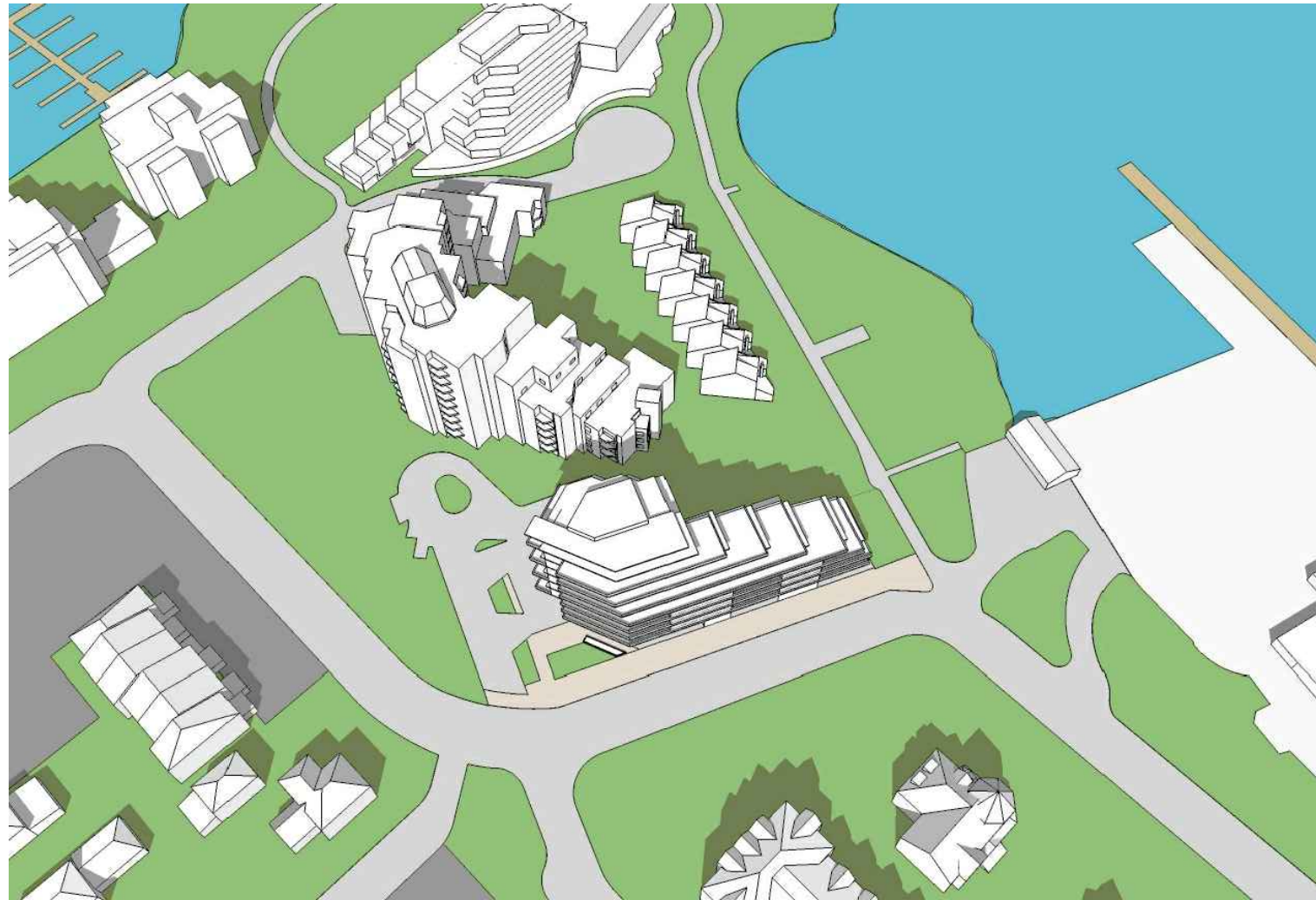


JUNE 21ST 2011 - 2.00pm

SEPTEMBER SHADOW STUDIES



SEPTEMBER 21ST 2011 - 10.00am



SEPTEMBER 21ST 2011 - 12.00pm



SEPTEMBER 21ST 2011 - 2.00pm

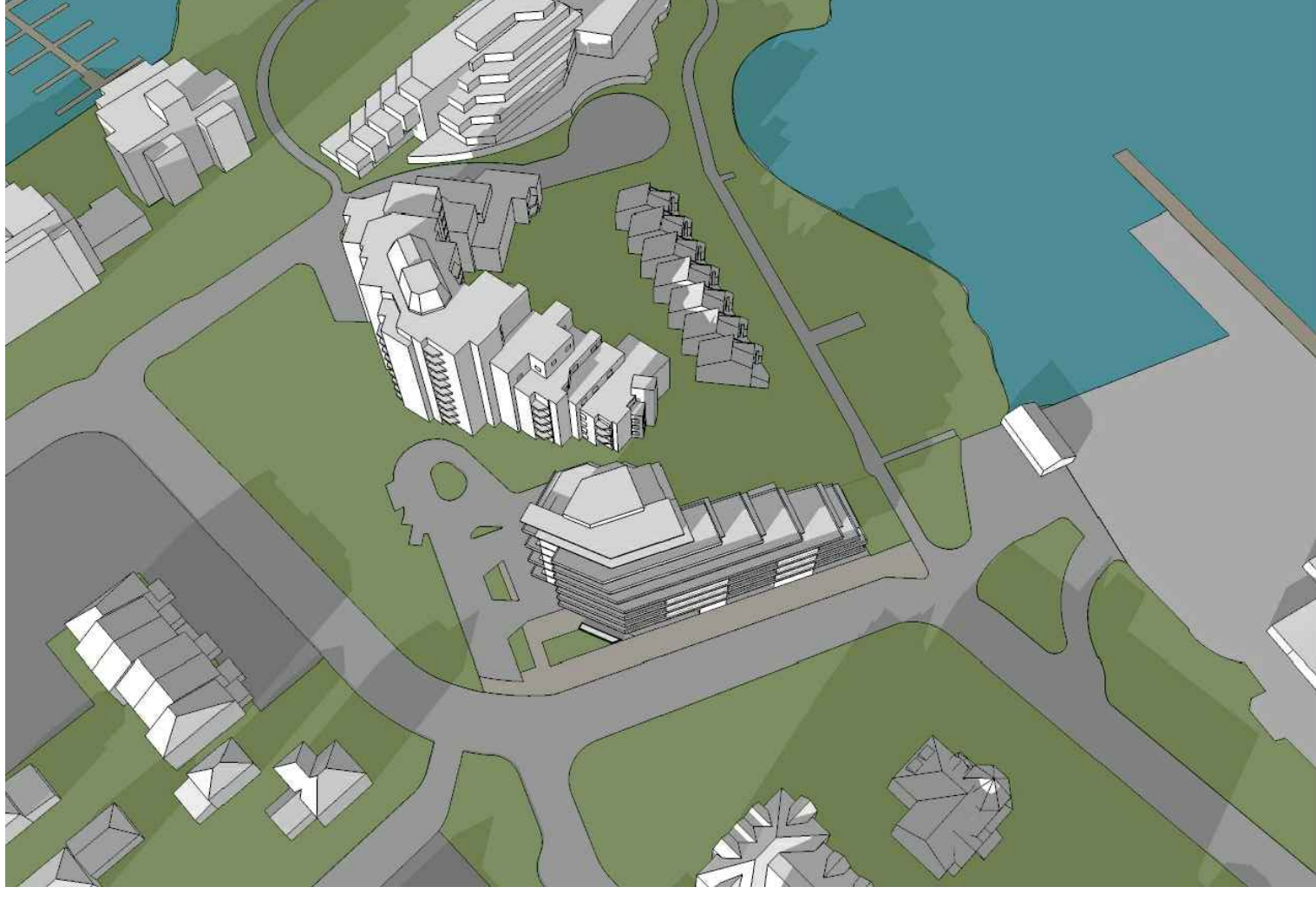
DECEMBER SHADOW STUDIES



DECEMBER 21ST 2011 - 10.00am



DECEMBER 21ST 2011 - 12.00pm



DECEMBER 21ST 2011 - 2.00pm

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

no.	issued for	date
1	DEVELOPMENT PERMIT	OCT 23/2012
2	DEVELOPMENT PERMIT	MAR 16/2020
3	REISSUED DEVELOPMENT PERMIT	DEC 03/2020



alan lowe architect inc.



drawing title	
SUN & SHADOW STUDIES	
A0.03	
drawn DS	scale AS SHOWN
checked DL	project no. 20.118



[illegible]

mit

## Consultant

alan **lowe** architect inc.



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Drawing title

### AVERAGE GRADE KEY PLAN

A0.04

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scale

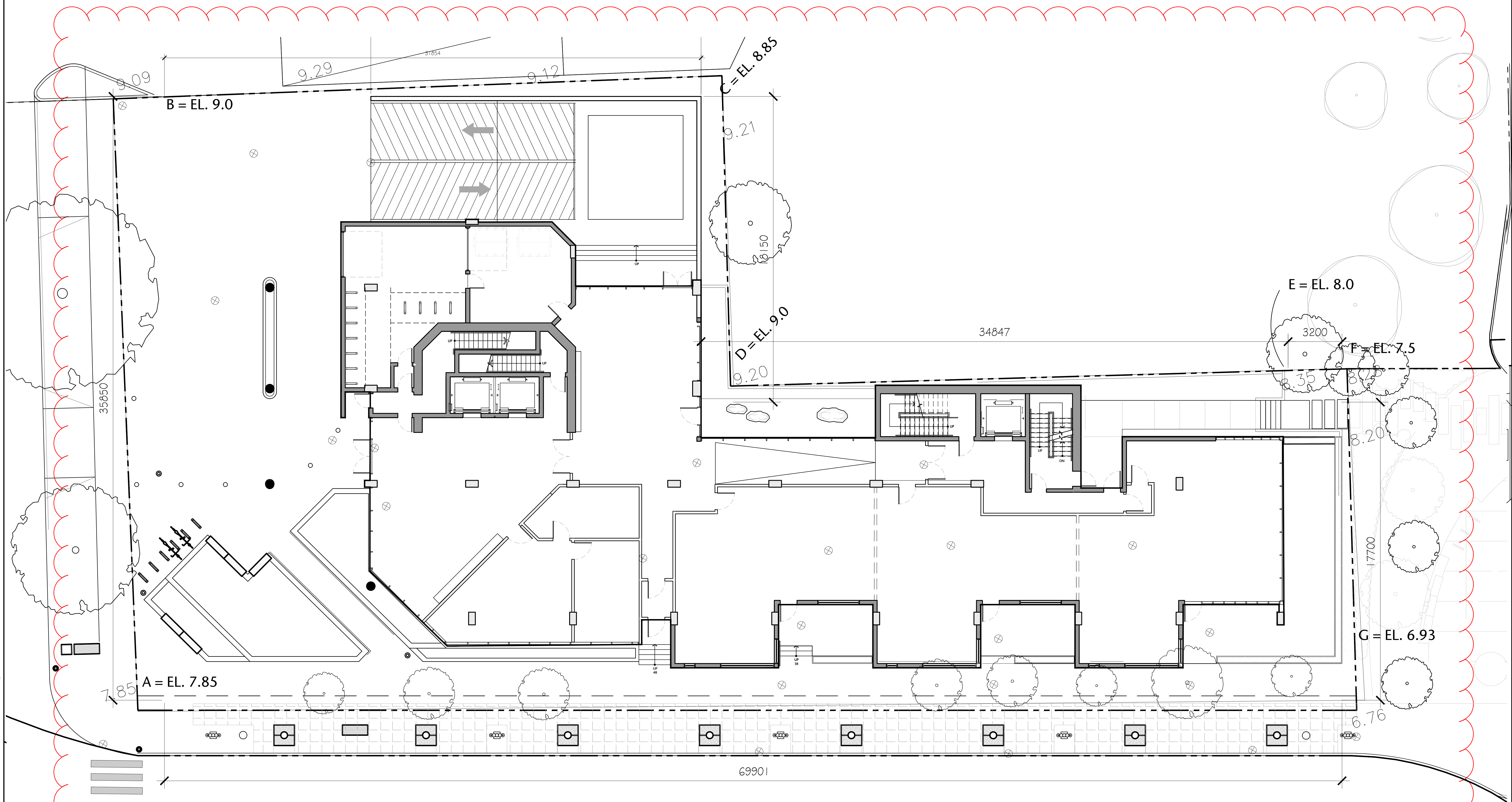
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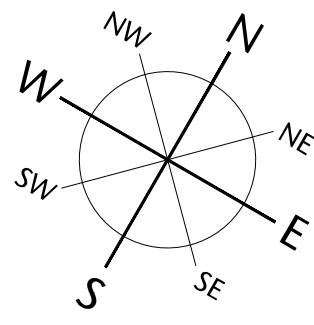
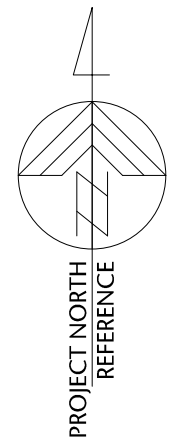
P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\I20 AutoCAD\I22 Current\Sheets\A0.00\20.118-09-151-A0.04 AVERAGE GRADE KEY PLAN.dwg 2020/12/02 5:30 PM Ilona Ciunkiewicz



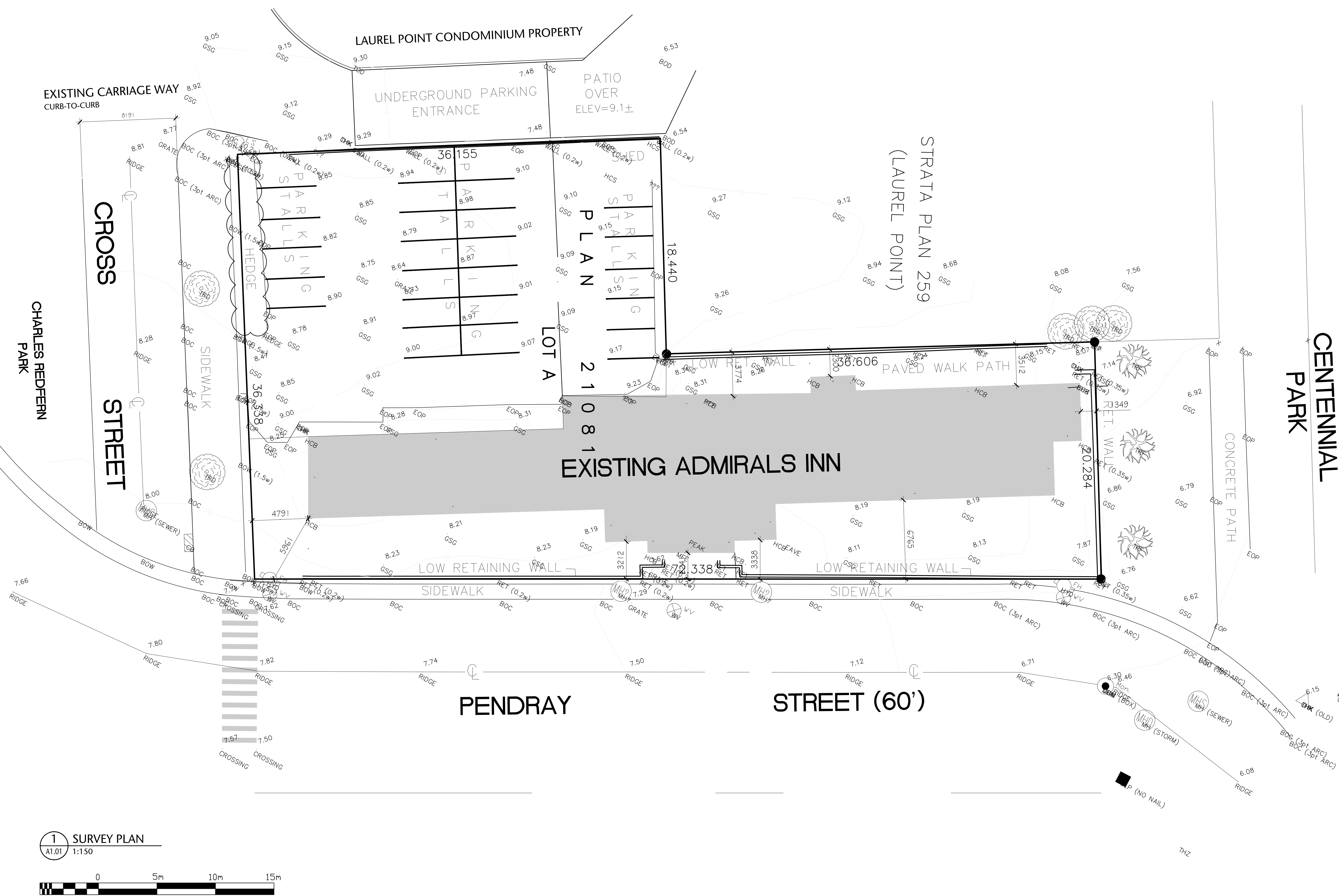
1 AVERAGE GRADE KEY PLAN  
A0.04 1:100

Average Grade Calculation:			
Grade Points	Average of Points	Distance between Points	Totals
A&B	$7.85+9/2 = 8.425$	35.850m	302.036
B&C	$9+8.85/2 = 8.925$	31.854m	284.297
C&D	$8.85+9/2 = 8.925$	18.150m	161.989
D&E	$9+8/2 = 8.5$	34.847m	296.199
E&F	$8+5.5/2 = 7.75$	3.2m	24.8
F&G	$7+6.93/2 = 7.215$	17.7m	127.705
G&A	$6.93+7.85/2 = 7.39$	69.901m	516.568
<b>Totals:</b>		<b>211.502m</b>	<b>1,713.594</b>
Grade Calculation: $1,713.594/211.502 = 8.102m$			





COMPASS NORTH



1 SURVEY PLAN  
A1.01 1:150



257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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	permit
	consultant

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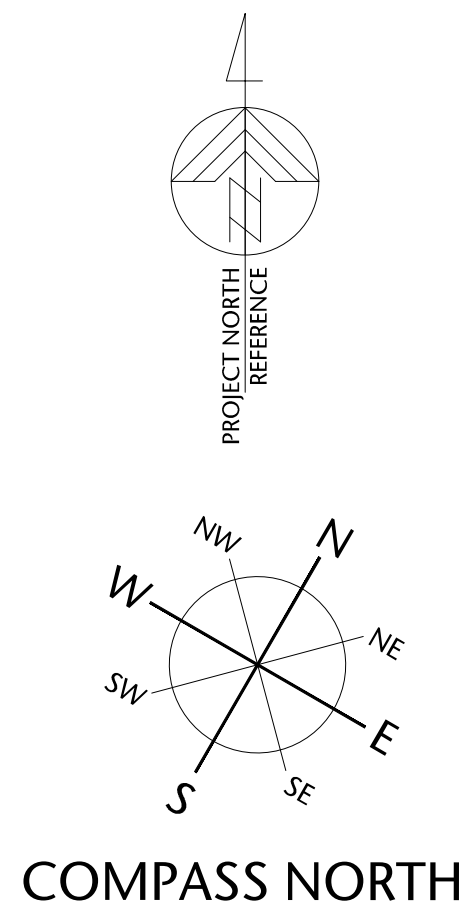


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drawing title	
SURVEY PLAN	
sheet	
A1.01	
drawn	scale
NA	AS SHOWN
checked	project no.
DL	20.118



P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\A1.00\20.118.09-151-A1.02 OVERALL CONTEXT PLAN.dwg 2020/12/02 6:10 PM Iona Crunkiewicz



1 OVERALL CONTEXT PLAN  
A1.02 NTS

0 10 20 30 40m  
1:750

## 257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

no.	issued for	date
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OVERALL CONTEXT PLAN

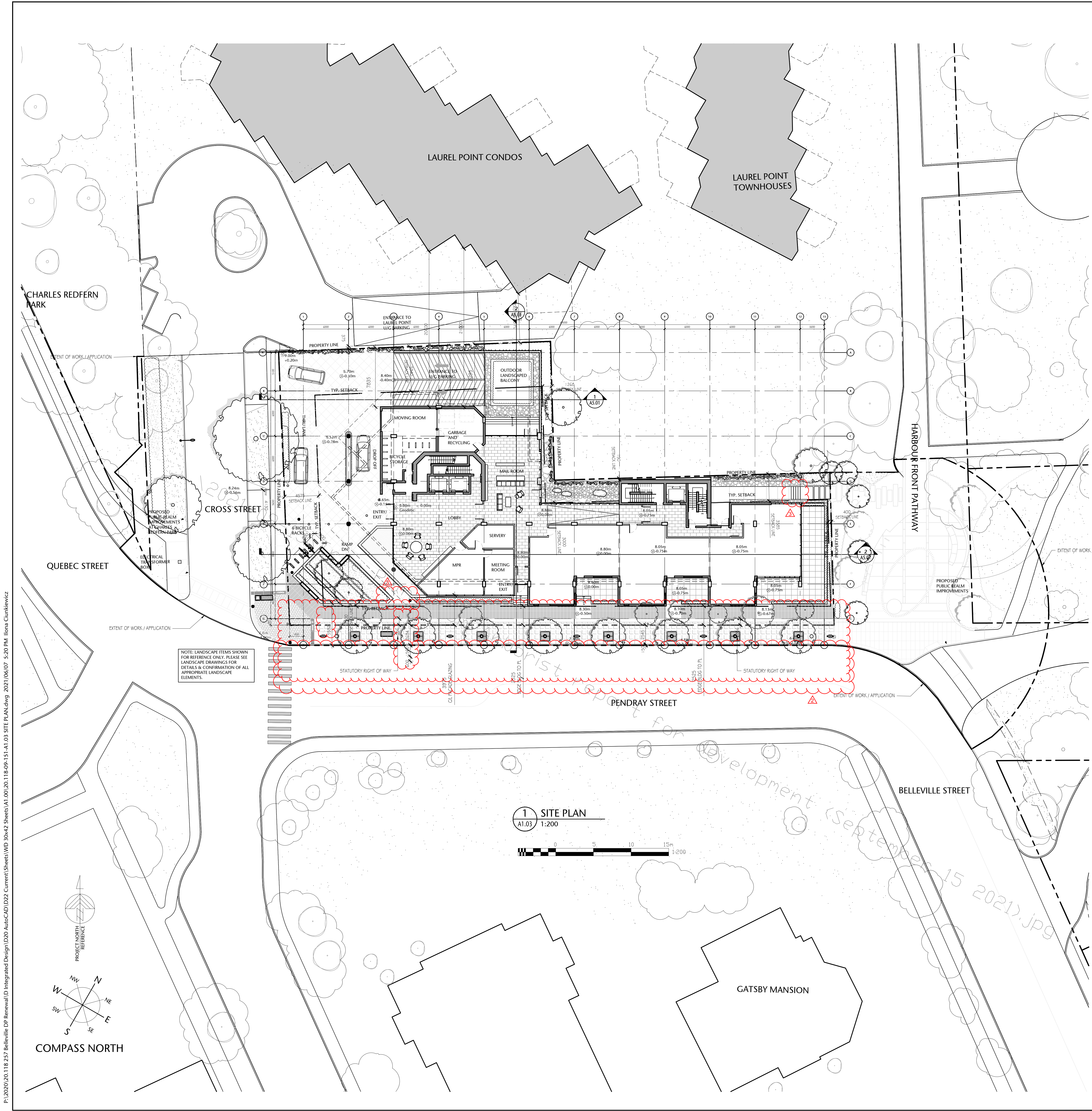
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drawn	scale
POR	AS SHOWN
checked	project no.
DL	20.118

