



ARCHITECTURAL DRAWINGS

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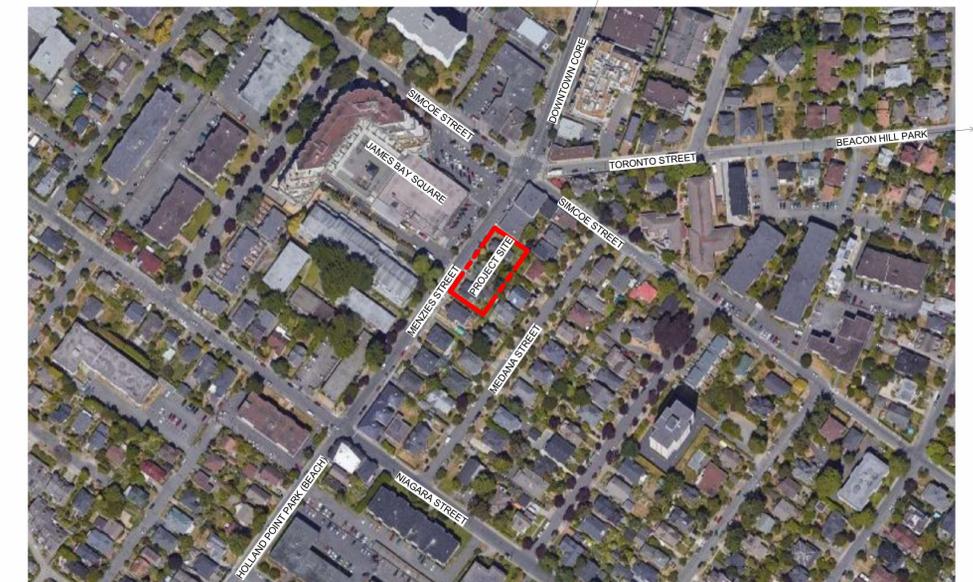
CIVIL DRAWINGS

Sheet Number	Sheet Name
3757-01	SERVICING PLAN AND PROFILE GENERAL NOTES LOCATION PLAN

LANDSCAPE DRAWINGS

Sheet Number	Sheet Name
L100	LANDSCAPE CONCEPT PLAN
L101	LANDSCAPE CONCEPT PLAN (ROOF)

LOCATION PLAN



ARCHITECTURAL:

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No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22

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Issued for DP Amendment

2024-09-17



ZONING DATA

SITE DATA	
MUNICIPAL ADDRESS:	131, 135 & 139 MENZIES STREET, VICTORIA BC, V8V 2G4
LEGAL DESCRIPTION:	LOT 22, 23 & 24, SECTION 11, BECKLEY FARM, VICTORIA CITY, PLAN 753
EXISTING LOT AREA:	918.78m ² (LOT 22 & 23) + 459.60m ² (LOT 24) = 1378.4m ²
CONSOLIDATED LOT AREA (POST DEDICATION):	828.83m ² (LOT 22 & 23) + 415.03m ² (LOT 24) = 1243.9m ²

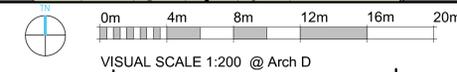
ZONING DATA		
AREA SCHEDULE - FSR APARTMENT	GROSS FLOOR BUILDING AREA	
	LEVEL	AREA (m ²)
L1	L1	743 m ²
L2	L2	688.4 m ²
L3	L3	688.4 m ²
L4	L4	623.6 m ²
TOTAL FSR AREA	TOTAL GROSS AREA	2743.5 m ²

CLASSIFICATION:	EXISTING = R-2	REZONED
AVERAGE GRADE:	14.14m GEO	
	ALLOWABLE	PROPOSED
SITE COVERAGE:	497m ² (40%)	783.4 m ² (63.0%)
OPEN SITE SPACE:	373m ² (30%)	465.9 m ² (37.5%)
FSR:	0.5 - 1.0	1.99
BUILDING HEIGHT:	7.6m	14.10m*
NUMBER OF STOREYS:	1	4
SETBACKS	REQUIRED	PROVIDED
FRONT YARD:	7.50m / 1.63m (AVG SIDE LOTS)	0.00m
REAR YARD:	10.70m	5.36m
SIDE YARD (NORTH):	3.00m / 1.50m MIN	3.35m
SIDE YARD (SOUTH):	3.00m / 1.50m MIN	3.30m
COMBINED SIDE YARDS:	4.5m	6.65m
CAR PARKING	REQUIRED	PROVIDED
< 45m ² (0.2/UNIT) x 34	6.8	1
45-70m ² (0.5/UNIT) x 5	2.5	
> 70m ² (0.75/UNIT) x 4	3	
VISITORS (0.1/UNIT) x 42	4.2	3
COMMERCIAL(1/50m ²)122m ²	3	
ACCESSIBLE SPACES	1 (VAN)	1
TOTAL	20	2
BICYCLE PARKING	REQUIRED	PROVIDED
< 45m ² (1.0/UNIT) x 34	34	31 U-RACK STALLS (ELEC) 2 SHARED U-RACK STALLS (ELEC) 34 WALL MOUNTED STALLS (ELEC) 9 CARGO BIKE STALLS (ELEC) 1 SHARED CARGO BIKE STALLS (ELEC) 8 VISITOR
45-70m ² (1.25/UNIT) x 5	6.25	
> 70m ² (1.25/UNIT) x 4	5	
VISITORS (6/BLDG)	6	1
COMMERCIAL(1/200) 122m ²	1	
TOTAL	52	85

*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES

TOTAL UNITS BY AREA UNDER 45m ² (AREA FOR PARKING CALCULATION)		TOTAL UNITS BY AREA 45m ² TO 70m ² (AREA FOR PARKING CALCULATION)	
UNIT TYPE	AREA	UNIT TYPE	AREA
STUDIO 3	26.8 m ²	2 BEDROOM	56 m ²
26.8 m ² 3		56 m ² 5	
STUDIO 2	29.8 m ²	TOTAL UNIT COUNT: 5	
29.8 m ² 1		TOTAL UNITS BY AREA GREATER THAN 70m ² (AREA FOR PARKING CALCULATION)	
STUDIO 2	29.9 m ²	UNIT TYPE	
29.9 m ² 5		Area	
STUDIO 2	30 m ²		
30 m ² 1			
STUDIO 2	30.2 m ²	3 BEDROOM	71.8 m ²
30.2 m ² 8		71.8 m ² 1	
STUDIO 1	31.9 m ²	3 BEDROOM	71.9 m ²
31.9 m ² 1		71.9 m ² 1	
1 BEDROOM	42.7 m ²	3 BEDROOM	72 m ²
42.7 m ² 3		72 m ² 2	
1 BEDROOM	42.8 m ²	TOTAL UNIT COUNT: 4	
42.8 m ² 3			
1 BEDROOM	43 m ²		
43 m ² 3			
1 BEDROOM	43.1 m ²		
43.1 m ² 6			
TOTAL UNIT COUNT: 34			

1 | SITE PLAN
1:200



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ARCHITECTURE

519 PANDORA AVENUE, VICTORIA, B.C. V8W 1N5 +1 250 388 4261

MIKE GERIC
CONSTRUCTION

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24
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1	ISSUED FOR DP	02/05/22