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P:\2020\20.118.257 Belleville DP Renewal\DP Renewal\1D Integrated Design\20 AutoCAD\022 Current\Sheets\A1.00.20.118.09-151-A1.03 SITE PLAN.dwg 2021/06/07 5:20 PM Iona Cunliffe



<b>MUNICIPAL ADDRESS</b>
257 BELLEVILLE STREET, VICTORIA, BC
<b>LEGAL ADDRESS</b>
LOT A, VICTORIA CITY, PLAN 21081
<b>LAND USE DESCRIPTION</b>
EXISTING: R-65 PROPOSED: R-65

PROJECT STATISTICS			
	Existing Zoning	Existing Building	Proposal
Zoning	R-65		R-65
Site Area (m²)	2000	2053.88	2053.88
Site Coverage (%)	45%	30%	53%
Building Area			1092.56
Main Floor (m²)		619.15	870.14
Gross Floor Area (above Grade excl. Balconies, incl. mech.)			6153.22
Floor Space Ratio	3.00:1	0.90	2.995
Building Height (m)	30	15	32 (incl. mechanical penthouse)
Number of Floors	N/A	3	9
Setbacks (m)			
1. "North Elevation"	0.0		
CL 1-mid 6/7		21.86	5.94
CL mid 6/7-8		3.64	3.00
CL 8-10		2.30	0.19
CL 10-13		3.51	3.585
2. "South Elevation"	2.5	2.23	2.50
3. "West Elevation"	4.5	4.8	4.575
4. "East Elevation"	0.4	1.34	0.40
CL D-G			
CL A-D		1.26	
Note: Existing Setbacks to relative proposed Gridlines			
Open Space (%)	40%	31.7%	28.5%
Parking Stalls	40	25	78
Bicycle Parking	1.25/unit		6 @ Entry & 71 @ Main & Parkade Level

Net to Gross Ratio	1.28
Parkade Level P1 Area	1846 m²
Parkade Level P2 Area	1846 m²
Number of Floors above Grade	9 incl. Roof Top Mechanical (Laurel Point - 11)
Total Height @ Top of Parapet (excl. Mechanical Room)	30000mm (Laurel Point - 32000mm)
Floor to Floor Height (Typ.)	3350mm
Podium Floor to Floor	4500mm
Typ. Slab thickness	225mm
Zero Elevation	8.80m (center of Cross Street near Lobby)
Number of Units	32-57 (Max. 57 units)
Parking stall count	Min 40 required 78 stalls provided / including 6 Handicap and 6 Visitor U/G

<b>GENERAL NOTES REGARDING UNITS:</b> Building makes use of an open plan concept. Unit sizes and types will vary depending on end-user's unit configuration. Number and type of unit will vary. Below is a sample configuration of the building.		
Typical Unit Configuration	Avg. No.	Avg. Area/unit (m²)
1 BEDROOM	5	110
1 Bedroom & Den	15	125
2 BEDROOM	9	195
Ground Oriented Access	3	115

<b>BUILDING AREA CALCULATION</b>
BUILDING GROSS AREAS MEASURED TO THE INSIDE FACE OF THE EXTERIOR WALLS
<b>OPEN SITE SPACE CALCULATION</b>
CALCULATION BASED ON CITY OF VICTORIA "SCHEDULE A" DEFINITION OF OPEN SITE SPACE.
OPEN SITE SPACE MEANS THAT PORTION OF THE LOT: A) WHICH FROM THE SURFACE OF THE LOT IN A VERTICAL COLUMN UPWARD IS NOT OCCUPIED OR OBSTRUCTED BY THE BUILDING OR ITS PARTS EXCEPT 1) ACCESSORY GARDEN STRUCTURE 2) BALCONY OR ROOF PROJECTION B) WHICH IS GRADED AND LANDSCAPED

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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4	REISSUED DEVELOPMENT PERMIT	DEC 03/2020
5	REISSUED DEVELOPMENT PERMIT	JUN 07/2021
6	REISSUED DEVELOPMENT PERMIT	DEC 06/2021
7	REISSUED DEVELOPMENT PERMIT	APR 11/2022

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permit

consultant

alan lowe architect inc.

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SITE CONTEXT PLAN & DATA SHEET

sheet

A1.03

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DL	20.118

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VICTORIA, BRITISH COLUMBIA

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4	REISSUED DEVELOPMENT PERMIT	JUN 07/2021
5	REISSUED DEVELOPMENT PERMIT	DEC 06/2021



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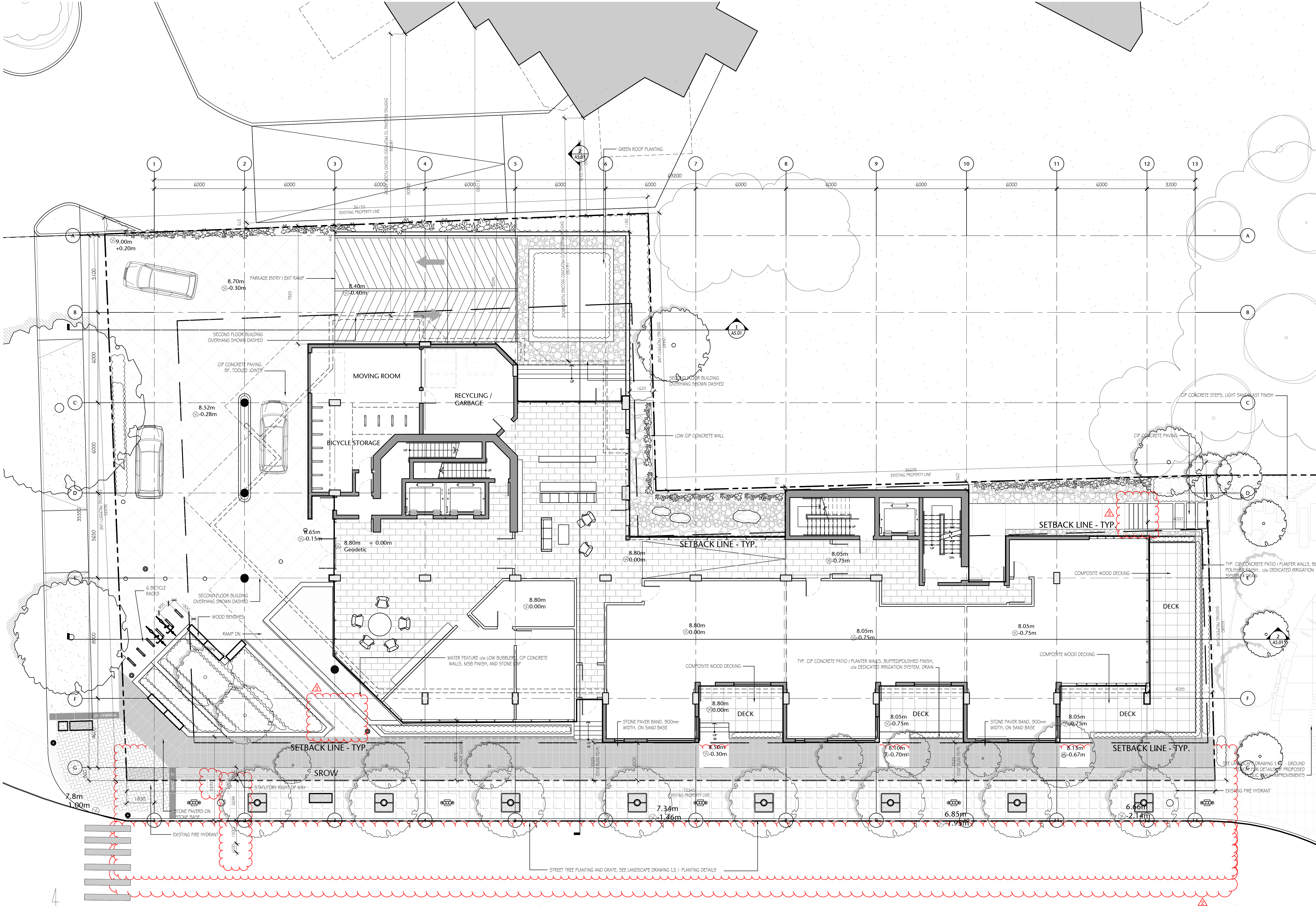


Urban Design Architecture Interior Design

DETAILED SITE PLAN

A1.04

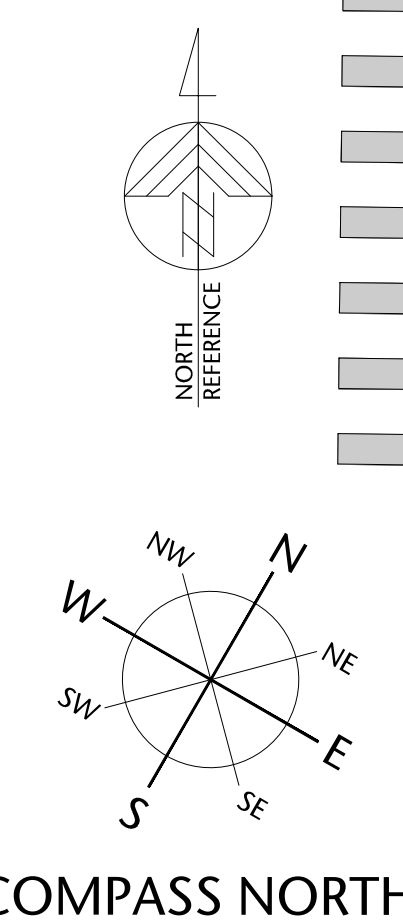
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POR	AS SHOWN
checked	project no.
DL	20.118



NOTE: LANDSCAPE ITEMS SHOWN FOR REFERENCE ONLY. PLEASE SEE LANDSCAPE DRAWINGS FOR DETAILS & CONFIRMATION OF ALL APPROPRIATE LANDSCAPE ELEMENTS.

NOTE: FOR TYPICAL LANDSCAPE FINISHES & GRADING, SEE LANDSCAPE DRAWINGS

SCHEDULE A
STATUTORY RIGHT OF WAY SHOWN HATCHED



1 DETAILED SITE PLAN  
A1.04 1:150





1 QUEBEC STREET LOOKING EAST DOWN PENDRAY STREET  
NTS

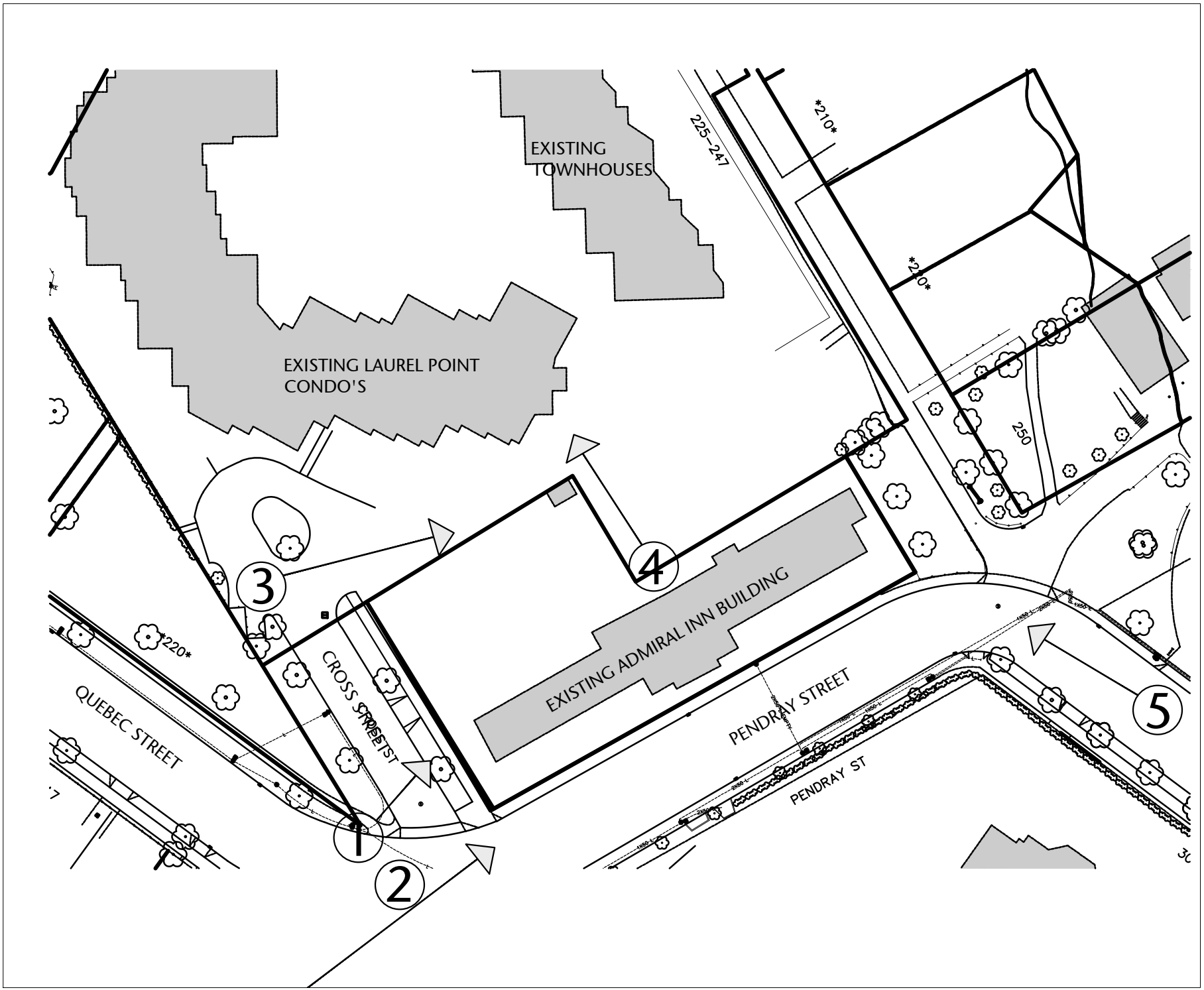


PHOTO LOCATION PLAN  
NTS



2 PENDRAY STREET LOOKING NORTH - EXISTING ADMIRAL'S INN BUILDING  
NTS



3 VIEW LOOKING SOUTH DOWN CROSS STREET  
NTS



4 LOOKING NORTH AT ADJACENT LAUREL POINT CONDO'S  
NTS



5 VIEW LOOKING NORTH UP BELLEVILLE STREET - EXISTING ADMIRAL'S INN BUILDING  
NTS

## 257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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drawing title

SITE PHOTOS

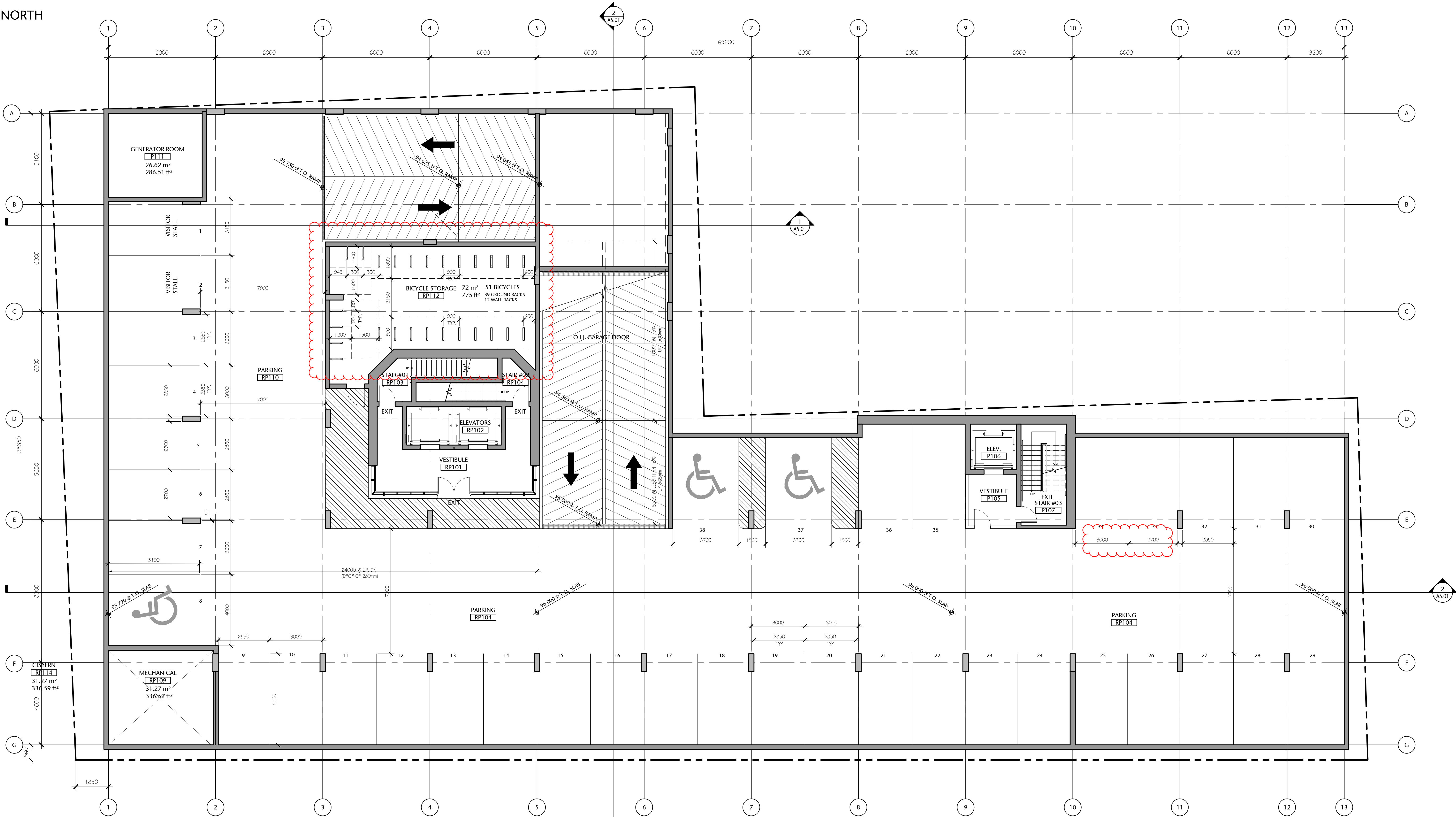
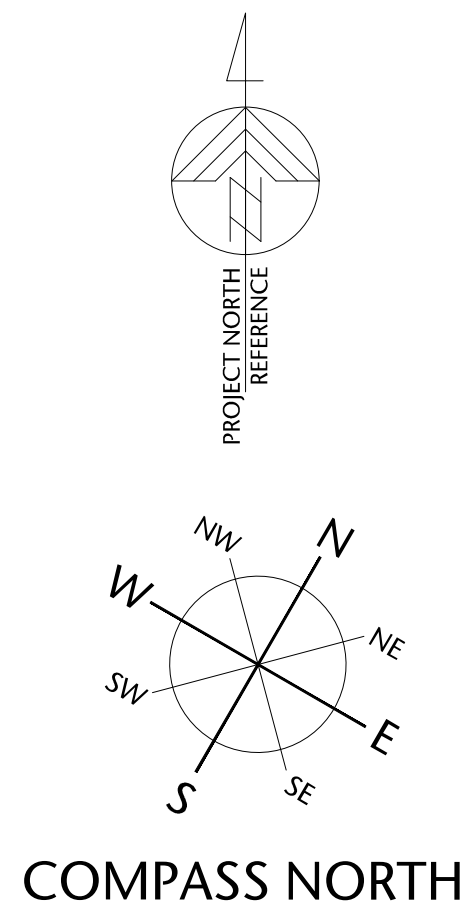
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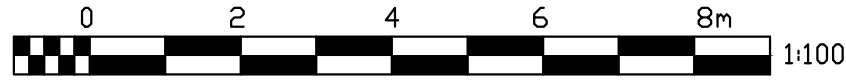
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NA	NTS
checked	project no.
DL	20.118



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1 PARKADE LEVEL P1  
A2.01  
1:100



**Parkade Level P1 General Notes:**

1. PARKING STALL COUNT: 38 STALLS (40 INCLUDES 3 HC STALLS & 2 VISITOR STALLS)
2. TYPICAL STALL DIMENSION, 3m x 5.1m WITH A 7m DRIVE AISLE.
3. MECHANICAL, ELECTRICAL ROOM REQUIREMENTS TO BE CONFIRMED.