Issued for DP Amendment

2024-09-17

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

SITE PLAN

A-1.0

JOB No.: 2403

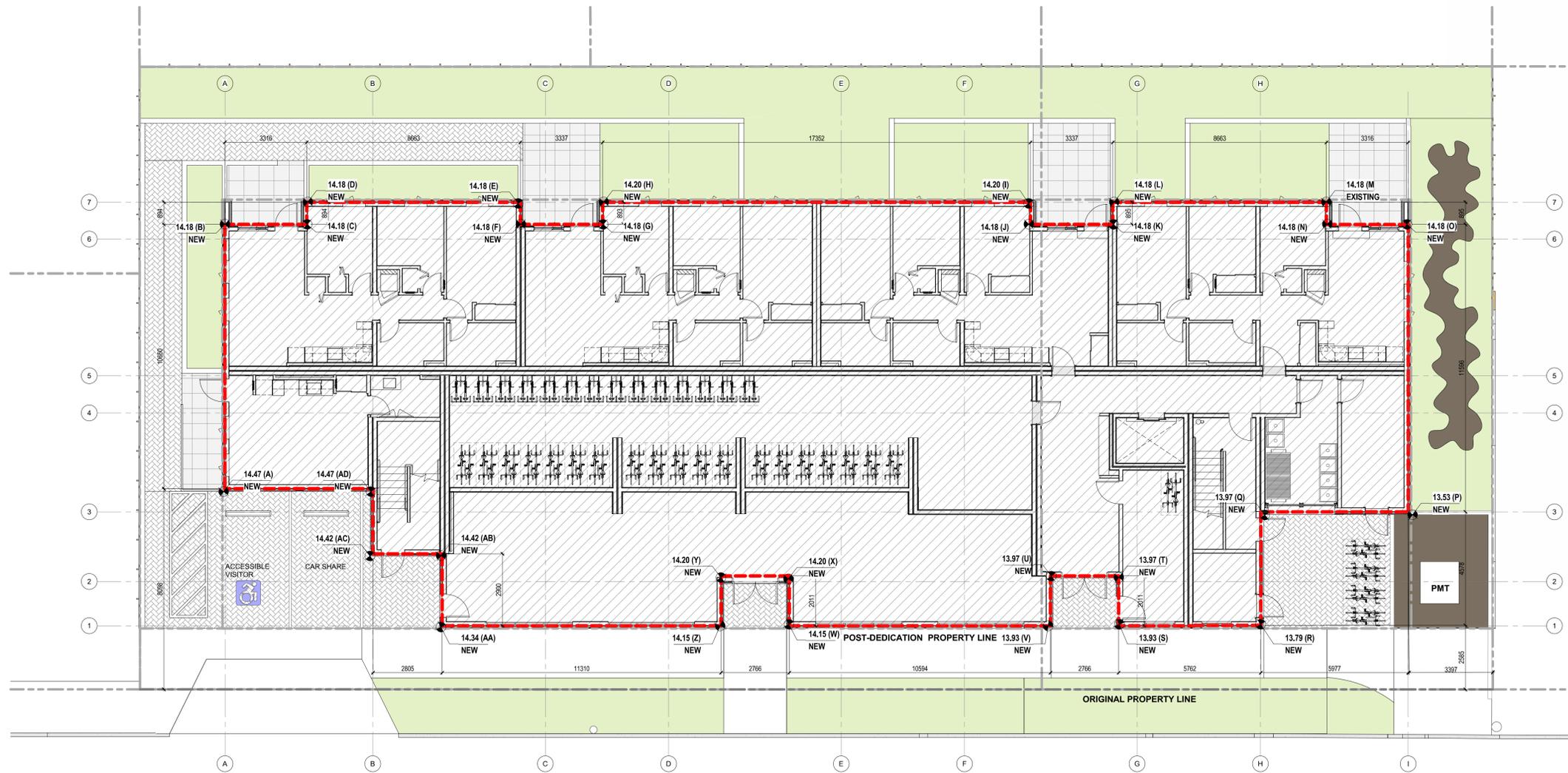
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DATE: 2023-04-04

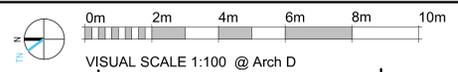
AVERAGE GRADE CALCULATION

Points	Average of points	Distance	Totals
A-B	14.325	10.66	152.70
B-C	14.18	3.32	47.02
C-D	14.18	0.89	12.68
D-E	14.18	8.66	122.84
E-F	14.18	0.89	12.66
F-G	14.18	3.34	47.32
G-H	14.19	0.89	12.67
H-I	14.2	17.35	246.40
I-J	14.19	0.89	12.69
J-K	14.18	3.34	47.32
K-L	14.18	0.89	12.68
L-M	14.18	8.66	122.84
M-N	14.18	0.90	12.69
N-O	14.18	3.32	47.02
O-P	13.855	11.60	160.66
P-Q	13.75	5.98	82.18
Q-R	13.88	4.58	63.54
R-S	13.86	5.76	79.86
S-T	13.95	2.01	28.05
T-U	13.97	2.77	38.64
U-V	13.95	2.01	28.05
V-W	14.04	10.59	148.74
W-X	14.175	2.01	28.51
X-Y	14.2	2.77	39.28
Y-Z	14.175	2.01	28.51
Z-AA	14.245	11.31	161.11
AA-AB	14.38	2.90	41.70
AB-AC	14.42	2.81	40.45
AC-AD	14.445	2.63	38.03
AD-A	14.47	6.01	86.89
TOTALS		141.74	2003.74

AVERAGE GRADE: **14.14** m (GEO)



1 | AVERAGE GRADE PLAN
1 : 100



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MIKE GERIC
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2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22