257 BELLEVILLE  
STREET

VICTORIA, BRITISH COLUMBIA

no.	issued for	date
1	DEVELOPMENT PERMIT	OCT 23/2012
2	DP ADDITIONAL ITEMS	DEC 05/2012
3	DP ADDITIONAL ITEMS	DEC 12/2012
4	DEVELOPMENT PERMIT	MAR 16/2020
5	REISSUED DEVELOPMENT PERMIT	DEC 03/2020



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drawing title  
PARKADE LEVEL P1

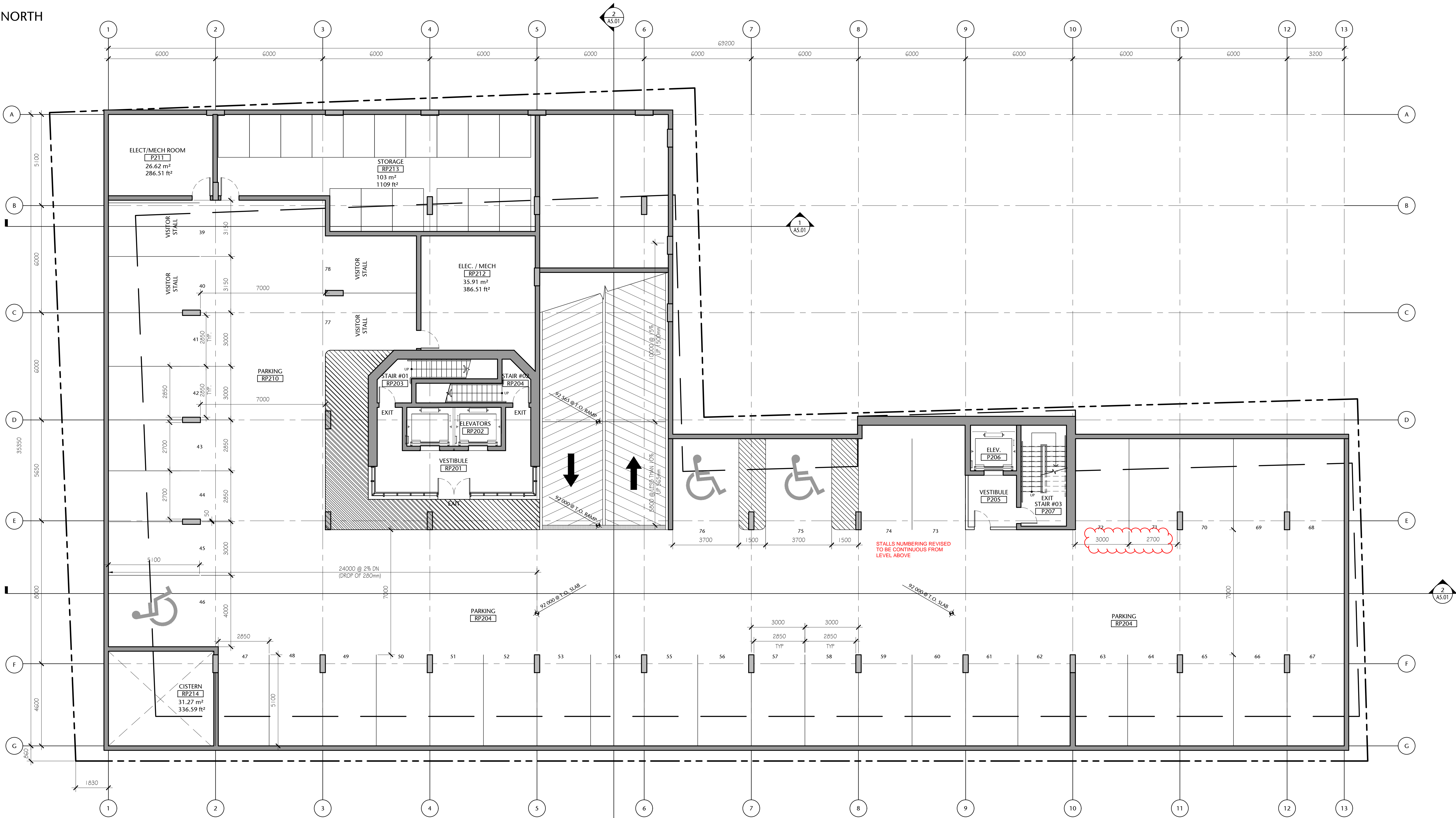
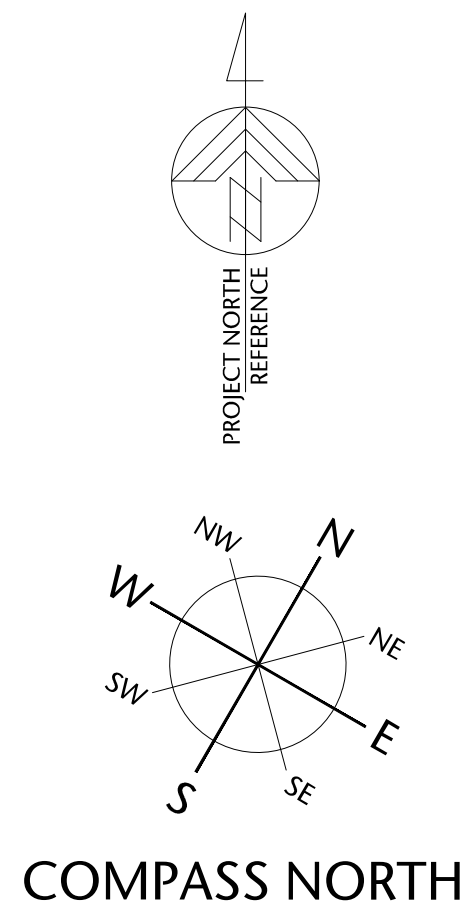
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POR	AS SHOWN
checked	project no.
DL	20.118

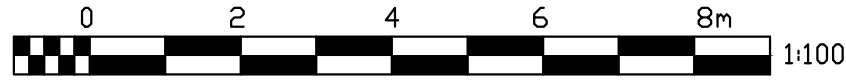
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1 PARKADE LEVEL P2  
A2.01B 1:100



Parkade Level P2 General Notes:

1. PARKING STALL COUNT: 40 STALLS (40 INCLUDES 3 HC STALLS & 4 VISITOR STALLS)
2. TYPICAL STALL DIMENSION, 3m x 5.1m WITH A 7m DRIVE AISLE.
3. TENANT STORAGE AS SHOWN. MECHANICAL, ELECTRICAL ROOM REQUIREMENTS TO BE CONFIRMED.

257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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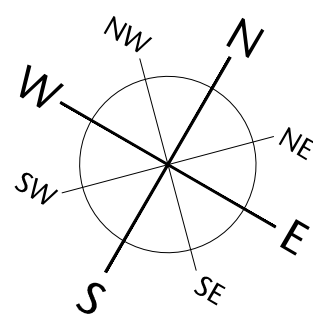
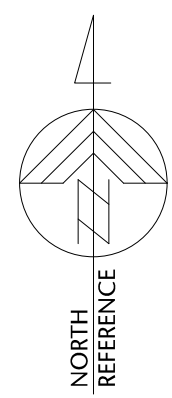
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A2.01B

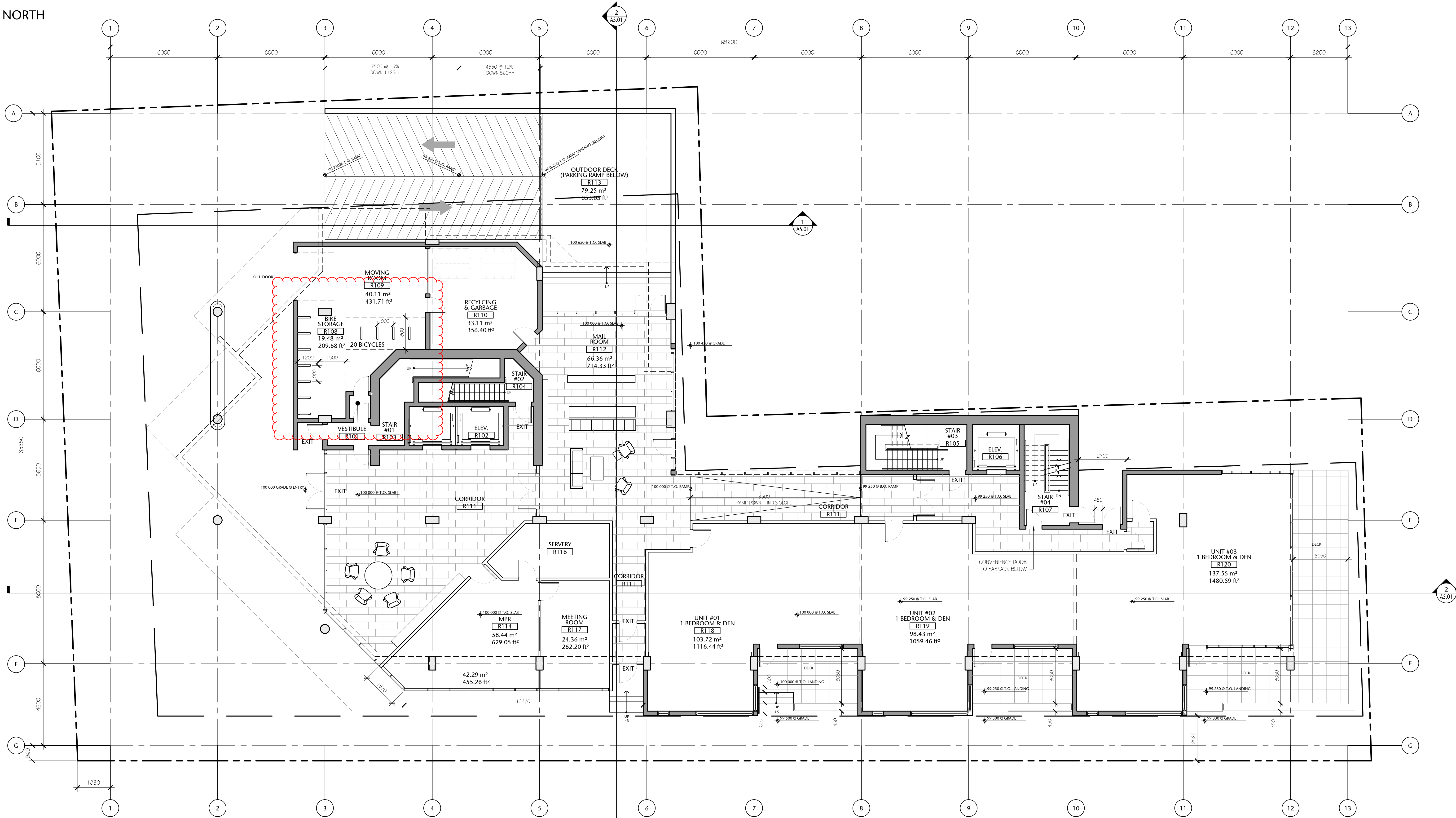
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COMPASS NORTH



Main Floor Gross Area:  
870.14 sq. mts. (9366.10 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 MAIN FLOOR PLAN  
A2.02 1:100



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257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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MAIN FLOOR PLAN

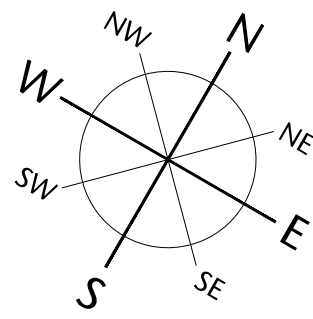
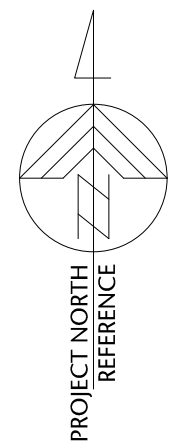
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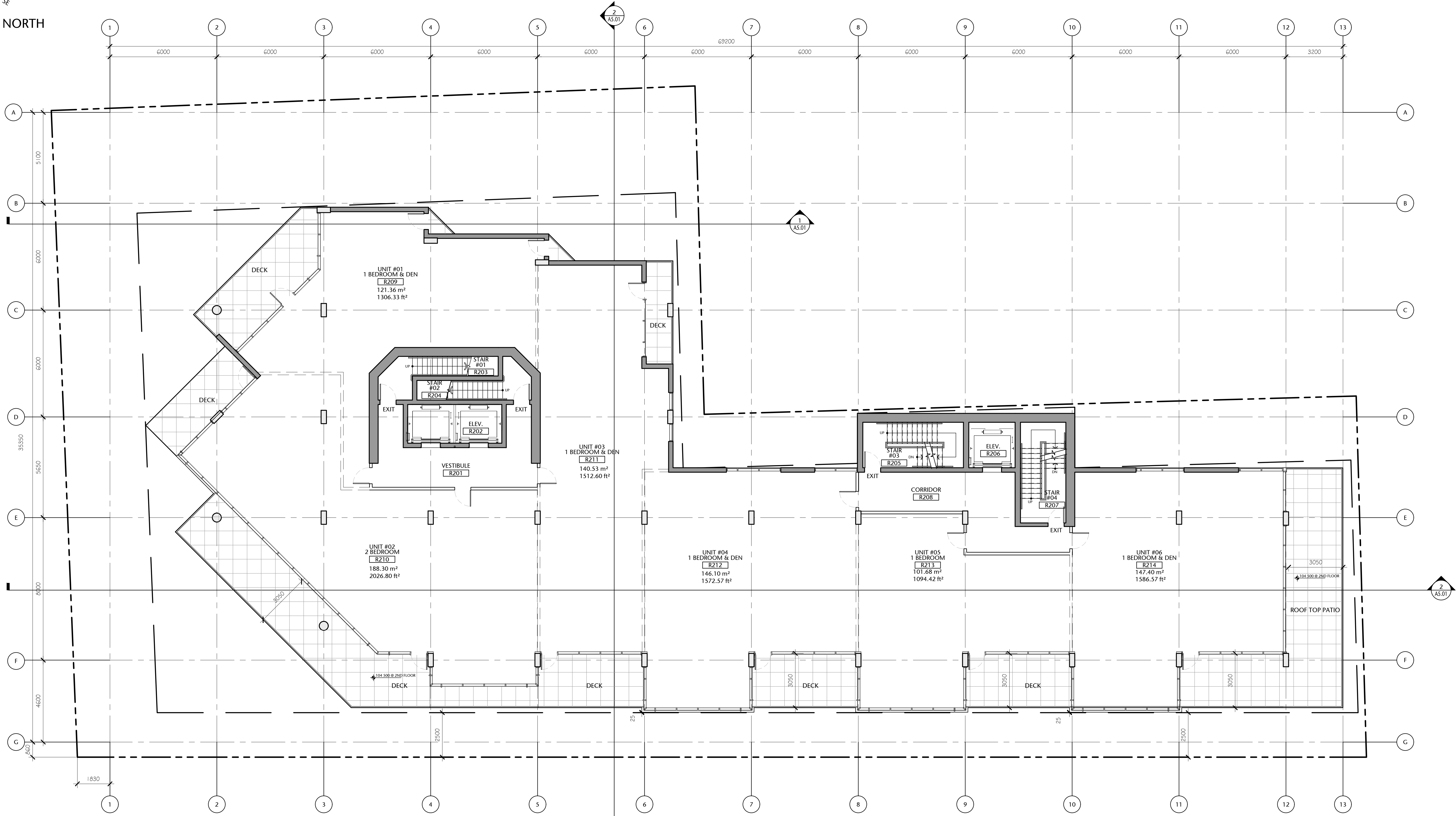
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POR	AS SHOWN
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COMPASS NORTH



Second Floor Gross Area:  
950.23 sq. mts. (10 228 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
TOTAL AREA	6054.44	65,170

1 SECOND FLOOR PLAN  
A2.03 1:100



257 BELLEVILLE  
STREET

VICTORIA, BRITISH COLUMBIA

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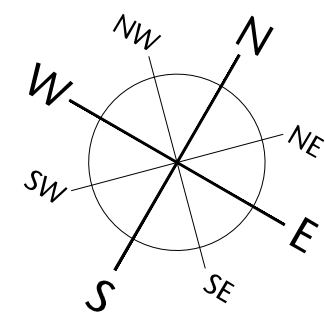
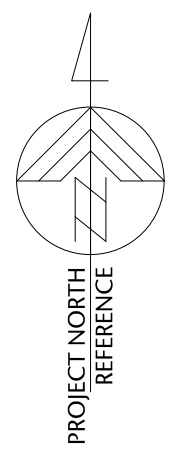
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drawing title  
SECOND FLOOR PLAN

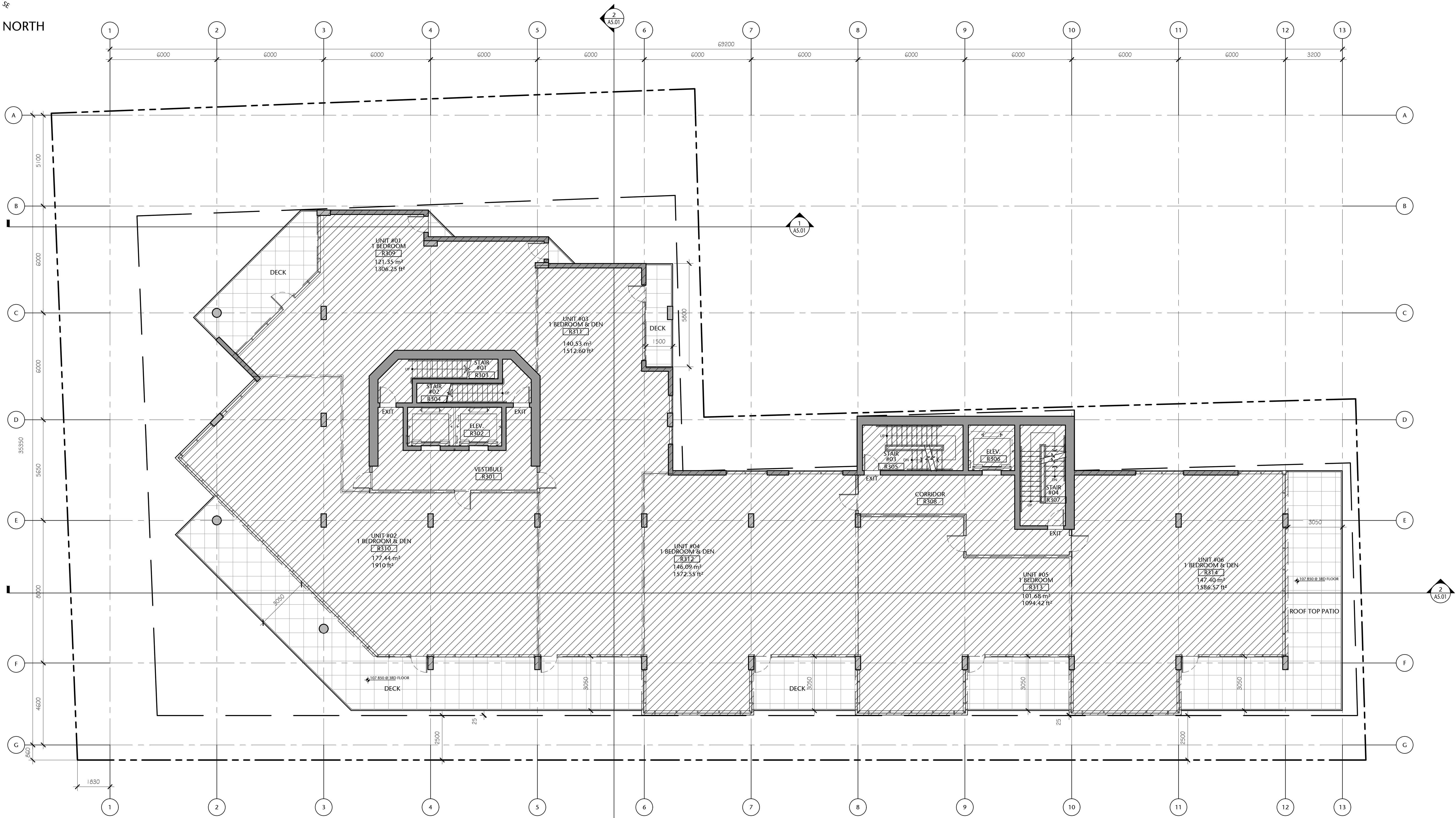
A2.03

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POR	AS SHOWN
checked	project no.
DL	20.118





COMPASS NORTH



1 THIRD FLOOR PLAN  
A2.04 1:100



Third Floor Gross Area:  
937.43 sq. mts. (10 090.41 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

Note: All travel distance's shown under  
allowed 45m under the applicable BC  
Building Code 2018 Division B - Part 3  
'3.4.2.5 Location of Exits (c)'

257 BELLEVILLE  
STREET

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consultant

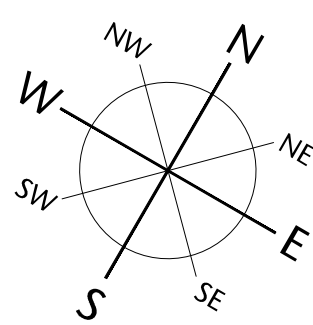
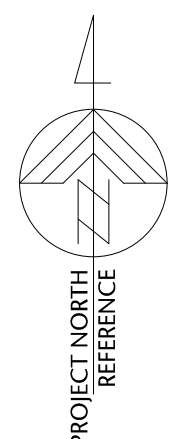
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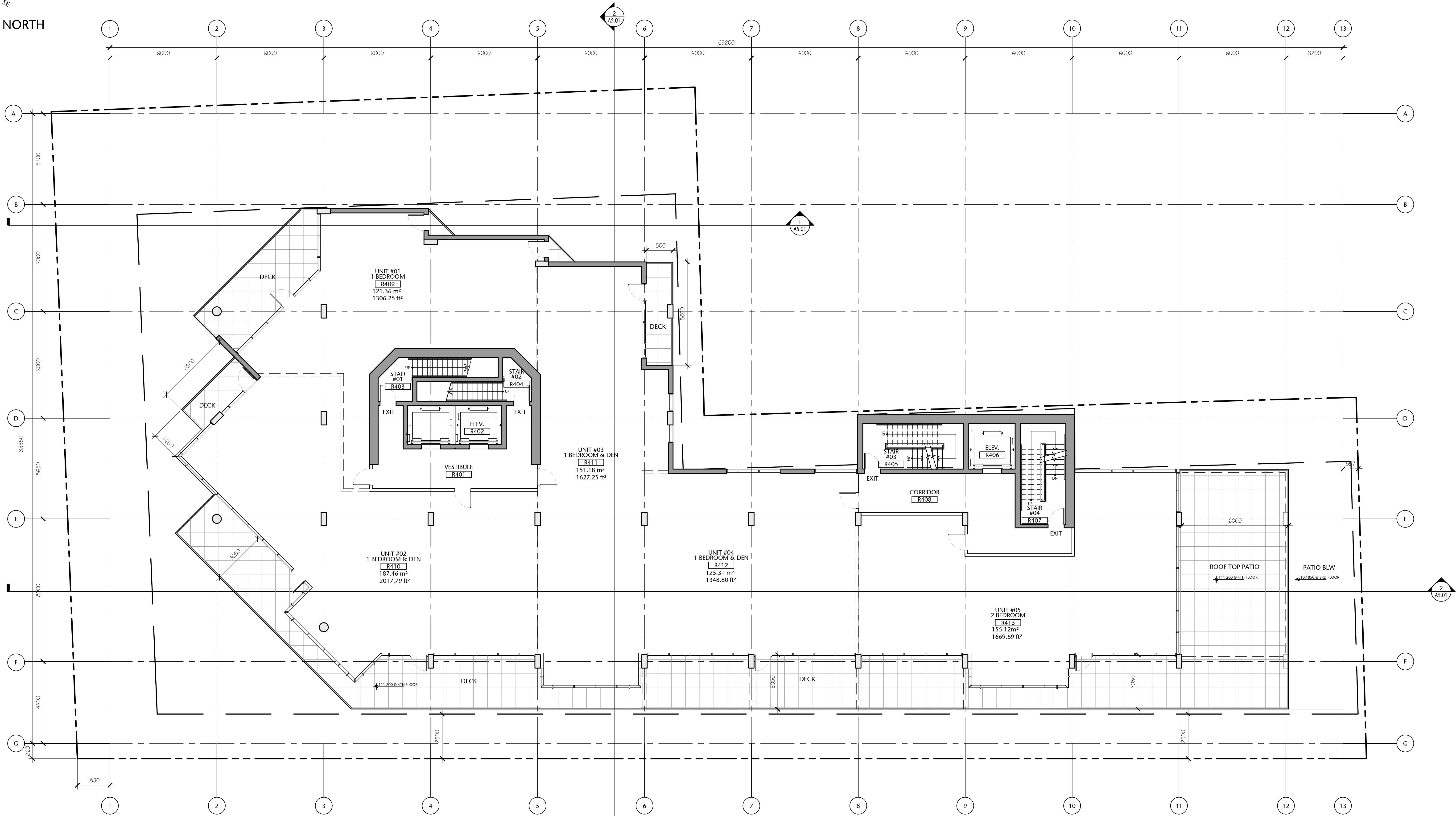
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THIRD FLOOR PLAN

A2.04		sheet
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checked DL	project no. 20.118	





COMPASS NORTH



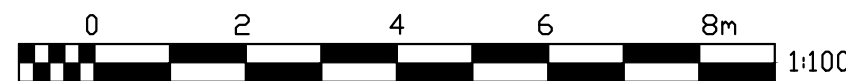
Fourth Floor Gross Area:  
857.23 sq. mts. (9227.15 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 FOURTH FLOOR PLAN  
A2.05  
1:100