Issued for DP Amendment
2024-09-17

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

AVERAGE GRADE PLAN

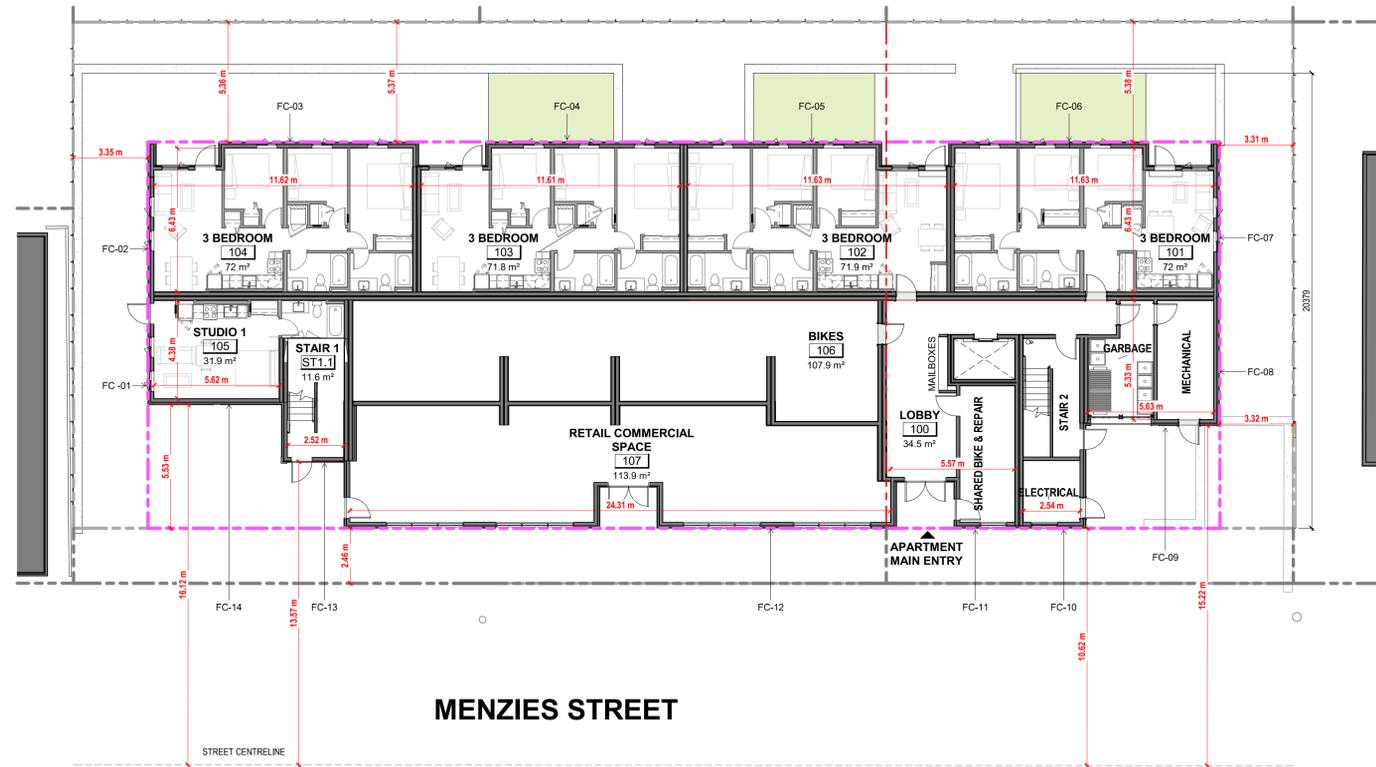
Job No.: 2403

SCALE: 1 : 100

A-1.2

DATE: 02/05/22

LIMITING DISTANCE CALCULATIONS PART 3



1 | L1 FLOOR PLAN, LD CALCULATION

1 : 150



2 | L2 FLOOR PLAN, LD CALCULATION

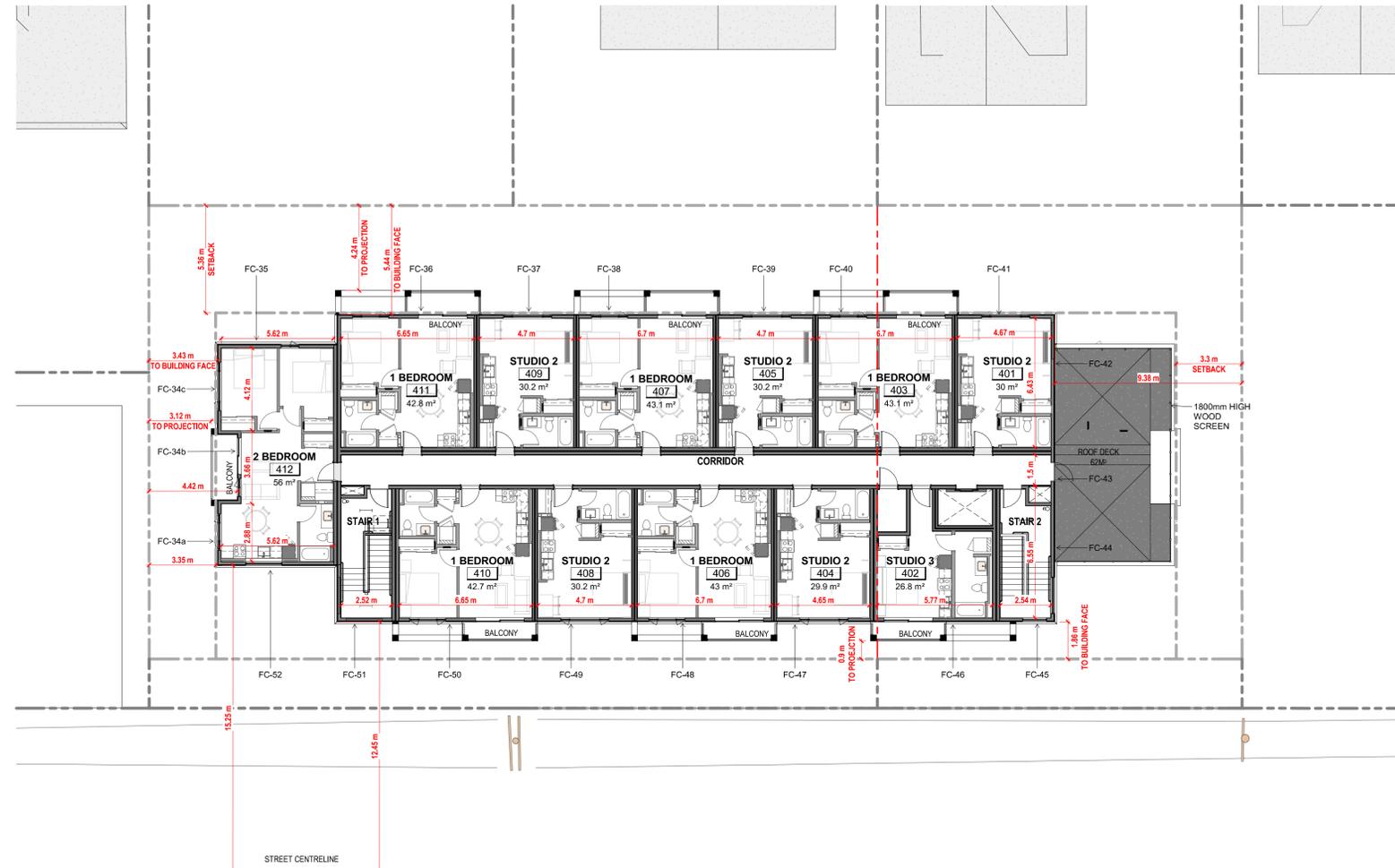
1 : 150



LEVEL 1 (VARRIED CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M ²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-01	15.86 / 3.79	18% / 42%	3.35	3.35
FC-02	23.28 / 4.46	19% / 31%	3.35	3.35
EAST ELEVATION				
FC-03	42.10 / 10.51	25% / 54%	5.36	5.36
FC-04	42.10 / 10.51	23% / 54%	5.36	5.36
FC-05	42.10 / 10.51	25% / 54%	5.36	5.36
FC-06	42.10 / 10.51	25% / 54%	5.36	5.36
SOUTH ELEVATION				
FC-07	23.28 / 4.46	19% / 30%	3.31	3.31
FC-08	20.47 / 3.91	19% / 33%	3.31	3.31
WEST ELEVATION				
FC-09	21.62 / 7.16	33% / 100%	15.22	15.22
FC-10	9.60 / 3.30	34% / 100%	10.59	10.59
FC-11	21.84 / 7.08	32% / 100%	10.59	10.59
FC-12	84.35 / 42.28	52% / 99%	10.59	10.59
FC-13	9.28 / 1.95	21% / 100%	13.51	13.51
FC-14	20.34 / 5.12	25% / 100%	16.12	16.12
LEVEL 2 & 3 (2.74M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M ²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-15a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-15b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-15c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-16	15.40 / 1.39	9% / 100%	6.86	6.86
FC-17	18.36 / 7.87	43% / 92%	5.38	5.38
FC-18	12.88 / 5.08	39% / 100%	5.38	5.38
FC-19	18.36 / 7.87	43% / 92%	5.38	5.38
FC-20	12.88 / 5.08	39% / 100%	5.38	5.38
FC-21	18.36 / 7.87	43% / 92%	5.38	5.38
FC-22	12.88 / 5.08	39% / 100%	5.38	5.38
FC-23	15.40 / 1.39	9% / 100%	6.86	6.86
SOUTH ELEVATION				
FC-24a	7.89 / 2.79	35% / 60%	3.32	3.32
FC-24b	10.03 / 5.20	52% / 94%	4.33	4.33
FC-24c	11.29 / 3.72	33% / 56%	3.32	3.32
WEST ELEVATION				
FC-25	15.40 / 1.10	7% / 100%	15.24	15.24
FC-26	22.98 / 2.23	10% / 100%	12.42	12.42
FC-27	16.00 / 5.08	32% / 100%	12.42	12.42
FC-28	12.69 / 2.79	22% / 100%	12.42	12.42
FC-29	18.17 / 7.87	43% / 100%	12.42	12.42
FC-30	12.69 / 2.79	22% / 100%	12.42	12.42
FC-31	18.17 / 7.87	43% / 100%	12.42	12.42
FC-32	22.98 / 3.35	15% / 100%	12.42	12.42
FC-33	15.40 / 1.10	7% / 100%	15.24	15.24
LEVEL 4 (2.85M / 3.50M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M ²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-34a	8.21 / 2.79	34% / 62%	3.35	3.35
FC-34b	10.43 / 3.81	37% / 93%	4.36	4.36
FC-34c	11.74 / 3.72	32% / 55%	3.35	3.35
EAST ELEVATION				
FC-35	16.02 / 1.39	9% / 100%	6.86	6.86
FC-36	23.45 / 7.87	34% / 81%	5.36	5.36
FC-37	16.45 / 2.79	17% / 97%	5.36	5.36
FC-38	23.45 / 7.87	34% / 81%	5.36	5.36
FC-39	16.45 / 2.79	17% / 97%	5.36	5.36
FC-40	23.45 / 7.87	34% / 81%	5.36	5.36
FC-41	16.45 / 2.79	17% / 97%	5.36	5.36
SOUTH ELEVATION				
FC-42	22.51 / 1.12	9% / 100%	9.33	9.33
FC-43	5.25 / 1.95	37% / 100%	9.33	9.33
FC-44	53.27 / 7.25	14% / 100%	9.33	9.33
WEST ELEVATION				
FC-45	22.98 / 3.29	14% / 100%	12.42	12.42
FC-46	20.44 / 5.08	25% / 100%	12.42	12.42
FC-47	16.21 / 5.08	31% / 100%	12.42	12.42
FC-48	23.21 / 7.87	34% / 100%	12.42	12.42
FC-49	16.21 / 5.08	31% / 100%	12.42	12.42
FC-50	23.21 / 7.87	34% / 100%	12.42	12.42
FC-51	22.98 / 3.35	15% / 100%	12.42	12.42
FC-52	13.20 / 1.12	8% / 100%	15.24	15.24