257 BELLEVILLE  
STREET

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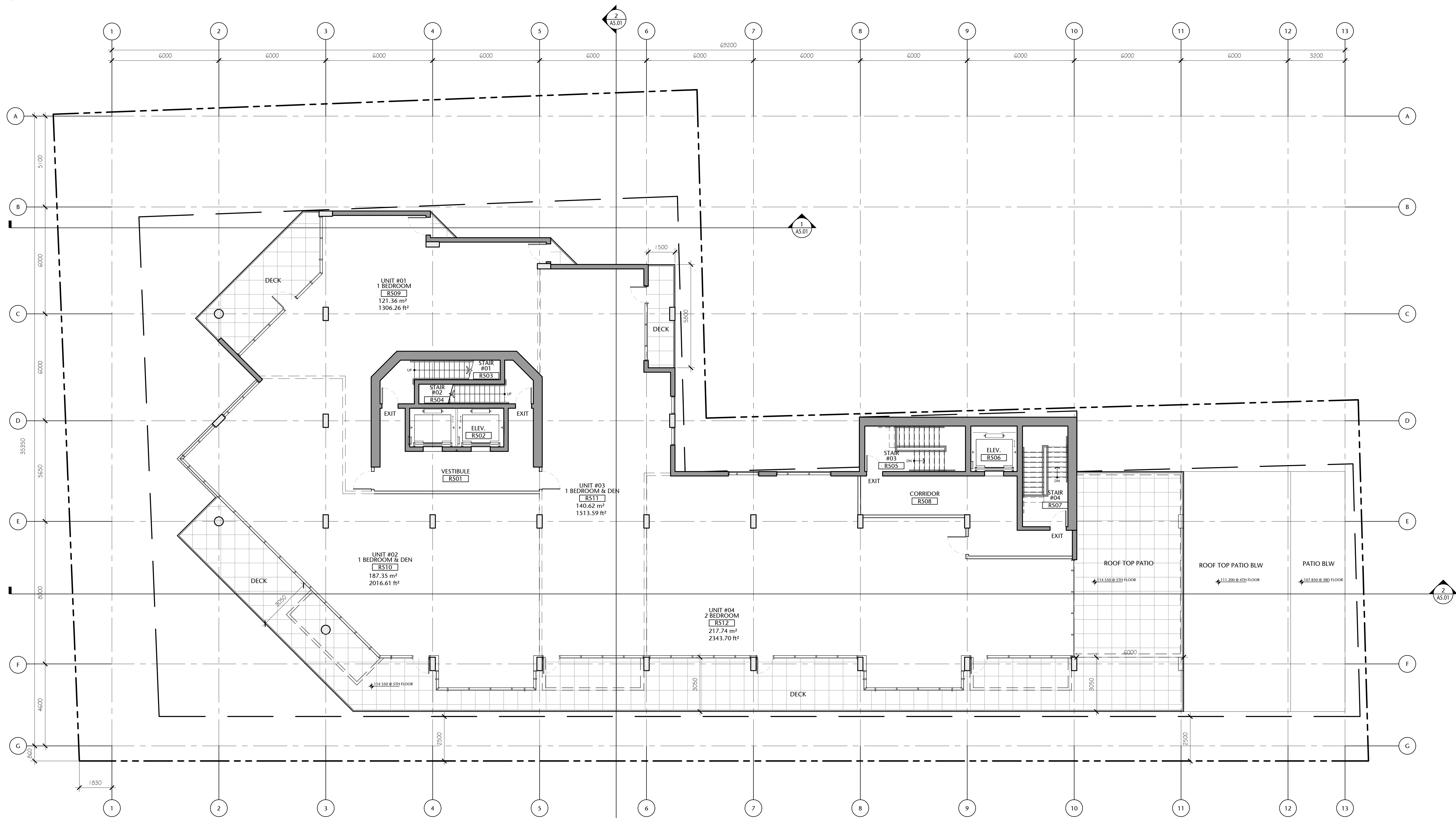
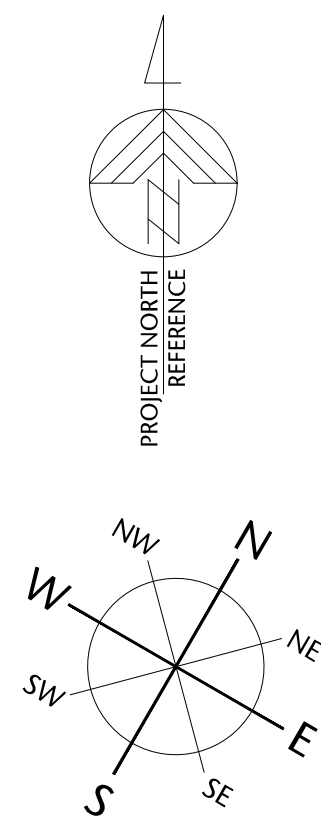
FOURTH FLOOR PLAN

A2.05

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POR	AS SHOWN
checked	project no.
DL	20.118



P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\A2.00\20.118.09-151-A2.06 FIFTH FLOOR PLAN.dwg 2020/12/02 7:57 PM Iona Cunkiewicz



1 FIFTH FLOOR PLAN  
A2.06 1:100



Fifth Floor Gross Area:  
785.82 sq. mts. (8458.5 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

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FIFTH FLOOR PLAN

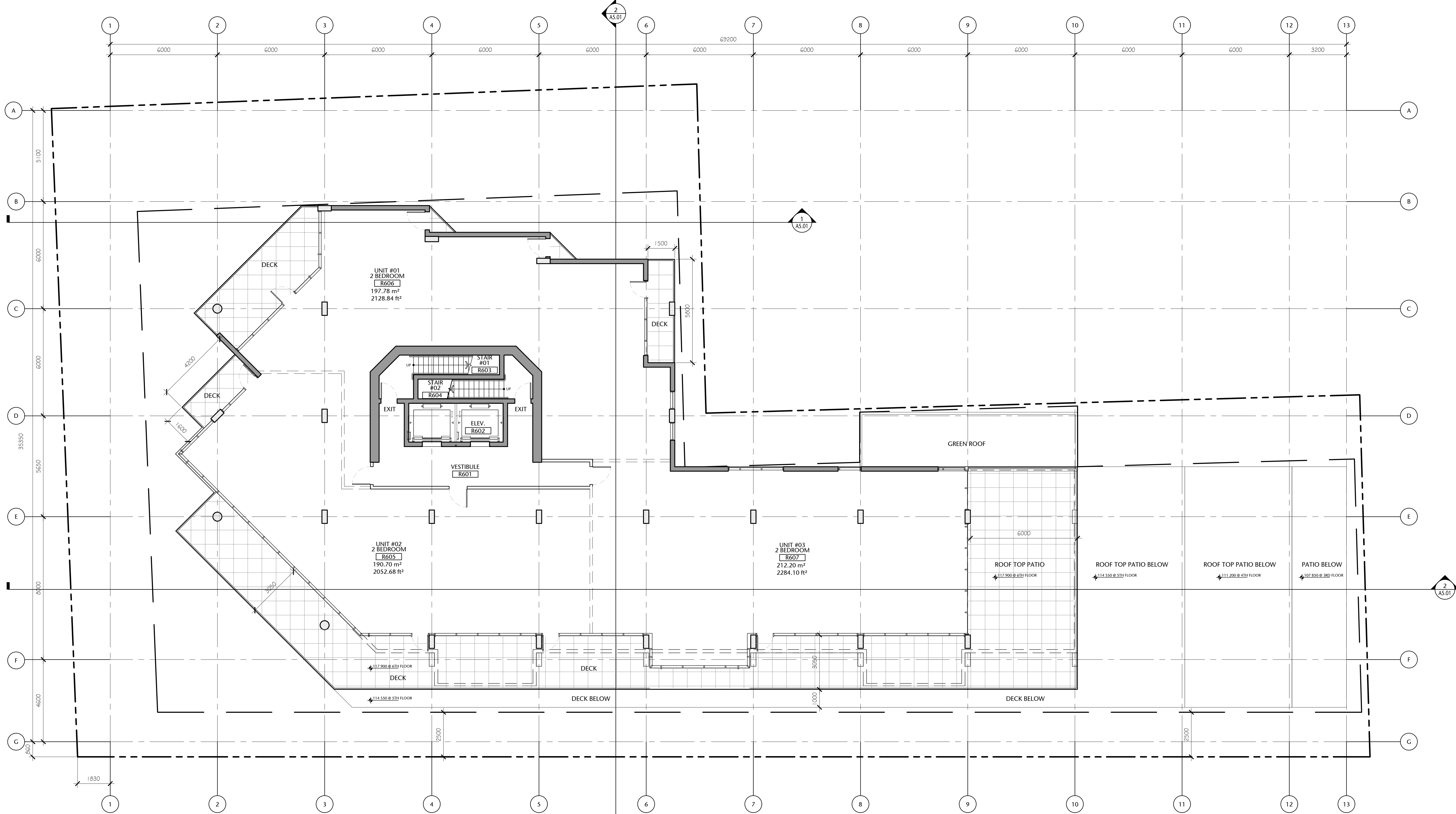
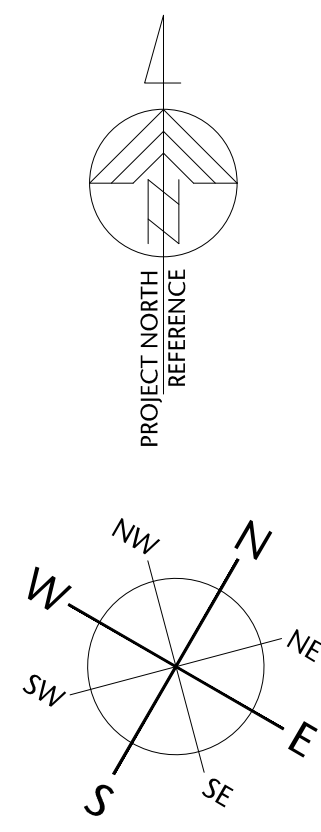
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POR	AS SHOWN
checked	project no.
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P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\WD 30x42 Sheets\A2.00\20.118-09-151-A2.07 SIXTH FLOOR PLAN.dwg 2020/12/02 7:59 PM Iona Cumberlidge



1 SIXTH FLOOR PLAN  
A2.07 1:100



Sixth Floor Gross Area:  
651.25 sq. mts. (7010 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

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drawing title

SIXTH FLOOR PLAN

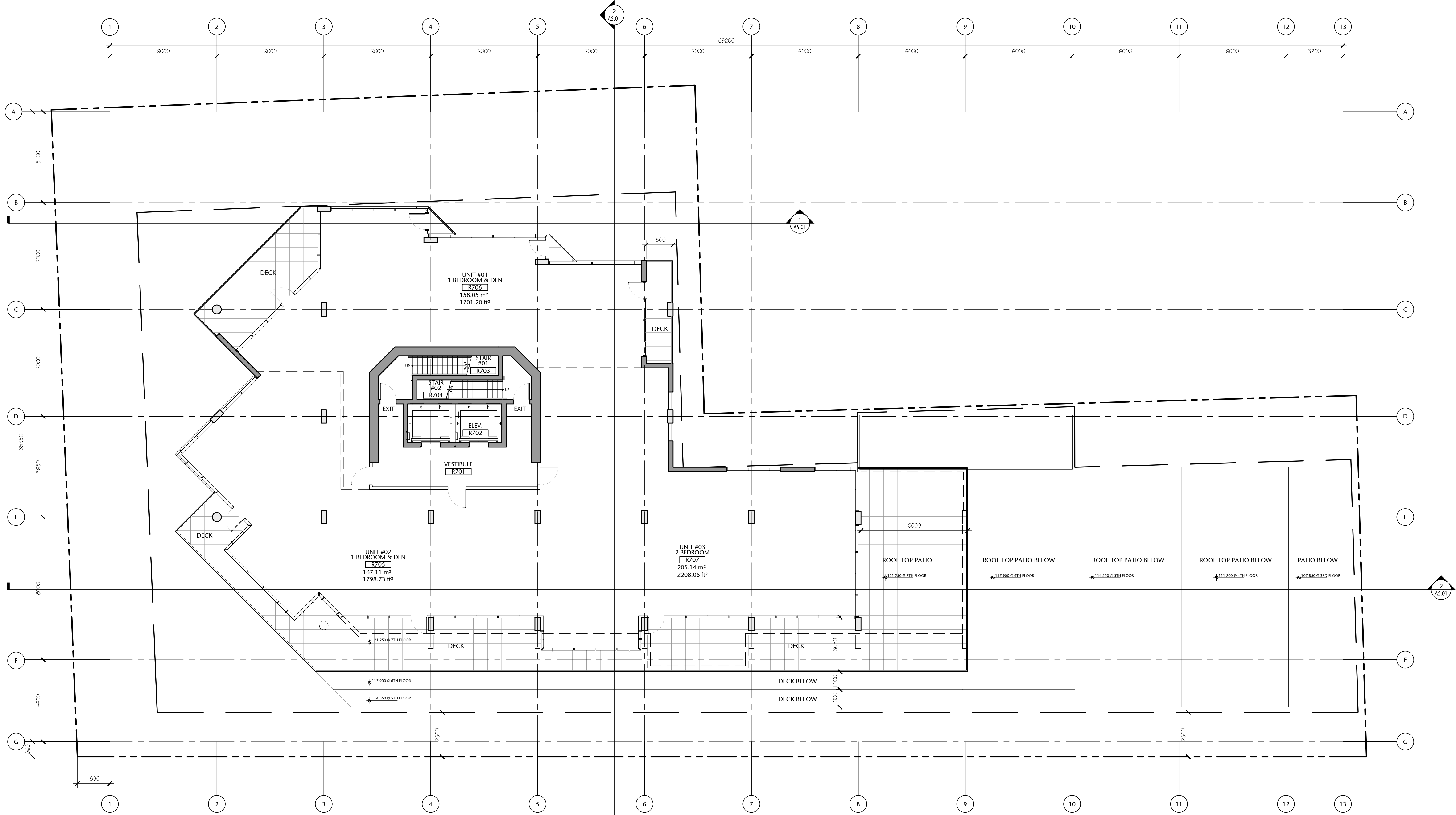
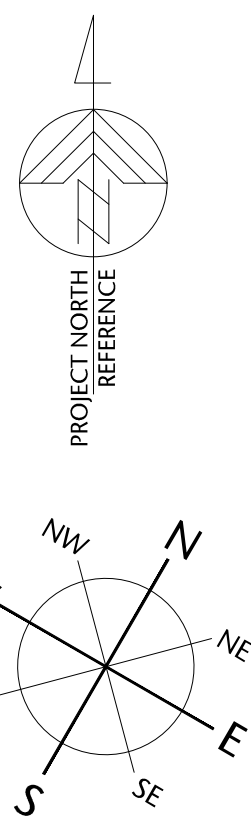
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drawn	scale
POR	AS SHOWN
checked	project no.
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1 SEVENTH FLOOR PLAN  
A2.08 1:100



Seventh Floor Gross Area:  
577.83 sq. mts. (6219.71 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

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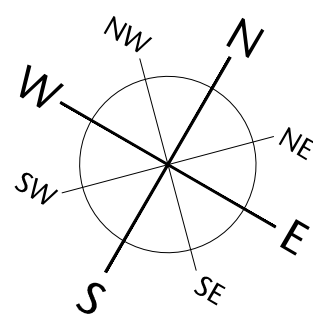
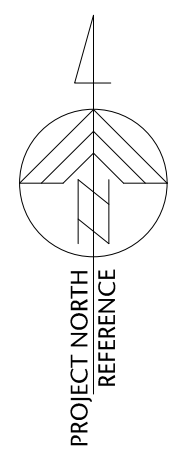
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SEVENTH FLOOR PLAN

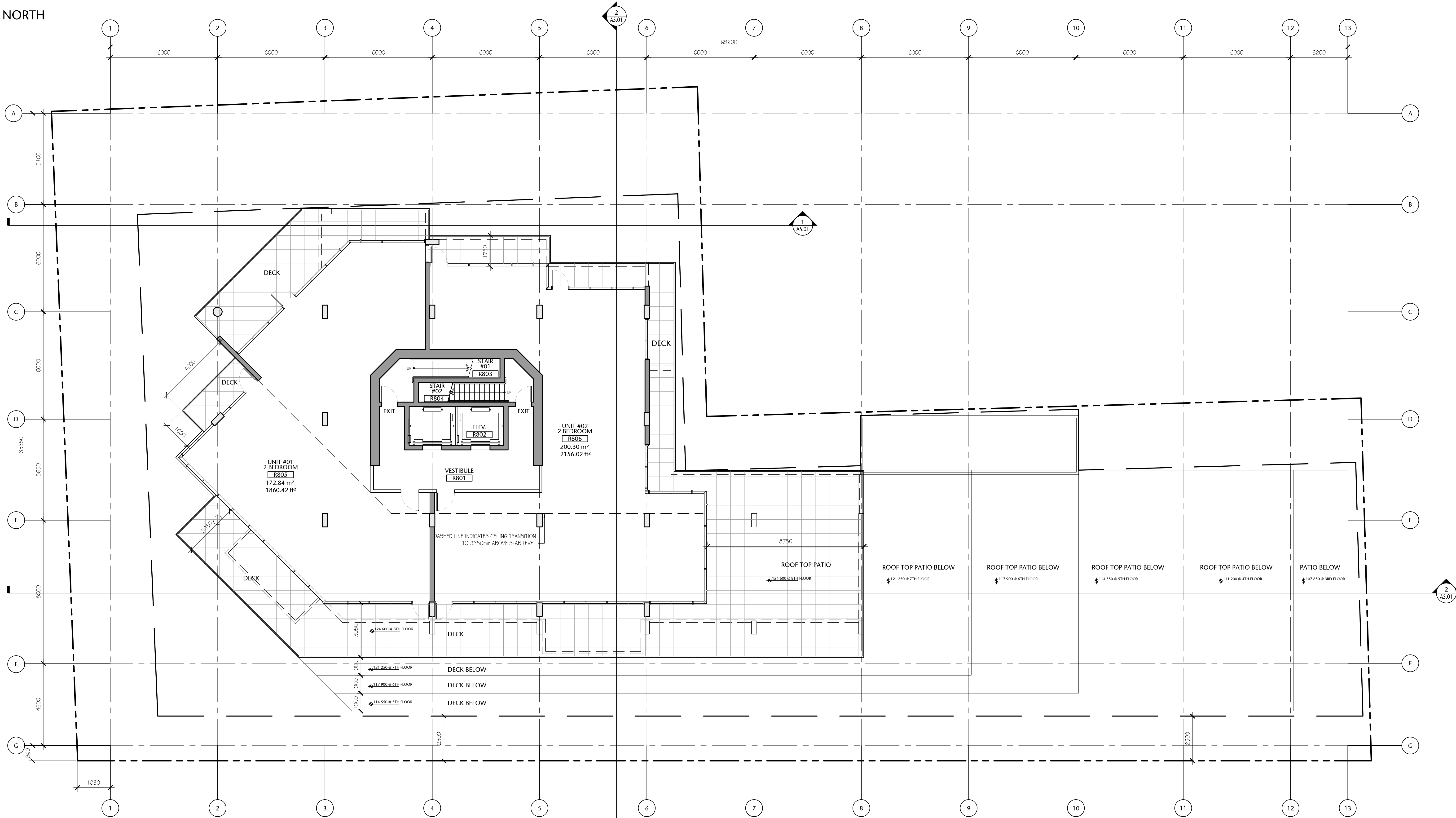
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checked	project no.
DL	20.118





COMPASS NORTH



Eighth Floor Gross Area:  
424.51 sq. mts. (4 569 sq. ft.)

(Possible Unit Mix Illustrated)

Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
7. Seventh Floor:	577.83	6,220
8. Eighth Floor:	424.51	4,569
9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

1 EIGHTH FLOOR PLAN  
A2.09 1:100



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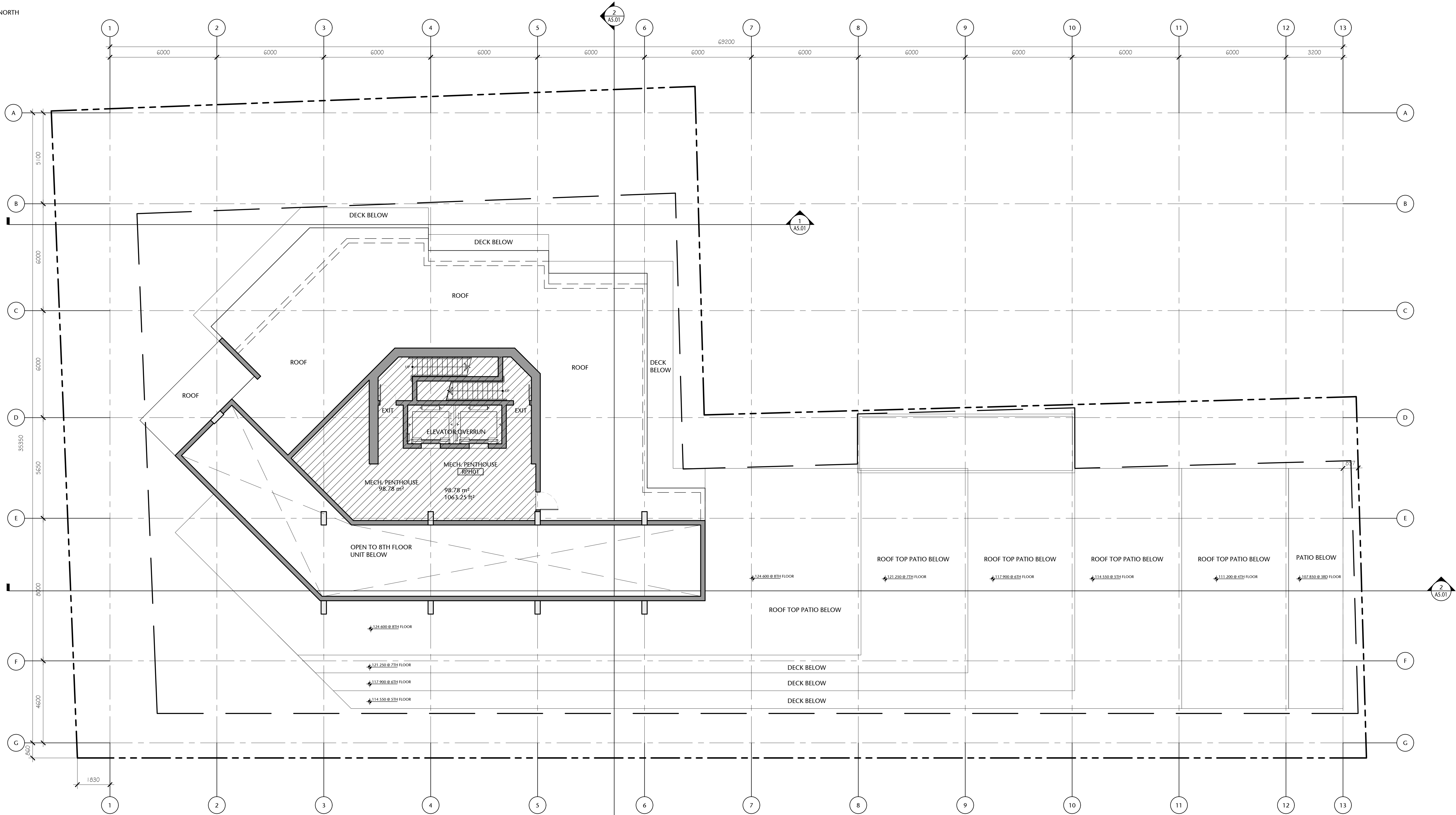
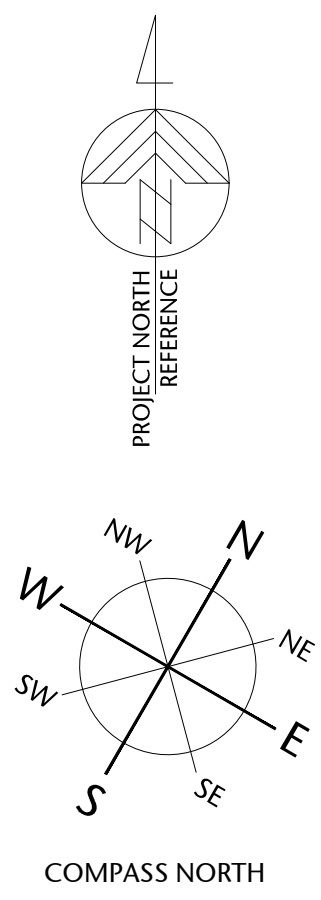
EIGHTH FLOOR PLAN

A2.09

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POR	AS SHOWN
checked	project no.
DL	20.118



P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current\Sheets\WD 30x42 Sheets\A2.00\20.118-09-151-A2.10 MECH. PENTHOUSE PLAN.dwg 20/01/2022 8:05 PM Iona Cunkiewicz



1 MECH. PENTHOUSE PLAN  
A2.10 1:100



#### Overall Gross Floor Areas:

Gross Floor Area above Grade (excluding balconies)		
	SQ. MTS.	SQ. FT.
1. Main Floor :	870.14	9,366
2. Second Floor:	950.23	10,228
3. Third Floor:	937.43	10,090
4. Fourth Floor:	857.23	9,227
5. Fifth Floor:	785.82	8,459
6. Sixth Floor:	651.25	7,010
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9. Mech Penthouse	98.78	1,063
TOTAL AREA	6153.22	66,232

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MECH. PENTHOUSE PLAN

A2.10

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### ROOF PLAN

## A2.11

sheet

DS, POR <sup>drawn</sup>	AS SHOWN <sup>scale</sup>
DL <sup>checked</sup>	20.118 <sup>project no.</sup>

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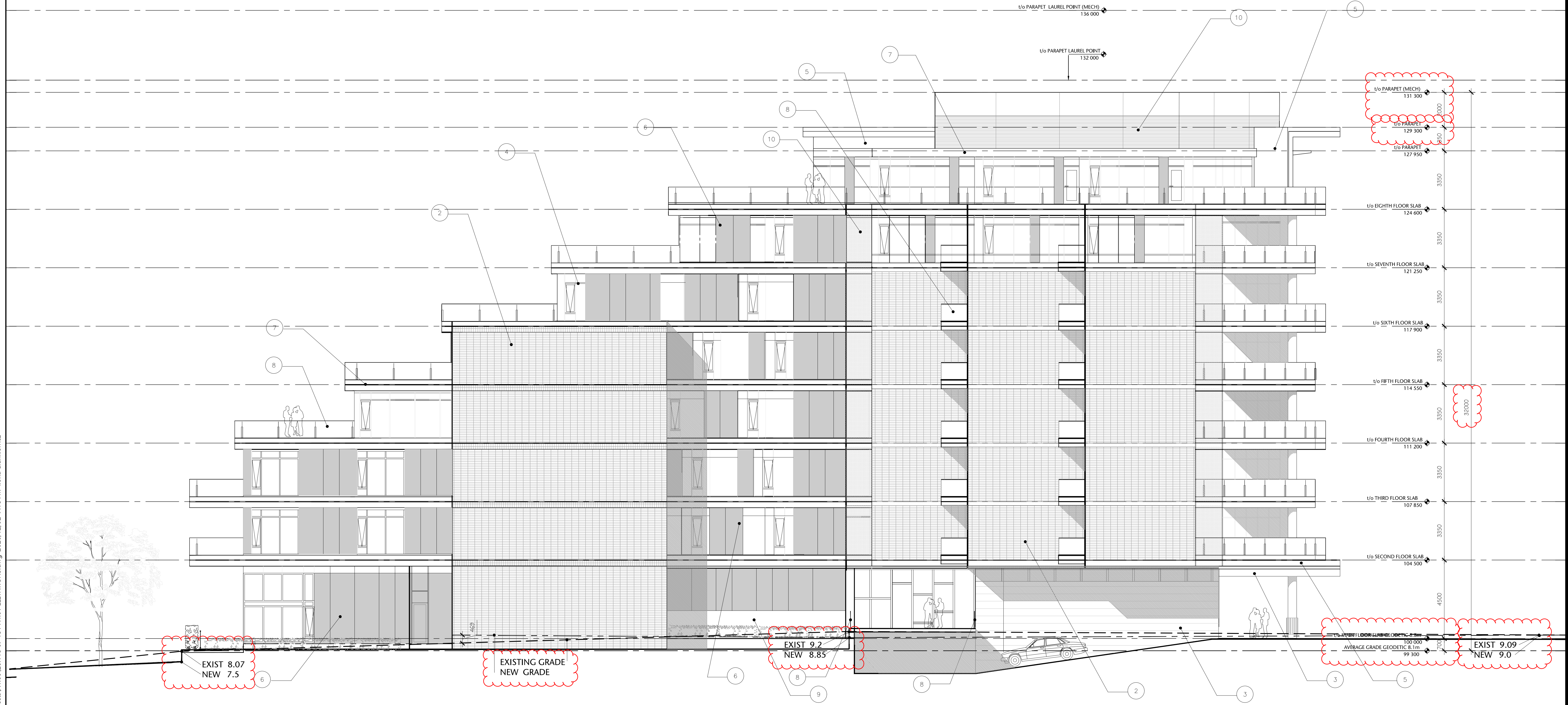
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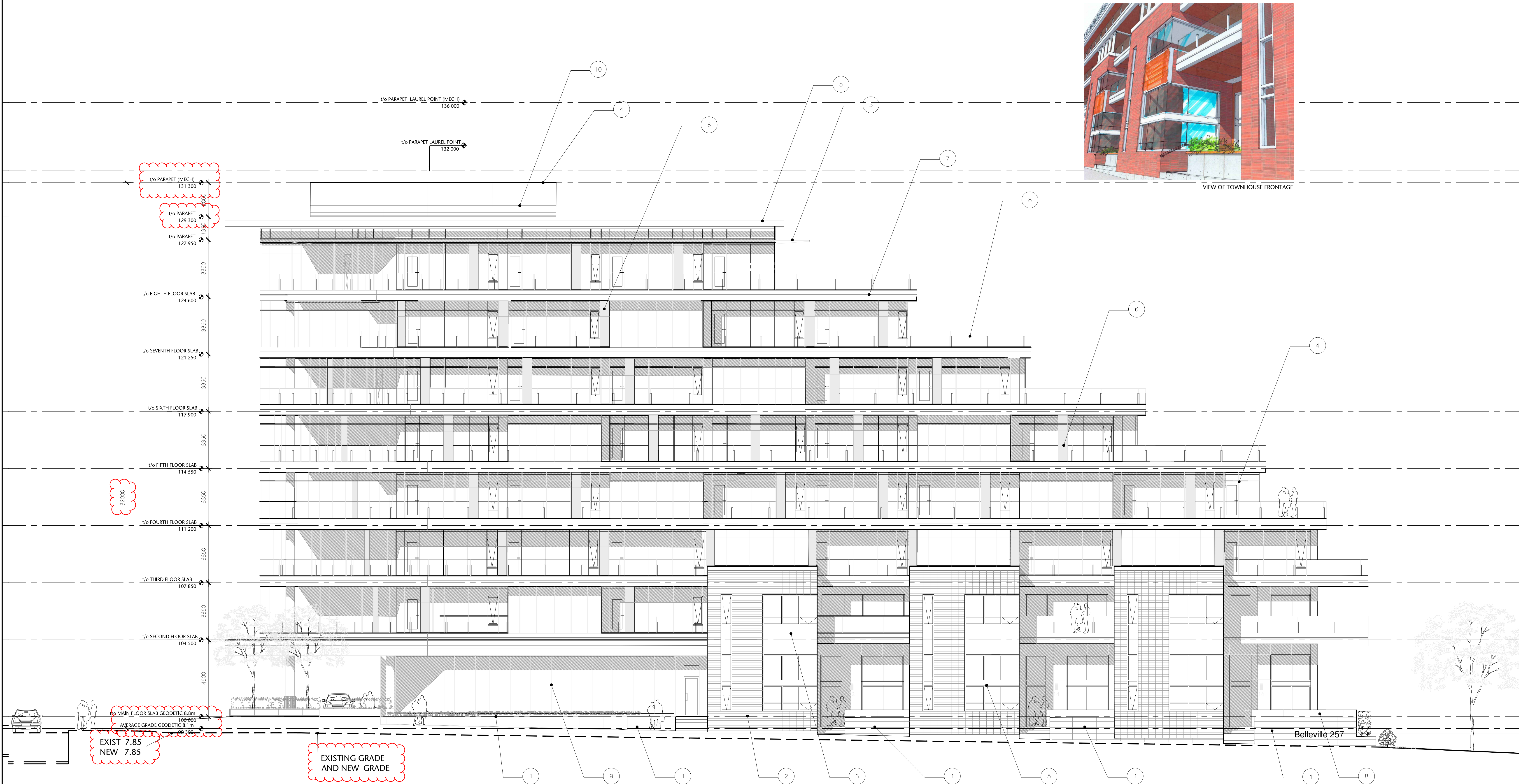
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checked	DL	project no.	20.118

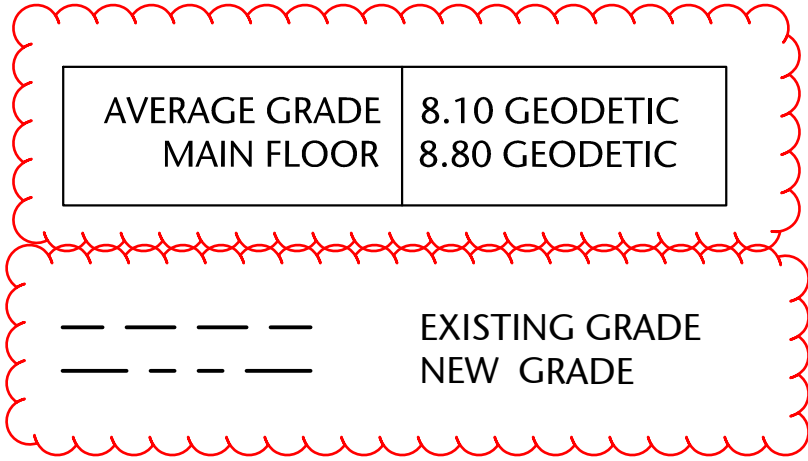
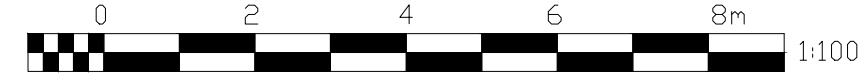
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1 "SOUTH" ELEVATION  
A4.02 1:100



ELEVATION KEYPLAN

- 1 cast in place concrete
- 2 smooth red stack bond brick
- 3 British Columbia western red cedar
- 4 anodized aluminium
- 5 gray painted aluminium
- 6 composite wood panel - rustic color
- 7 prefinished gray aluminium
- 8 clear glass handrail
- 9 tinted vision glass
- 10 corrugated anodized aluminium



VIEW OF TOWNHOUSE FRONTAGE

# 257 BELLEVILLE STREET

VICTORIA, BRITISH COLUMBIA

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ELEVATIONS

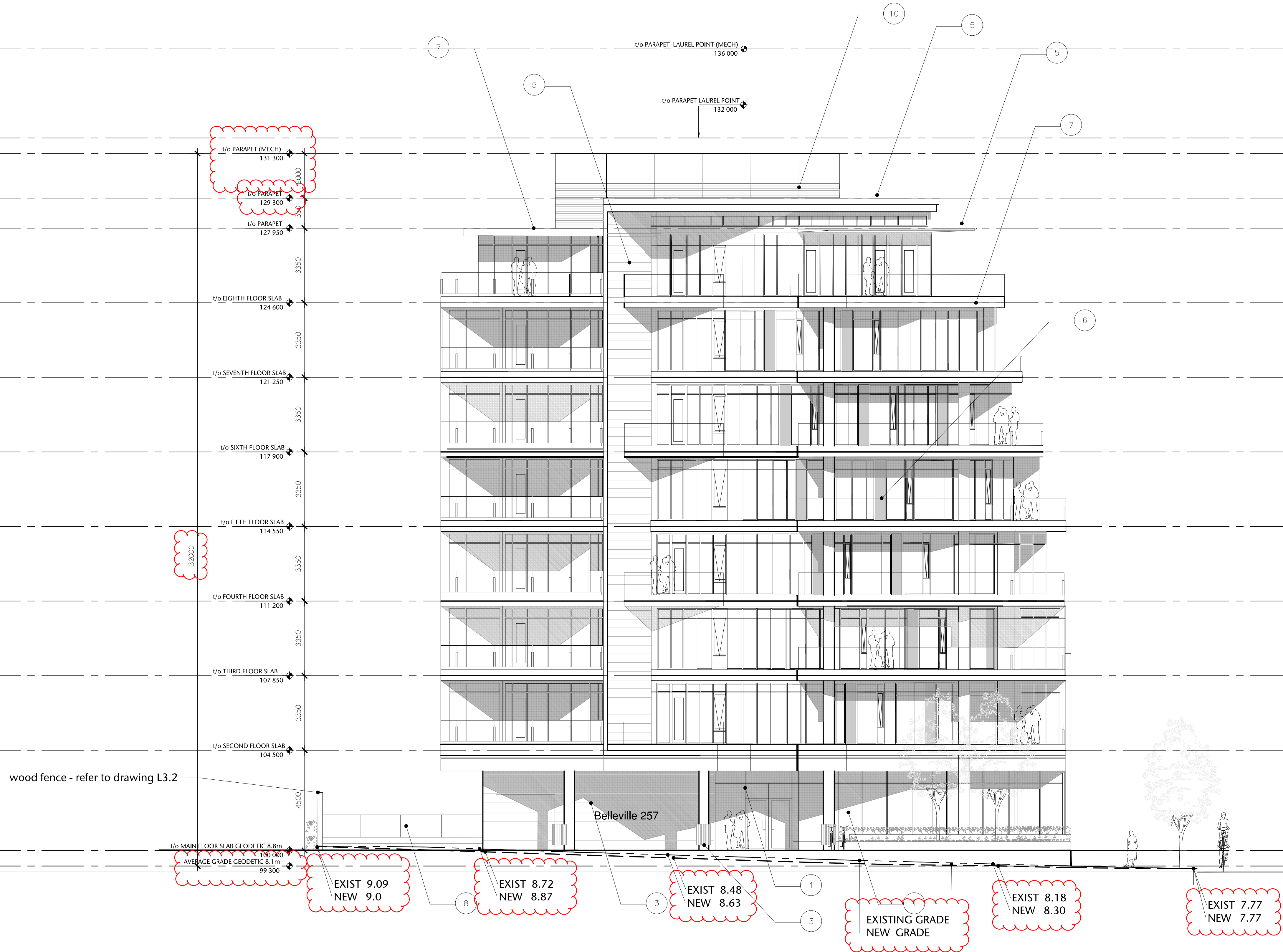
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ELEVATIONS

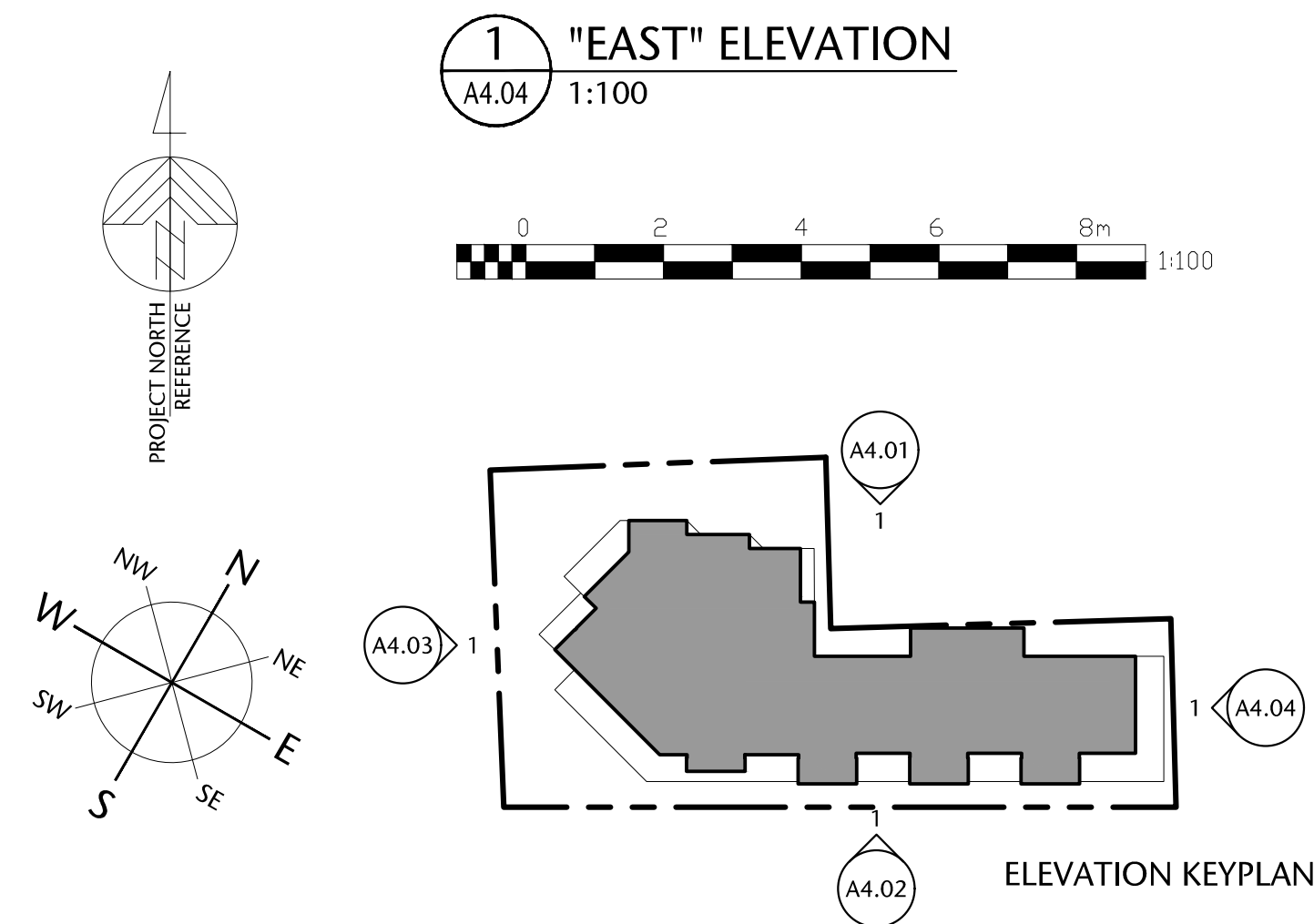
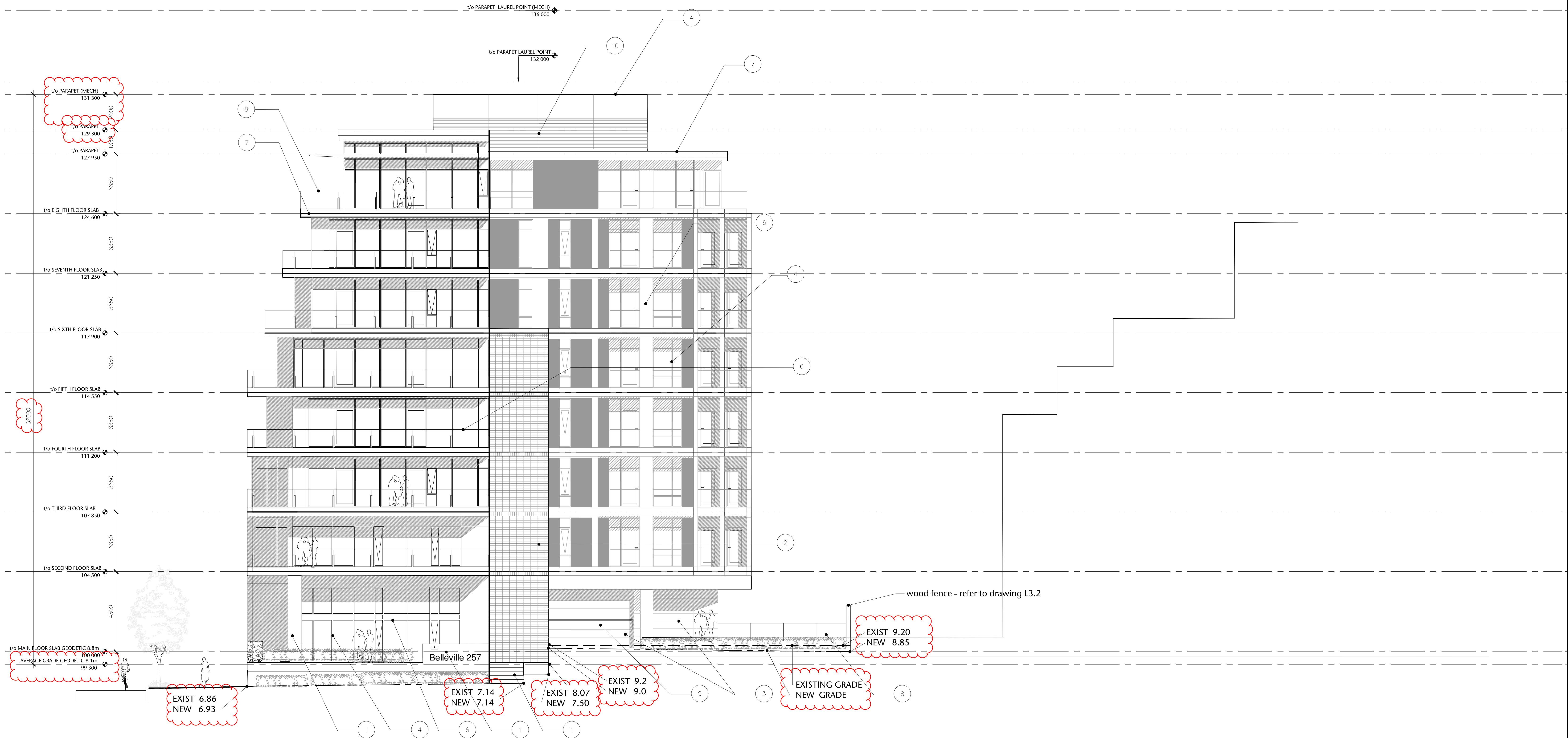
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1 "EAST" ELEVATION  
A4.04 1:100

AVERAGE GRADE MAIN FLOOR	8.10 GEODETIC 8.80 GEODETIC
EXISTING GRADE NEW GRADE	

- cast in place concrete
- smooth red stack bond brick
- British Columbia western red cedar
- anodized aluminium
- gray painted aluminium
- composite wood panel - rustic color
- prefinished gray aluminium
- clear glass handrail
- tinted vision glass
- corrugated anodized aluminium

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drawing title

ELEVATIONS

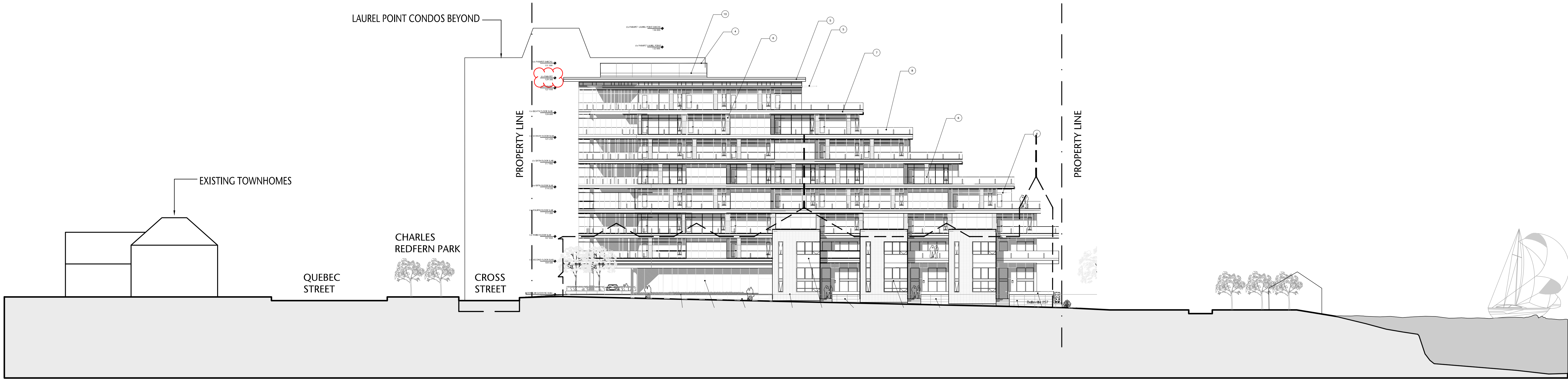
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DL	AS SHOWN
checked	project no.
DL	20.118

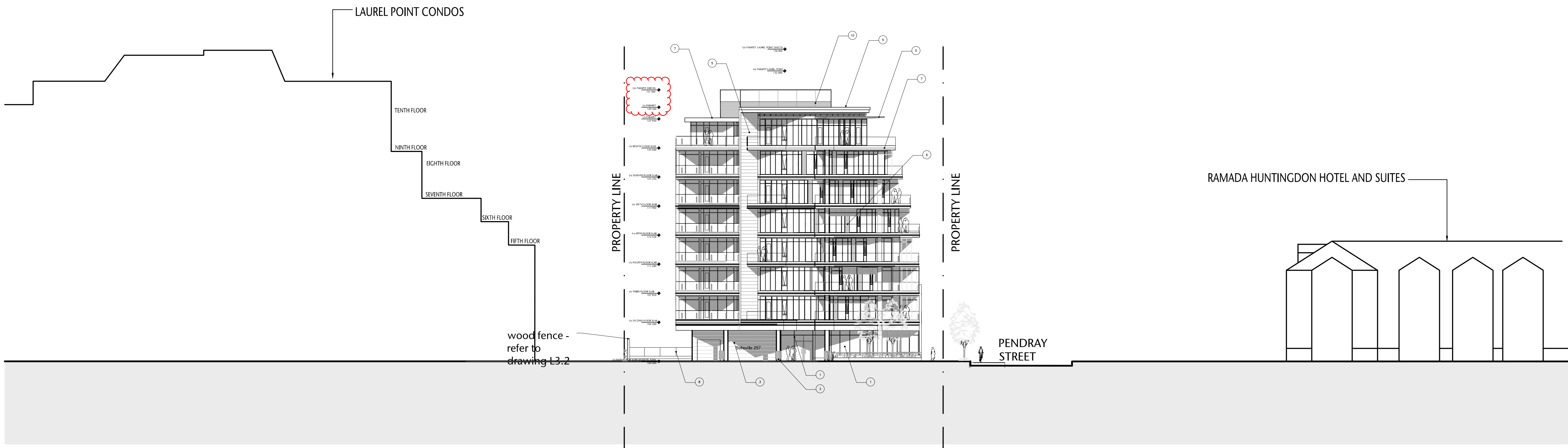
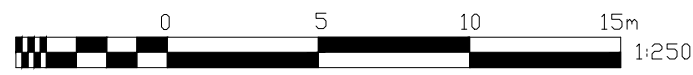
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1 STREETScape ELEVATION ALONG PENDRAY STREET  
A4.05 1:250



2 STREETScape ELEVATION ALONG QUEBEC STREET  
A4.05 1:250



## 257 BELLEVILLE STREET

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drawing title  
STREETScape ELEVATIONS

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DL	20.118	project no.

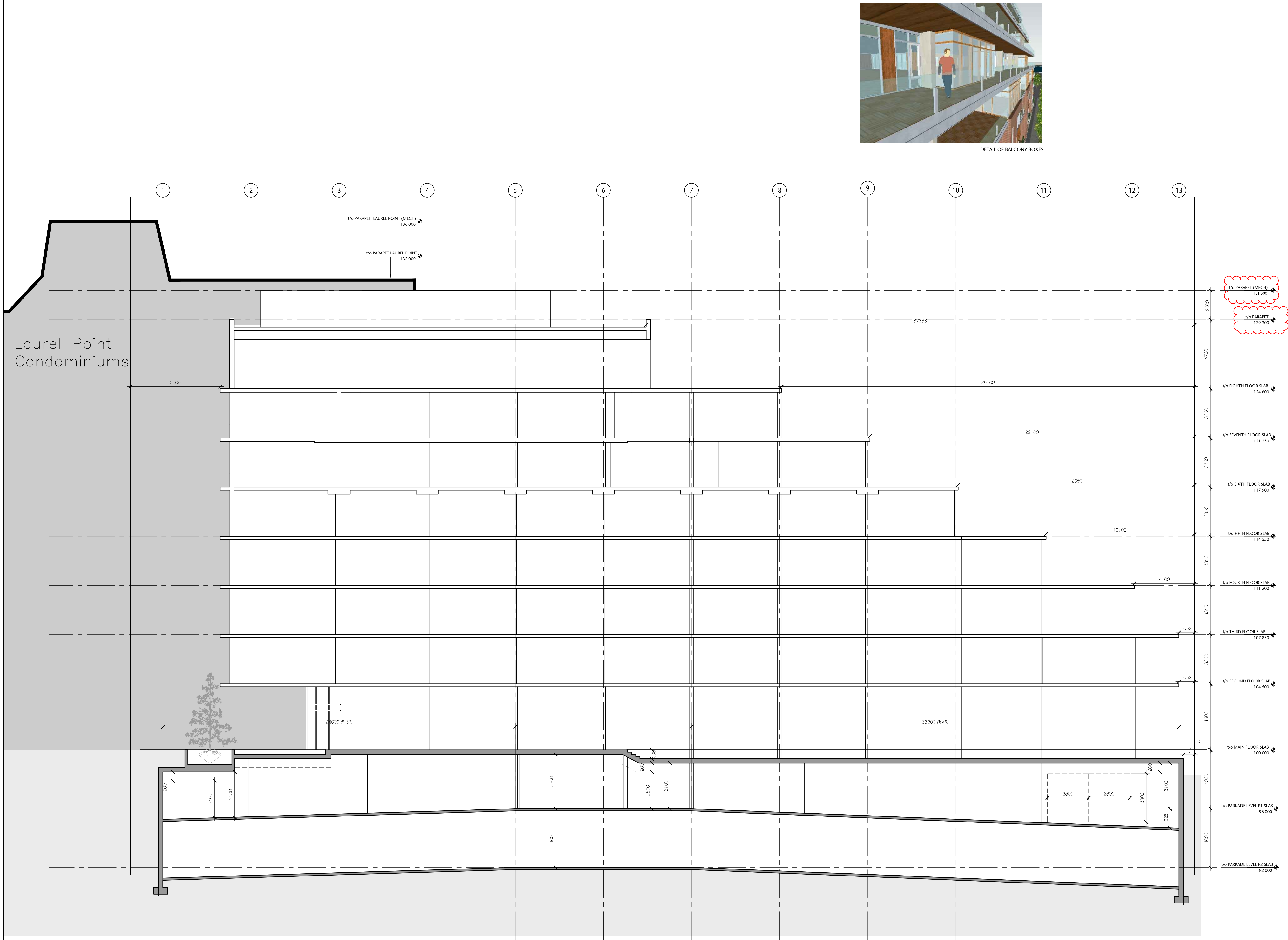
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P:\2020\20.118.257 Belleville DP Renewal\ID Integrated Design\ID20 AutoCAD\ID22 Current Sheets\WD 30x42 Sheets\A5.00\20.118.09-151-A5.02 BUILDING SECTIONS.dwg 2020/12/02 10:01 PM Iona Clunkiewicz



1 BUILDING SECTION  
A5.02  
1:100

257 BELLEVILLE STREET

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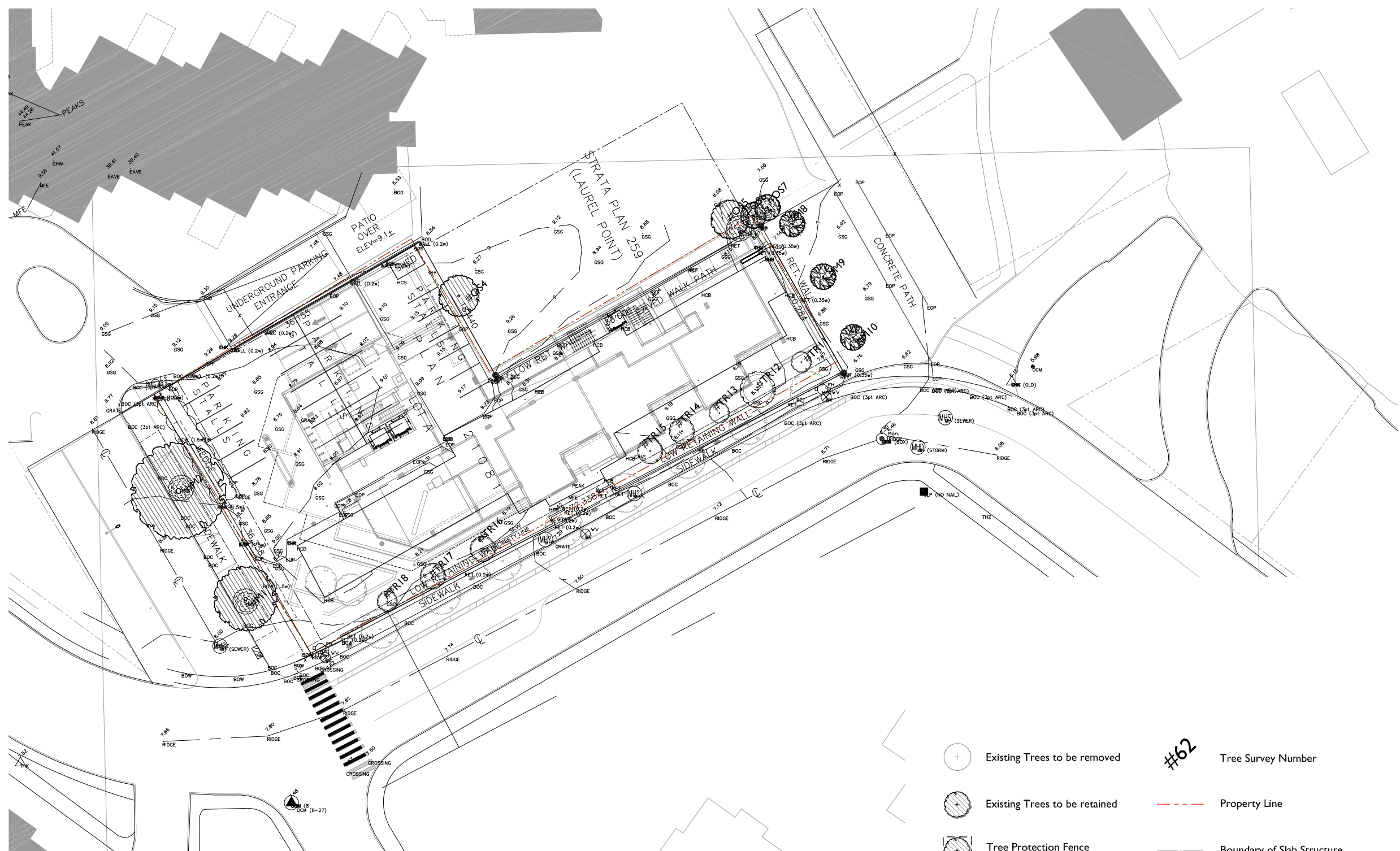
drawing title  
BUILDING SECTIONS

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PO, DS, DL	drawn	AS SHOWN	scale
DL	checked	project no.	
		20.118	

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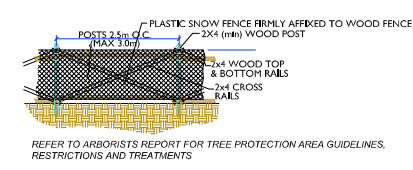


- Existing Trees to be removed
- Existing Trees to be retained
- Tree Protection Fence
- Property Line
- Boundary of Slab Structure
- Tree Survey Number

GENERAL NOTES:

1. THIS DRAWING IS FOR REFERENCE ONLY. REFER TO THE SURVEY MAP DATED APRIL 17, 2014 PROVIDED BY BENNETT LAND SURVEYING LTD.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL.
3. ALL PRUNING TO BE DONE UNDER THE SUPERVISION OF THE APPOINTED ARBORIST AS PER SPEC.
4. REFER TO ELECTRICAL DRAWINGS FOR ALL SERVICE TERMINATION AND REINSTATEMENT.
5. ALL ON-SITE LANDSCAPE FEATURES AND PLANTS NOT IDENTIFIED FOR RETENTION OR RELOCATION ARE TO BE REMOVED.
6. REFER TO CERTIFIED ARBORIST'S TREE MANAGEMENT PLAN FOR TREE PRESERVATION.
7. ALL EXISTING STREET CURBS TO BE RETAINED UNLESS OTHERWISE NOTED.
8. POSSIBLE RETENTION OF TREES FOR SNAGS ALONG LANGARA TRAIL. ARBORIST TO REVIEW FEASIBILITY IN TERMS OF SAFETY.
9. REFER TO CIVIL DRAWINGS FOR REMOVAL, RETENTION AND/OR RELOCATION OF EXISTING PARKING AND SITE SERVICES.

TREE PROTECTION FENCE DETAIL (NTS):



257 BELLEVILLE STREET  
VICTORIA, BRITISH COLUMBIA.

**Revisions**  
Received Date:  
September 20, 2023  
Deemed Date:  
October 28, 2022

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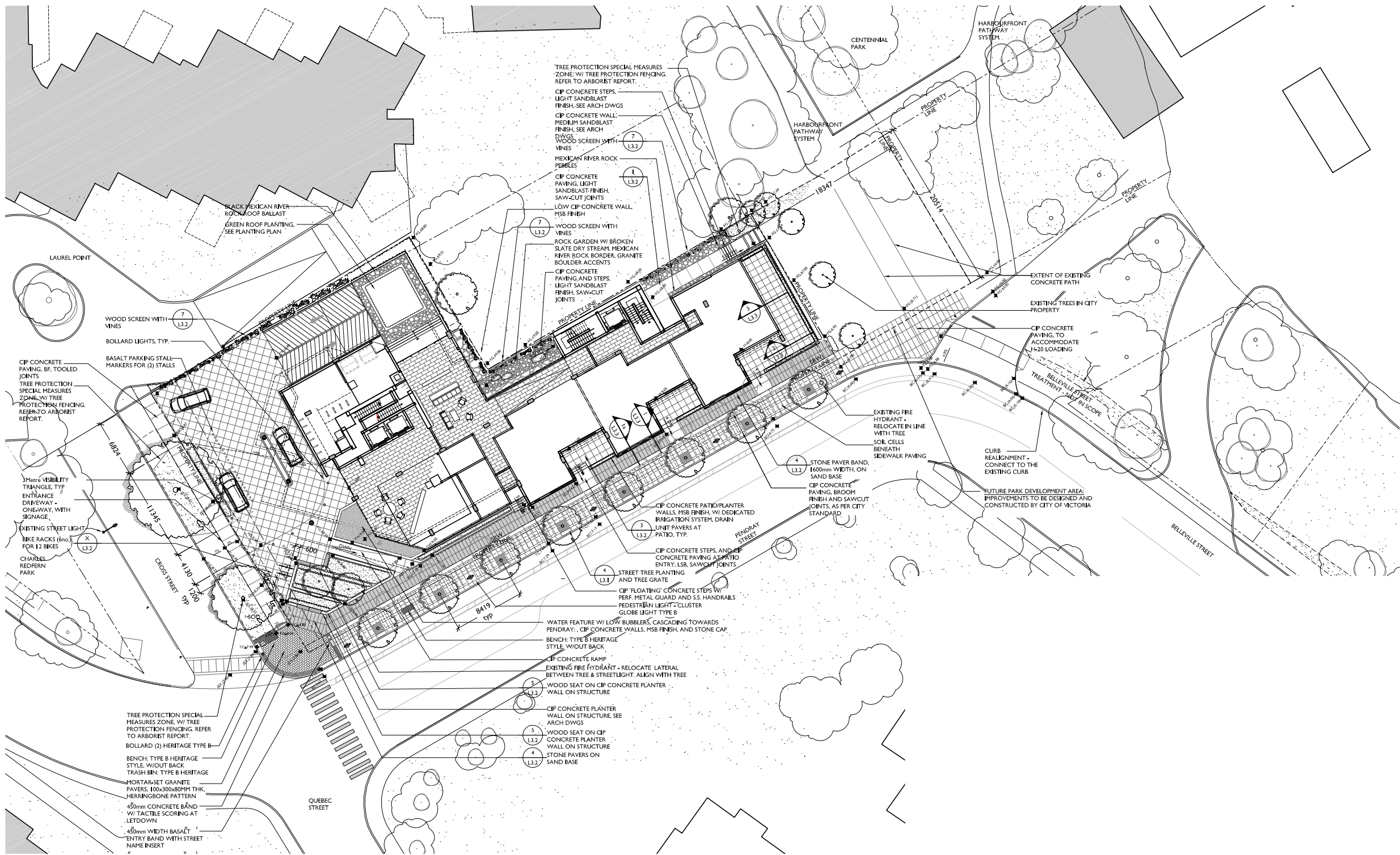
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drawing title	
TREE MANAGEMENT PLAN	
sheet	
L0.1	
MD	drawn
CP	checked
1:200	scale
08005	project no.







LANDSCAPE KEY LEGEND

CIP	CAST-IN-PLACE
PB	POOL BOTTOM
WL	WATER LEVEL
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
BC	BOTTOM OF CURB
AD	AREA DRAIN
10.0M	PROPOSED SPOT ELEVATION (FINISHED GRADE)
PROPOSED TREE	
EXISTING TREE TO BE REMOVED	
PLANT SPECIES	
PLANT QUANTITY	
SECTION NUMBER	
SET SHEET NO.	
DETAIL NUMBER	
SET SHEET NO.	

GENERAL NOTES

1. PROVIDE ADEQUATE SUB-SURFACE DRAINAGE IN ALL LAWN AND PLANTING AREAS.
2. SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR GRADING.
3. ENSURE POSITIVE DRAINAGE.
4. STREETScape TO APPROVAL OF ENGINEERING SERVICES. ALL STREET TREES TO HAVE 8" WIDE 18" DEPTH DEEP ROOT ROOT BARRIER, OR PRE-APPROVED EQUIVALENT, AT ALL SIDEWALK LOCATIONS.
5. ALL STREET TREE SPECIES AND SPACING TO CONFORM TO CITY OF VICTORIA STANDARD SPACING AND CLEARANCE.
6. FINAL TREE LOCATIONS TO BE DETERMINED TO THE SATISFACTION OF ENGINEERING SERVICES.
7. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANT MATERIAL INCLUDING STREETLEVEL PLANTINGS AND GREEN ROOF PLANTINGS. HOSEBIBS SHALL BE PROVIDED IN ALL PRIVATE COURTYARD AND PATIO AREAS. IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
8. ALL PLANT MATERIAL TO BCLNA AND BCLSA STANDARDS.
9. ROOT BARRIERS TO BE 'DEEP ROOT', 'ROOT SOLUTIONS' OR EQUAL.

IRRIGATION: GENERAL NOTES

1. ALL LANDSCAPE IRRIGATION SHALL CONFORM TO IABC STANDARDS.
2. LANDSCAPE DRIPLINE SHALL BE LOOPED UNLESS OTHERWISE SPECIFIED.
3. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR ADEQUATE FOR THE SCOPE OF WORK. THE CONTRACTOR SHALL BE A MEMBER IN GOOD STANDING OF THE IRRIGATION INDUSTRY ASSOCIATION OF B.C. AND HAVE MET THE QUALIFICATION STANDARDS CURRENTLY APPLIED TO CONTRACTORS BY THAT ORGANIZATION.
4. UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, ALL LANDSCAPE IRRIGATION EQUIPMENT SHALL BE SUPPLIED BY A SINGLE MANUFACTURER. ANY SUBSTITUTIONS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT WILL BE REJECTED.

LAYOUT AND MATERIALS: GENERAL NOTES

1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
5. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
6. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
7. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRAIN LET-DOWNS.
8. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.

GRADING: GENERAL NOTES

1. CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
2. UNLESS OTHERWISE NOTED, ALL DRAINS LOCATED IN LAWN OR PLANTED AREA ARE TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT.
3. PROVIDE POSITIVE DRAINAGE THROUGHOUT - AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES, UNLESS OTHERWISE NOTED. PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE SURFACES.
4. UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 4:1 (25%) AT ALL SOFT LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO THE CONSULTANT TEAM FOR REVIEW AND RESPONSE.
5. ALL GRADING INFORMATION TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS TO ENSURE ADEQUATE SOIL DEPTHS AND POSITIVE DRAINAGE.

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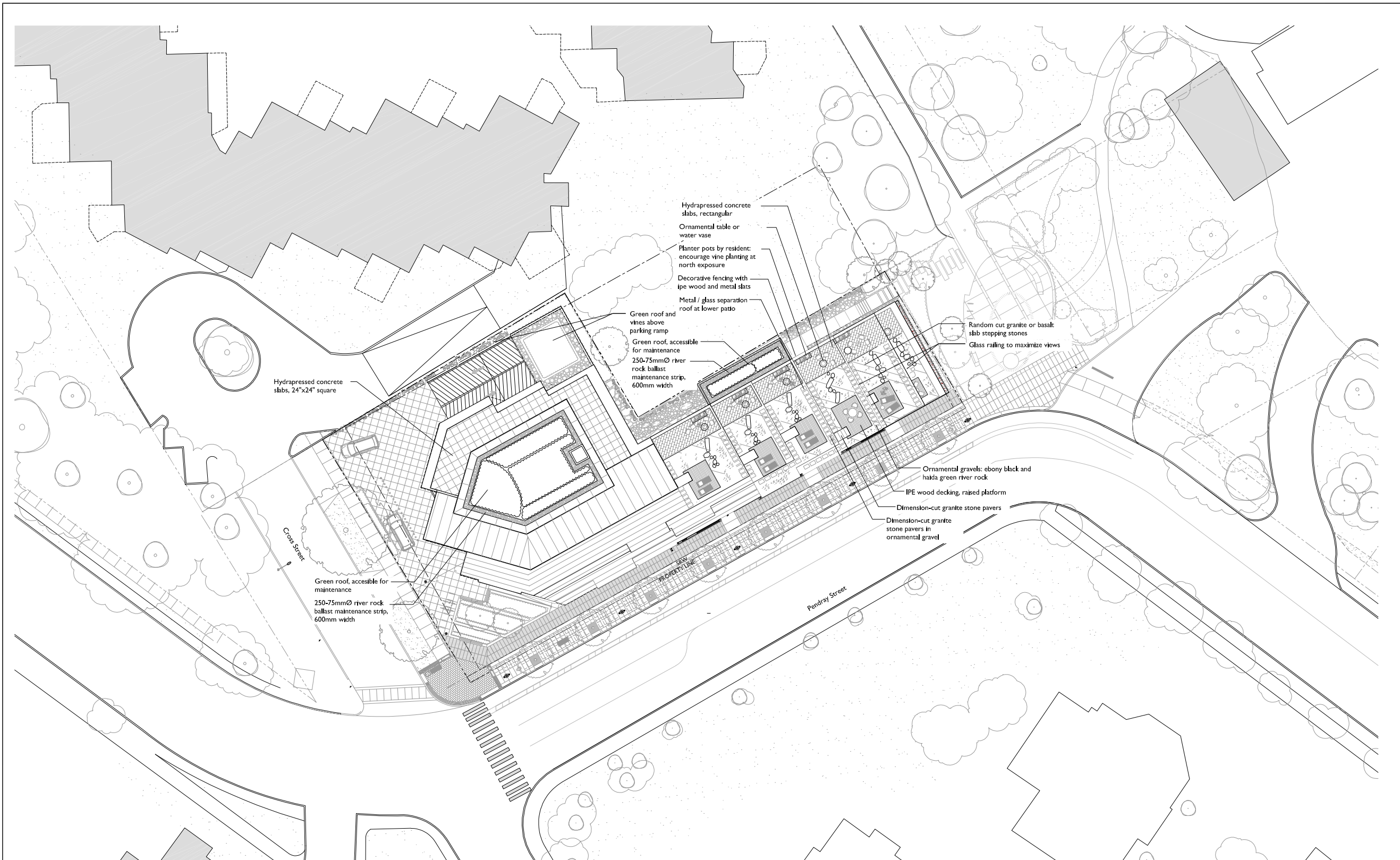
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LANDSCAPE PLAN -  
GROUND FLOOR

MD	drawn	1:200	scale
CP	checked	08005	project no.







LAYOUT AND MATERIALS: GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- 2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS FOR COMPLIANCE.
- 3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- 4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- 5. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEERS DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- 6. UTILITY AND LIGHTING ARE INDICATED FOR REFERENCE ONLY. REFER TO ENG. DRAWINGS FOR LOCATIONS, DETAILS, AND SPECIFICATIONS.
- 7. REFERENCE CIVIL ENGINEERS DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS AND PEDESTRAIN LET-DOWNS.
- 8. REFER TO ENGINEERING DRAWINGS FOR DETAILS, SUBGRADE, AND REINFORCING OF ALL PAVED SURFACES IN ROADWAYS.

IRRIGATION: GENERAL NOTES

- 1. ALL LANDSCAPE IRRIGATION SHALL CONFORM TO IABC STANDARDS.
- 2. LANDSCAPE DRIPLINE SHALL BE LOOPED UNLESS OTHERWISE SPECIFIED.
- 3. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR ADEQUATE FOR THE SCOPE OF WORK. THE CONTRACTOR SHALL BE A MEMBER IN GOOD STANDING OF THE IRRIGATION INDUSTRY ASSOCIATION OF B.C. AND HAVE MET THE QUALIFICATION STANDARDS CURRENTLY APPLIED TO CONTRACTORS BY THAT ORGANIZATION.
- 4. UNLESS OTHERWISE SPECIFIED OR INDICATED ON THE DRAWINGS, ALL LANDSCAPE IRRIGATION EQUIPMENT SHALL BE SUPPLIED BY A SINGLE MANUFACTURER. ANY SUBSTITUTIONS WITHOUT THE PRIOR APPROVAL OF THE CONSULTANT WILL BE REJECTED.
- 5. GREEN ROOF PLANTING IS TO BE FULLY IRRIGATED.

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LANDSCAPE PLAN -  
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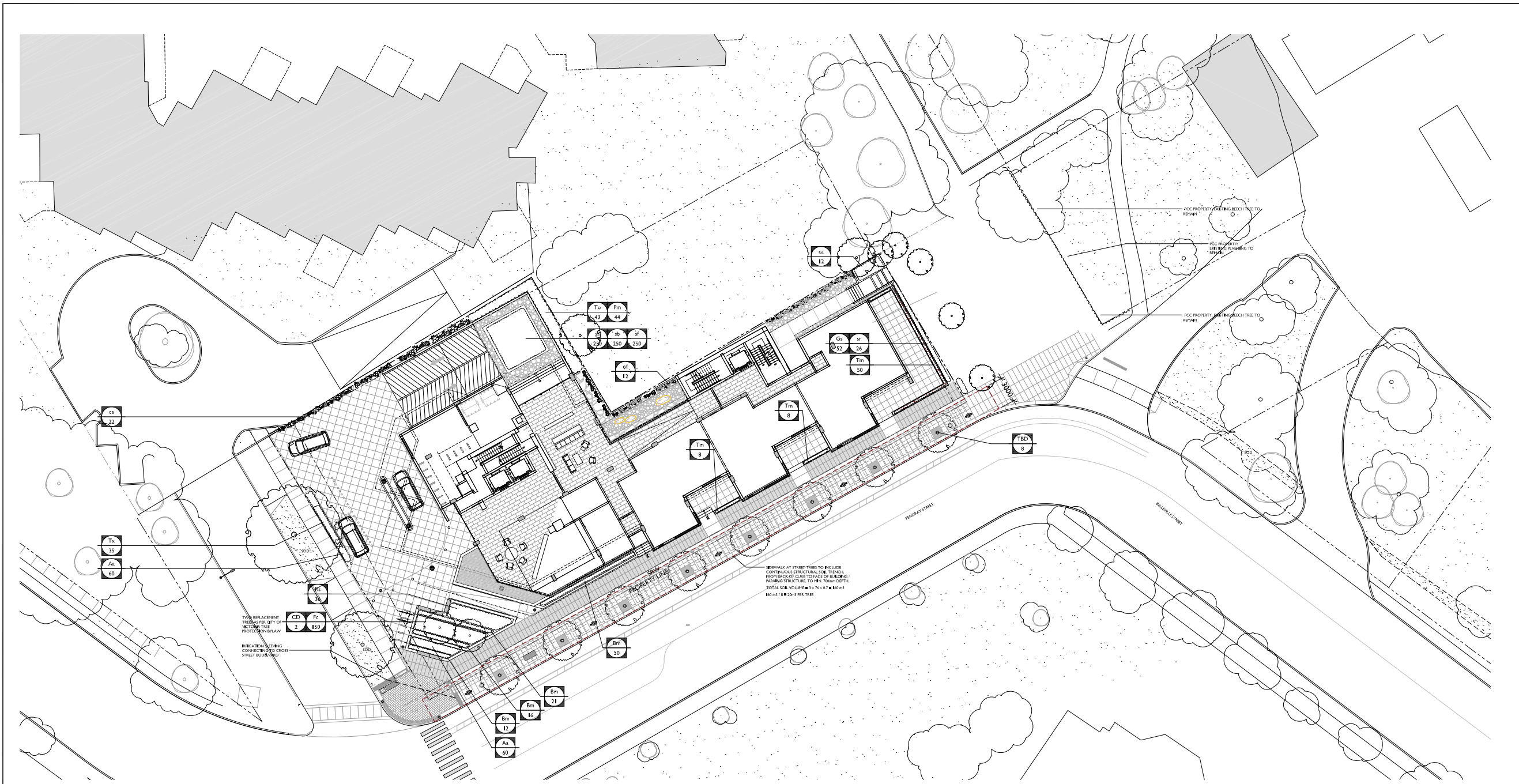
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CP	checked	08005	project no.



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PLANT SCHEDULE				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
TBD	8	BOULEVARD TREE SPECIES TO BE DETERMINED AT BUILDING PERMIT STAGE		MEDIUM
CD	2	CRATAEGUS DOUGLASII	BLACK HAWTHORN	7 CM CAL
SHRUBS / GROUNDCOVERS				
Aa	120	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	#2 POT
Bm	99	BUXUS MICROPHYLLA GREEN BEAUTY	GREEN BEAUTY LITTLE LEAF BUXUS	#3 POT
Fc	150	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	#1 POT
Gs	52	GAULTHERIA SHALLON	SALAL	#2 POT
Pm	44	POLYSTICHUM MINUTUM	WESTERN SWORD FERN	#2 POT
Rs	36	RIBES SANGUINEUM	FLOWERING CURRANT	#3 POT
Tm	100	TAXUS MEDIA HICKSII, MAL	HICKS YEW	#5 POTS
Tx	35	TAXUS MEDIA HICKSII, MAL	HICKS YEW	42" HT., FIELD GROWN, FULL, 500mm O.C., MALE
To	43	THUJA OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR	2.5M HEIGHT
GRASS / PERENNIALS				
sr	26	SMILACINA RACEMOSA	FALSE SOLOMON'S SEAL	#2 POTS
CLIMBERS				
ca	46	CLEMATIS ARMANDII	EVERGREEN CLEMATIS	1200 O.C.
GREEN ROOF				
sa	2450	SEDUM ACRE		8" O.C.
sb	850	SEDUM SPECTABILE 'BRILLIANT'		10" O.C.
sf	2450	SEDUM FLORIFERUM 'WEINHENSTEPHANER GOLD'		8" O.C.

PLANTING: GENERAL NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARD SPECIFIED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD. THIS STANDARD IS PUBLISHED JOINTLY BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) AND THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA).
2. SEARCH AREA FOR ALL PLANT MATERIAL SHALL BE: PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON, AND OREGON.
3. PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THIS PROJECT.
4. ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE. TREES SHALL BE IN GOOD HEALTH AND VIGOR WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, DAMAGE, OR OTHER DISFIGUREMENTS.
5. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED. ONLY CERTIFIED S.O.D. NURSERY STOCK WILL BE ACCEPTED.
6. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT - AS PER SPECIFICATIONS - PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL SHALL BE REJECTED AT NO COST TO THE OWNER.
7. THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
8. PLANT LIST TO BE READ IN CONJUNCTION WITH SPECIFICATIONS FOR COMPLIANCE.
9. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER SPECIFICATIONS, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED.
10. PROVIDE IRRIGATION TO ALL PLANT MATERIAL AS SHOWN ON LANDSCAPE DRAWINGS AND PLANS. PLANTING BENEATH PATIOS AND VERHANGS SHALL BE IRRIGATED ON SEPARATELY VALVED IRRIGATION SYSTEM, THROUGH HEATED GARAGE, WHICH CAN OPERATE DURING WINTER MONTHS.
11. IRRIGATION MUST MEET THE STANDARDS FOR IRRIGATION INSTALLATION SET OUT IN THE CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C, TO VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW.
12. THE PARKS DIVISION MUST INSPECT THE IRRIGATION SYSTEM PRIOR TO BACKFILLING AND AGAIN WHEN THE SYSTEM IS FUNCTIONING.
13. PUBLIC REALM IMPROVEMENTS, INCLUDING STREET TREES, STREET-SIDE ORNAMENTAL GRASSES, SOD, AND PLAZA PLANTING ARE TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM, FROM A DESIGNATED CITY WATER SOURCE. AN IRRIGATION SYSTEM WITH A SEPARATE WATER SERVICE AND DOUBLE CHECK VALVE, FOR TREE WATERING RINGS ONLY, SHALL BE ADDED FOR THE PROPOSED BOULEVARD TREES ALONG BELLEVILLE ST.
14. AN "AS BUILT" PLAN MUST BE SUBMITTED TO THE PARKS DIVISION AFTER INSTALLATION.
15. SIDEWALK AT STREET TREES TO INCLUDE CONTINUOUS STRUCTURAL SOIL TRENCH, FROM BACK OF CURB TO FACE OF BUILDING / PARKING STRUCTURE, TO MIN. 700mm DEPTH.
16. TREES TO BE PROCURED AND PLANTED BY APPLICANT.
17. TREES IDENTIFIED AS 'REPLACEMENT TREES' AS PER CITY OF VICTORIA TREE PROTECTION BYLAW SHALL MEET CITY OF VICTORIA TREE REPLACEMENT GUIDELINES, INCLUDING:
- SHALL BE IN GOOD HEALTH AND VIGOUR WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, DAMAGE, OR OTHER DISFIGUREMENTS, AND SHALL COMPLY WITH THE LATEST VERSION OF THE 'CANADIAN LANDSCAPE STANDARDS' PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND CANADIAN NURSERY LANDSCAPE ASSOCIATION.

STREET TREE INSPECTION NOTES:

THE PROPOSED BOULEVARD TREES MUST COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW AND THE CURRENT VERSION OF THE CANADIAN LANDSCAPE STANDARD. PLANTING DETAILS CAN BE FOUND IN SCHEDULE B3-4. THE FOLLOWING TREE INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT ROB HUGHES, rhughes@victoria.ca AND ALSO COPY treepermits@victoria.ca 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.

- TREE PLANTING INSPECTIONS:
- EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS
  - TREES PRIOR TO PLANTING. (PARKS STAFF CAN INSPECT TREES PRIOR TO SHIPPING AT LOCAL NURSERIES. PHOTOS CAN BE PROVIDED FROM UP-ISLAND AND MAINLAND NURSERIES. TREE MUST MEET THE SPEC UPON DELIVERY.)
  - COMPLETED PLANTING - TREE PLANTING, GRATE/GUARD, STAKES, ETC.

IRRIGATION INSPECTION NOTES:

IRRIGATION SYSTEMS ON CITY PROPERTY SHALL COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW. IRRIGATION DRAWINGS MUST BE SUBMITTED TO PARKS DIVISION FOR REVIEW AND APPROVAL 30 DAYS PRIOR TO INSTALLATION WORK. THE FOLLOWING IRRIGATION AND SLEEVING INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT CHUCK BASS, cbass@victoria.ca AND ALSO COPY treepermits@victoria.ca AND KYLE MCMORRAN kmcmmoran@victoria.ca 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.

- IRRIGATION INSPECTION REQUIREMENTS:
- THE IRRIGATION SYSTEM AND SLEEVING INSPECTION REQUIREMENTS CAN BE FOUND IN SCHEDULE C OF THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042.
  - IRRIGATION SLEEVING PRIOR TO BACKFILLING
  - OPEN TRENCH MAIN LINE AND PRESSURE TEST
  - OPEN TRENCH LATERAL LINE
  - IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY IS TO HAVE AN INSPECTION TAG COMPLETE AND ATTACHED.
  - PLEASE NOTE: PARKS IS NOW REQUESTING THAT 100mm SDR 28 PIPE BE USED FOR IRRIGATION SLEEVING UNDER HARD SURFACES. INSTALLATIONS WHERE A 90-DEGREE BEND IS REQUIRED SHOULD BE INSTALLED USING 100mm SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. PLEASE INSTALL AT 400mm DEPTH.

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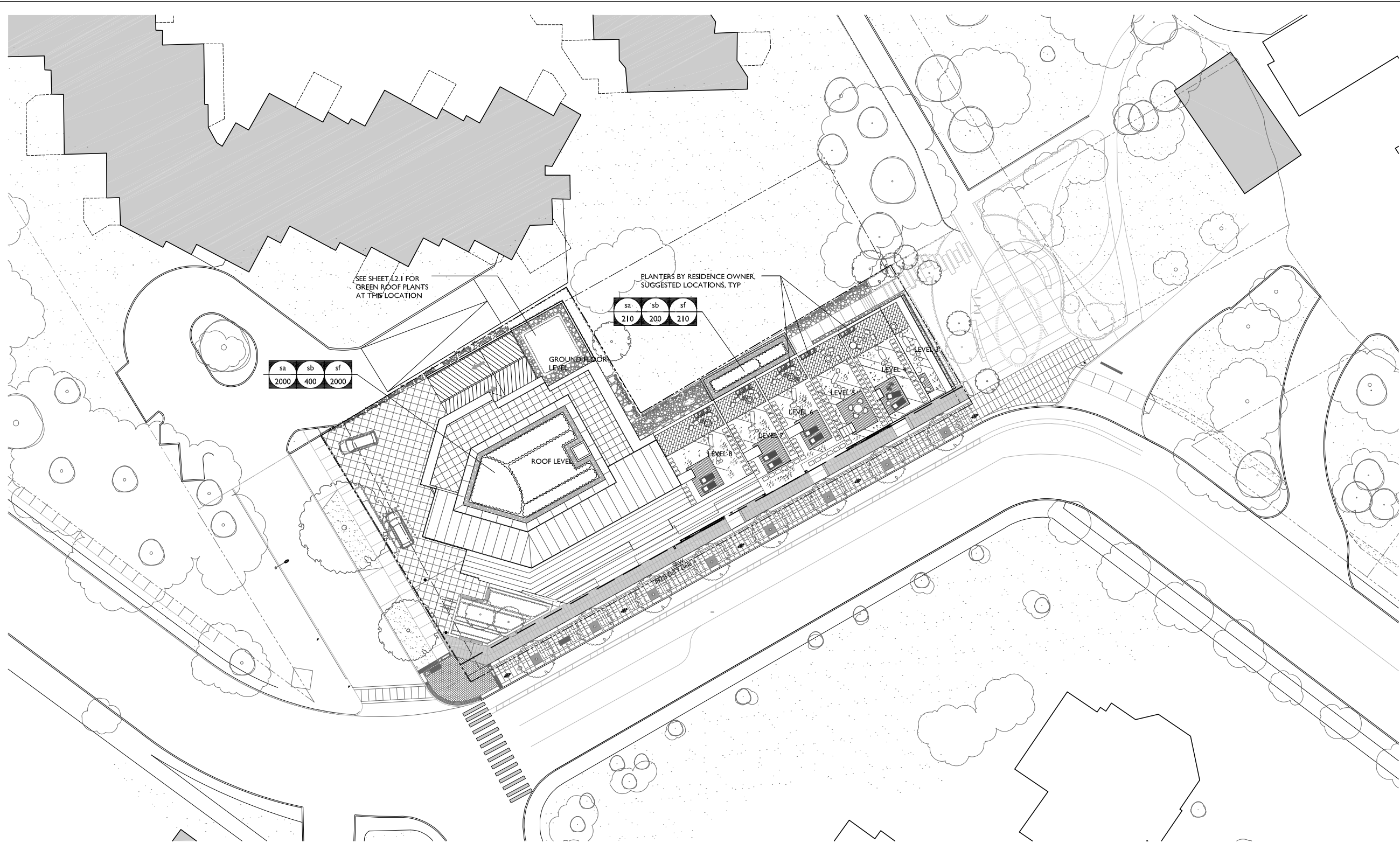
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PLANTING PLAN  
GROUND FLOOR

drawing title		
L2.1		
MD	drawn	1:200 scale
CP	checked	08005 project no.







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drawing title  
**PLANTING PLAN -  
ROOF LEVELS**

**L2.2**  
sheet

MD	drawn	1:200	scale
CP	checked	08005	project no.

SEDUM SPECIES

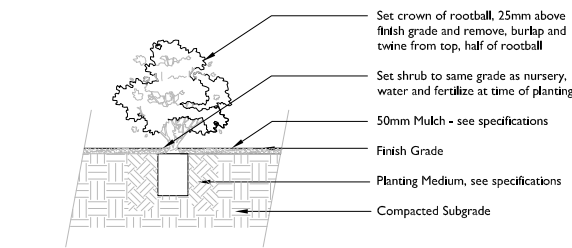


EXTENSIVE GREEN ROOF PLANTING EXAMPLES

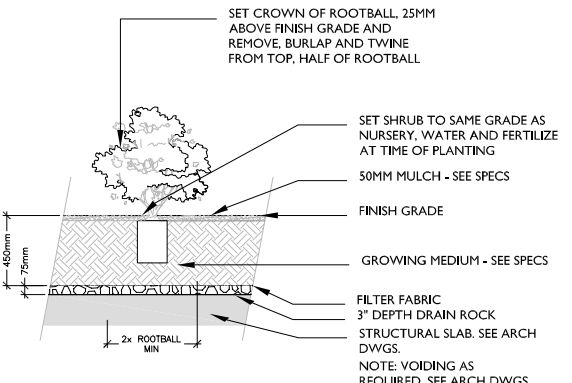


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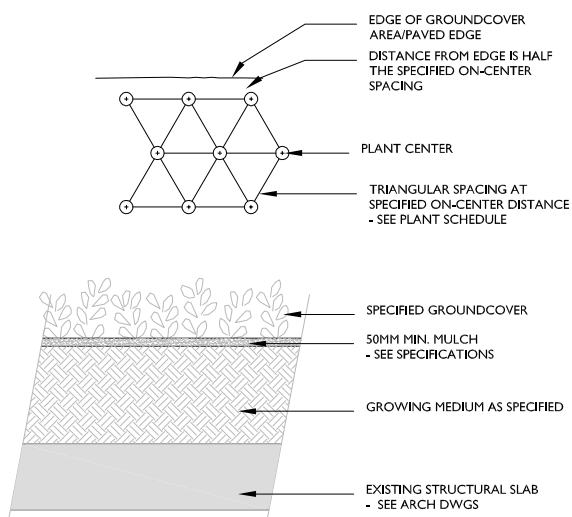




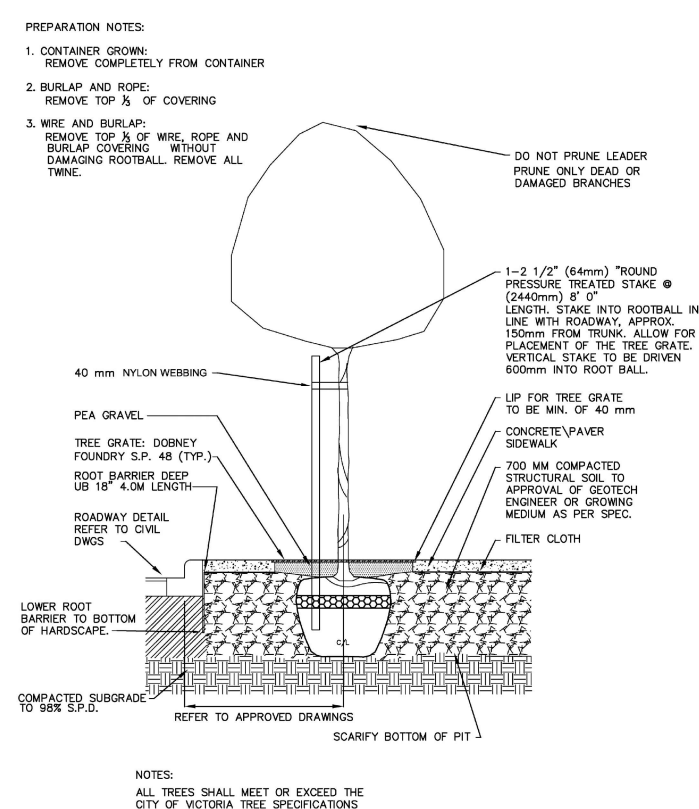
1 SHRUB PLANTING ON GRADE  
L3.1 SCALE: 1:25



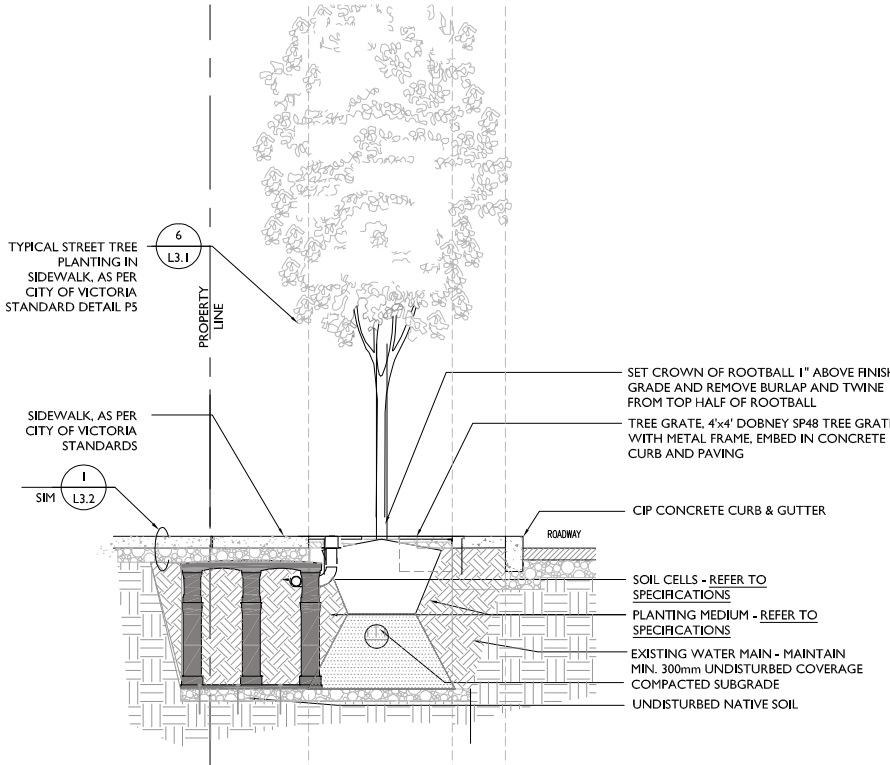
2 SHRUB PLANTING ON SLAB  
L3.1 SCALE: 1:25



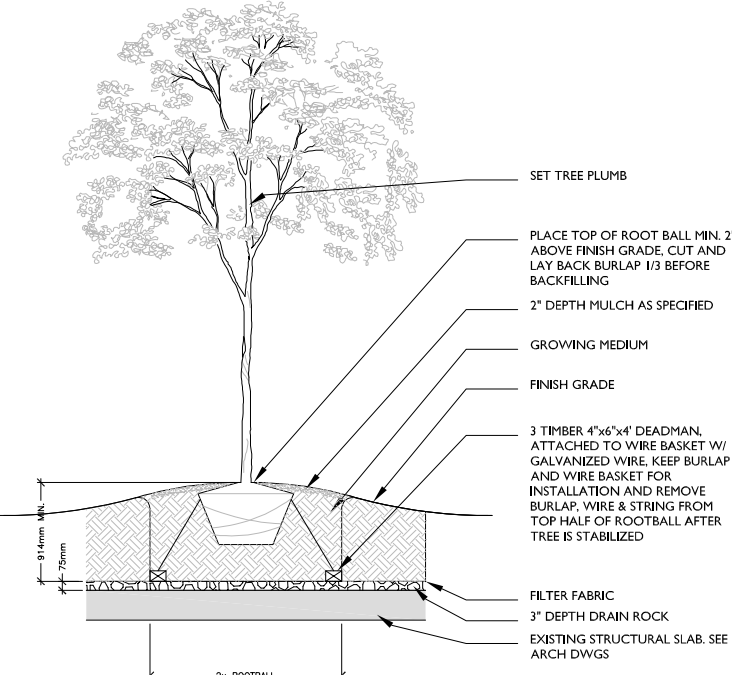
3 GROUNDCOVER ON SLAB  
L3.1 SCALE: 1:20



4 CITY OF VICTORIA TREE PLANTING IN BOULEVARD DETAIL SD P5  
L3.1 SCALE: NTS



5 TYPICAL STREET TREE PLANTING W/ TREE GRATE AND STRUCTURAL SOIL  
L3.1 SCALE: 1:25



6 DECIDUOUS TREE PLANTING ON SLAB  
L3.1 SCALE: 1:25

**TREES**

ACER RUBRUM 'BOWHALL' BOWHALL UPRIGHT RED MAPLE

ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE

STYRAX JAPONICA - JAPANESE SNOWBALL

**SHRUBS / GROUNDCOVERS**

TAXUS MEDIA 'HICKSII' - HICKS YEW

BUXUS JAPONICUM - 'GREEN BEAUTY' BOXWOOD

STIPA TENNUISIMA - MEXICAN FEATHER GRASS

RUDBECKIA 'GOLDSTURM' - GOLDSTURM CONEFLOWER

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	For Coordination	July 30/21
	Re-issued for Development Permit	Dec 06/21
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**PFS STUDIO**  
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Calgary Alberta T2R 0A4  
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f 403.264.8029

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**PLANTING DETAILS**

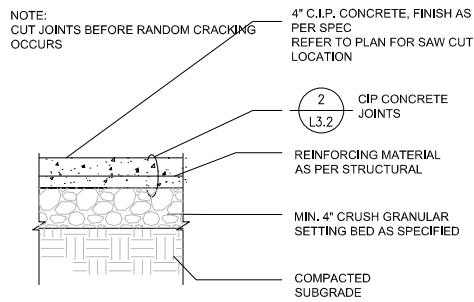
L3.1

sheet

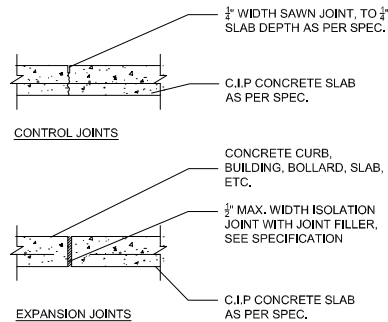
MD	drawn	AS NOTED	scale
CP	checked	08005	project no.

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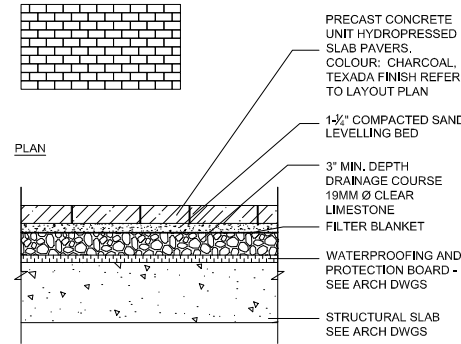




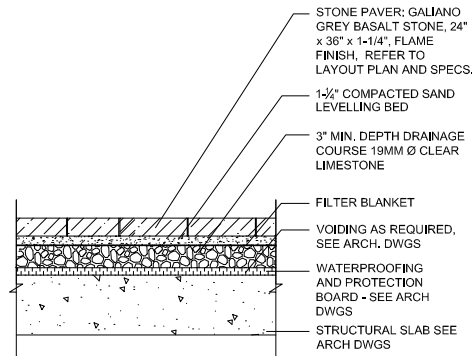
1 CIP CONCRETE PAVING  
L3.2 SCALE: 1:10



2 CIP CONCRETE JOINTS TYP.  
L3.2 SCALE: 1"=1'



3 UNIT CONCRETE PAVING  
L3.2 SCALE: 1:10



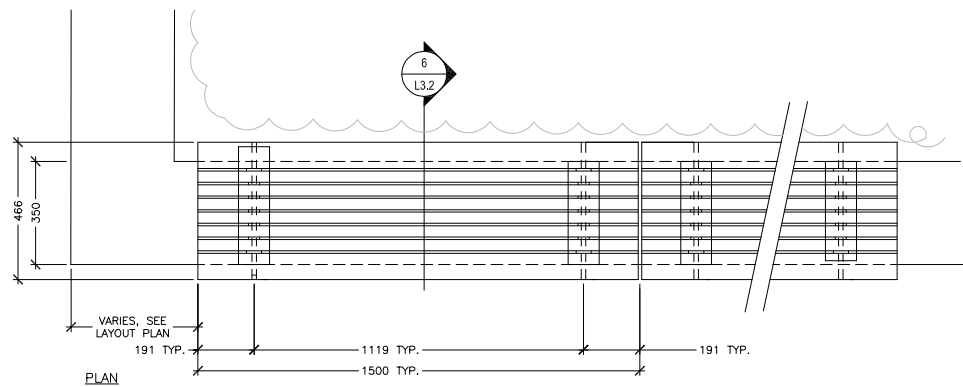
4 STONE PAVING ON STRUCTURE  
L3.2 SCALE: 1:10



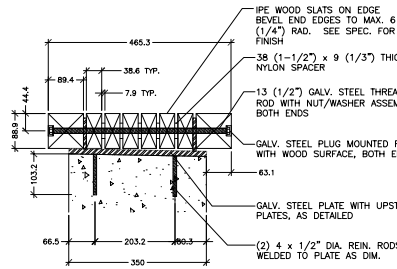
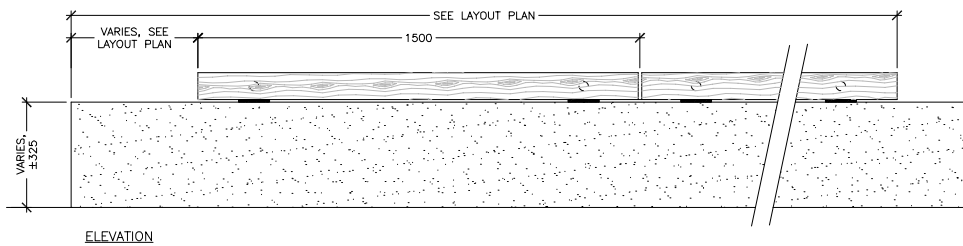
BASALT AND CONCRETE PAVING - EXAMPLE



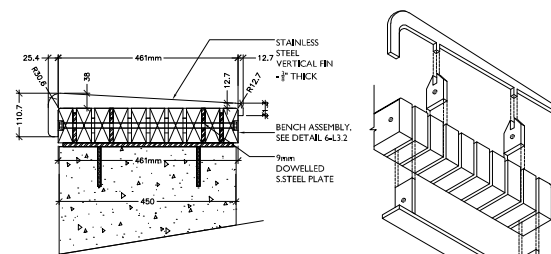
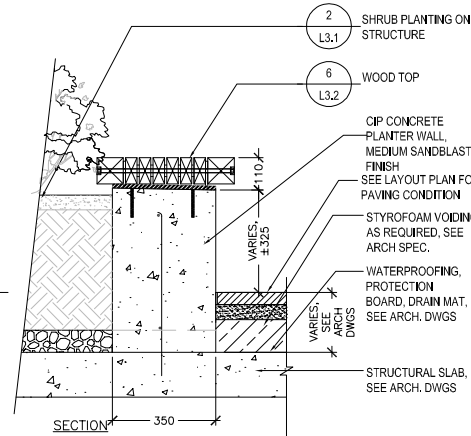
BIKE RACK - EXAMPLE



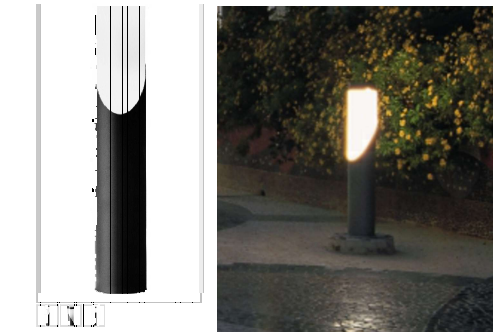
5 WOOD BENCH ON CONCRETE PLANTER WALL  
L3.2 SCALE: -



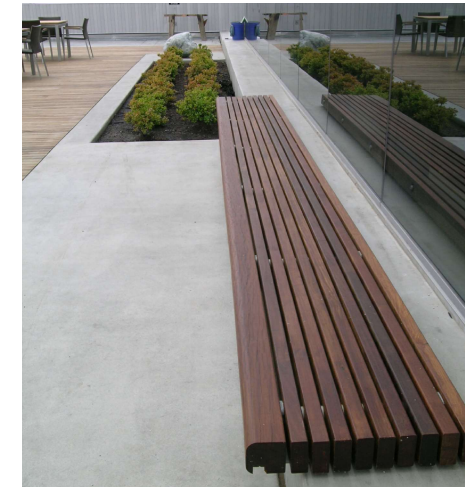
6 BENCH WOOD TOP, TYP.  
L3.2 SCALE: nts



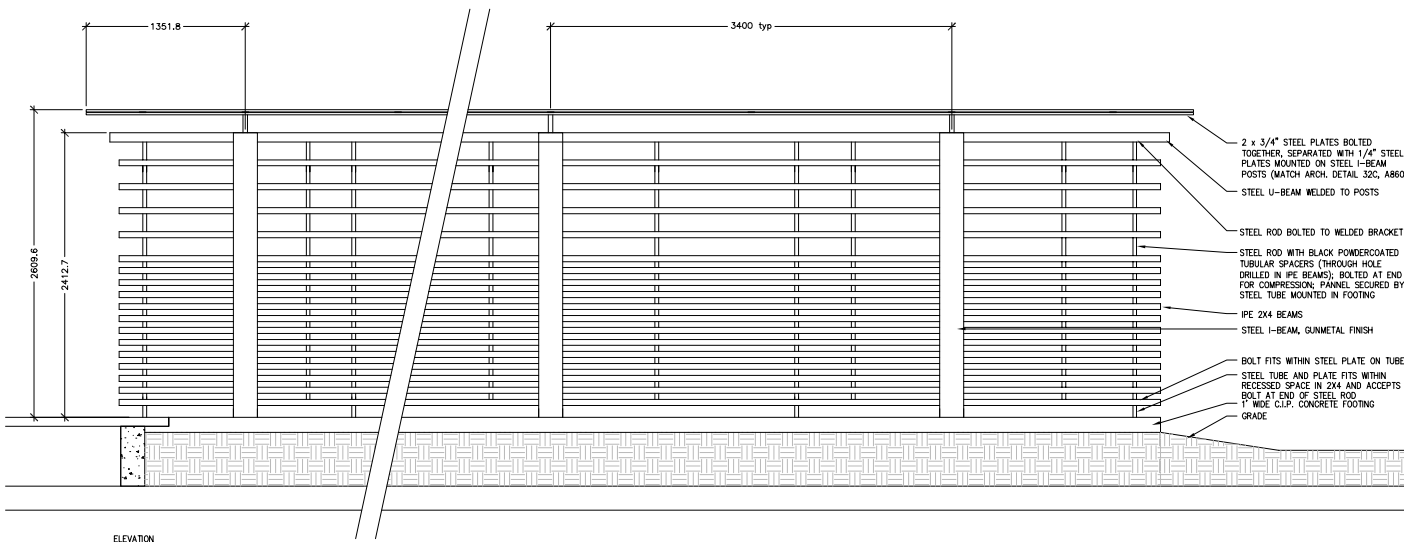
6a SKATEBOARD DETERRENT  
L3.2 SCALE: nts



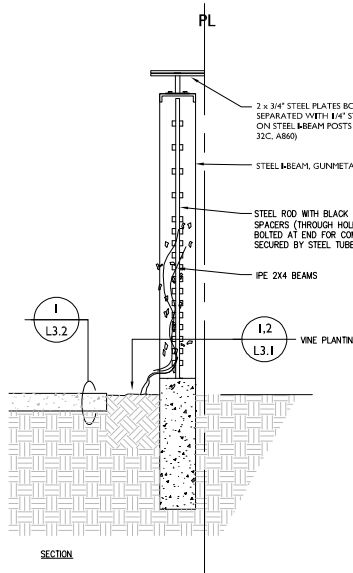
BOLLARD LIGHT - EXAMPLE



WOOD TOP BENCH - EXAMPLE



7 WOOD SCREEN  
L3.2 SCALE: -



WOOD SCREEN - EXAMPLE

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**LANDSCAPE SECTIONS  
and DETAILS**

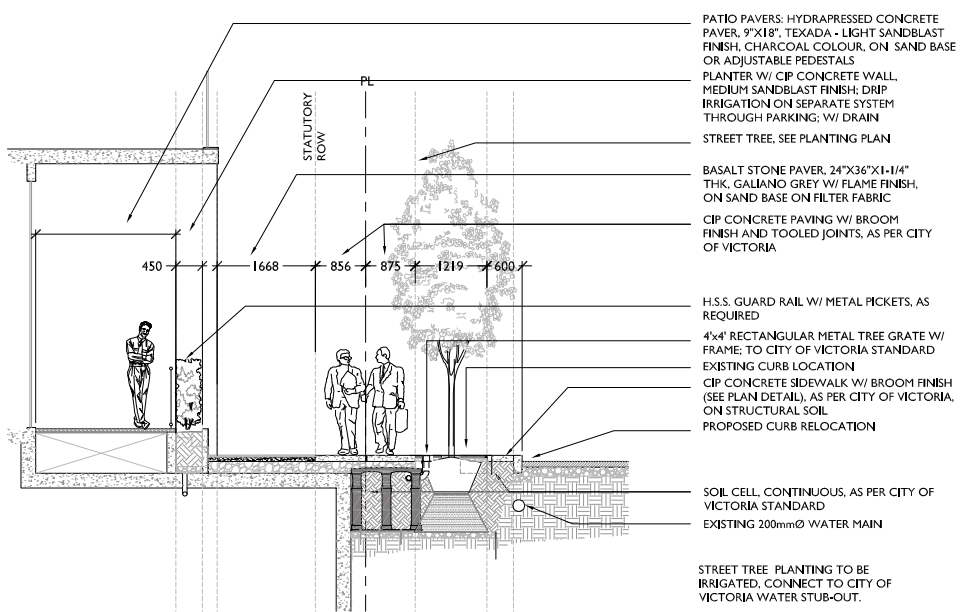
L3.2	sheet
MD	drawn
CP	checked
I:200	scale
08005	project no.

These drawings are to be read in conjunction with the specifications, structural, mechanical and electrical drawings. This drawing must not be scaled. All dimensions, data and levels shall be verified before construction, and any errors or omissions reported immediately to the Architect.

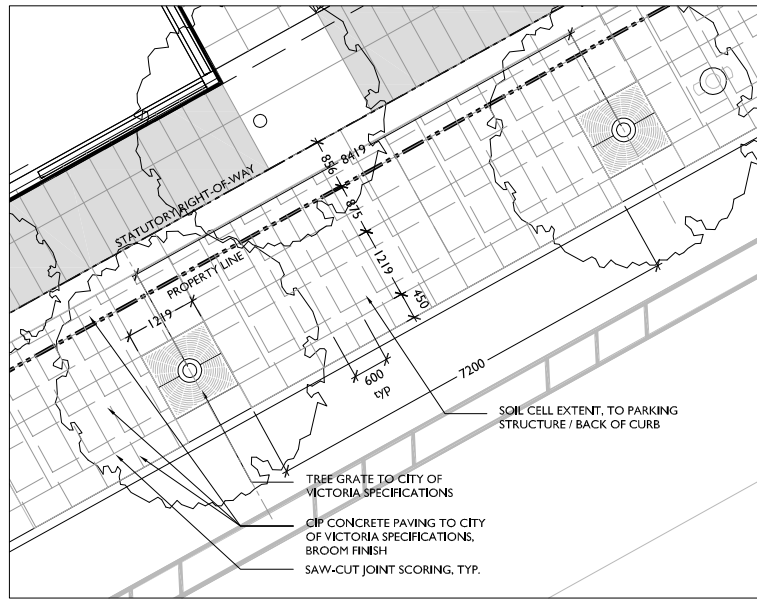




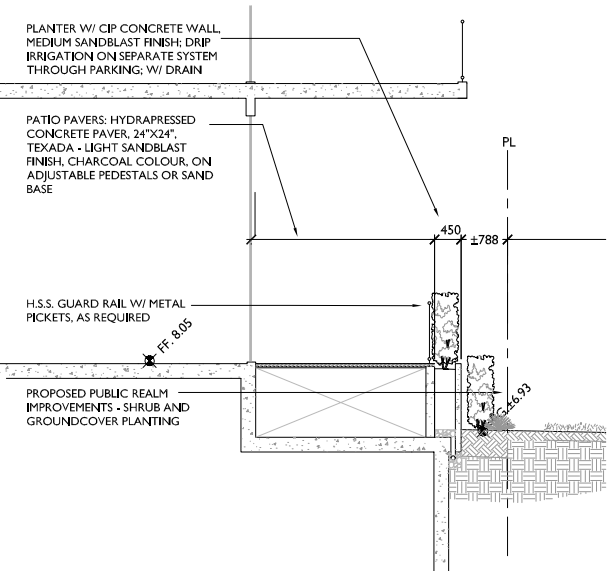
SECTION KEY  
NOT TO SCALE



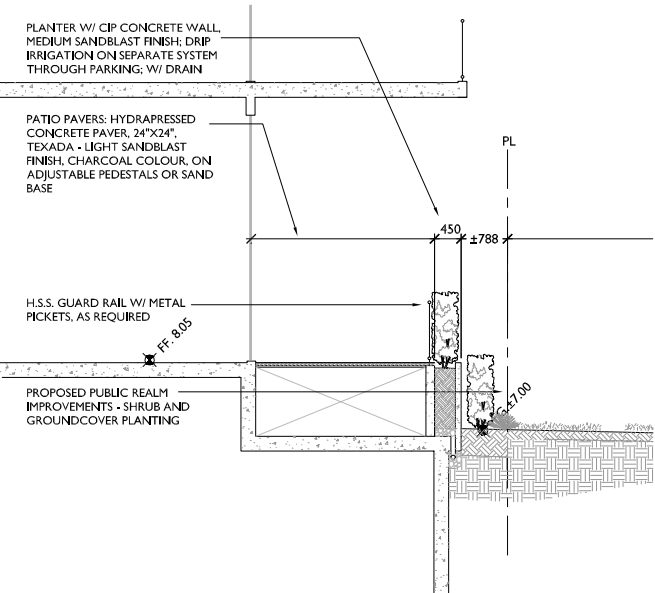
SECTION I - AT PENDRAY STREET - STREET TREE & GRATE  
SCALE: 1:50



PLAN DETAIL- PENDRAY STREET SIDEWALK PAVING  
SCALE: 1:50



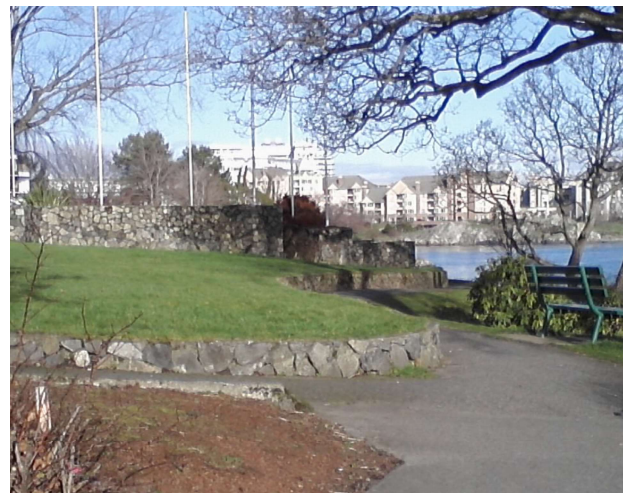
SECTION 2 - AT PUBLIC R.O.W., NORTH-WEST  
SCALE: 1:50



SECTION 3 - AT PUBLIC R.O.W., NORTH-WEST  
SCALE: 1:50

PLAN DETAIL DELETED  
- NOT IN SCOPE

PLAN DETAIL - PUBLIC R.O.W., NW (N.I.C.)  
SCALE: 1:100



PRECEDENT:  
CENTENNIAL PARK - LOW WALL W/ STONE FACING

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LANDSCAPE SECTIONS  
and DETAILS

L3.3

MD	drawn	1:200	scale
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