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5	ISSUED FOR DP AMENDMENT	08/19/23

LIMITING DISTANCE CALCULATIONS PART 3



LEVEL 1 (VARRIED CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-01	15.86 / 3.79	18% / 42%	3.35	3.35
FC-02	23.28 / 4.46	19% / 31%	3.35	3.35
EAST ELEVATION				
FC-03	42.10 / 10.51	25% / 54%	5.36	5.36
FC-04	42.10 / 10.51	25% / 54%	5.36	5.36
FC-05	42.10 / 10.51	25% / 54%	5.36	5.36
FC-06	42.10 / 10.51	25% / 54%	5.36	5.36
SOUTH ELEVATION				
FC-07	23.28 / 4.46	19% / 30%	3.31	3.31
FC-08	20.47 / 3.91	19% / 33%	3.31	3.31
WEST ELEVATION				
FC-09	21.62 / 7.16	33% / 100%	15.22	15.22
FC-10	9.60 / 3.30	34% / 100%	10.59	10.59
FC-11	21.84 / 7.08	32% / 100%	10.59	10.59
FC-12	84.36 / 42.28	50% / 89%	10.59	10.59
FC-13	8.23 / 1.95	21% / 100%	13.51	13.51
FC-14	20.34 / 5.12	25% / 100%	16.12	16.12
LEVEL 2 & 3 (2.74M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-15a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-15b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-15c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-16	15.40 / 1.39	9% / 100%	6.86	6.86
FC-17	18.36 / 7.87	43% / 92%	5.38	5.38
FC-18	12.88 / 5.08	39% / 100%	5.38	5.38
FC-19	18.36 / 7.87	43% / 92%	5.38	5.38
FC-20	12.88 / 5.08	39% / 100%	5.38	5.38
FC-21	18.36 / 7.87	43% / 92%	5.38	5.38
FC-22	12.88 / 5.08	39% / 100%	5.38	5.38
FC-23	15.40 / 1.39	9% / 100%	6.86	6.86
SOUTH ELEVATION				
FC-24a	7.89 / 2.79	35% / 60%	3.32	3.32
FC-24b	10.03 / 5.20	52% / 94%	4.33	4.33
FC-24c	11.29 / 3.72	33% / 56%	3.32	3.32
WEST ELEVATION				
FC-25	15.40 / 1.10	7% / 100%	15.24	15.24
FC-26	22.98 / 2.23	10% / 100%	12.42	12.42
FC-27	16.00 / 5.08	32% / 100%	12.42	12.42
FC-28	12.89 / 2.79	22% / 100%	12.42	12.42
FC-29	18.17 / 7.87	43% / 100%	12.42	12.42
FC-30	12.89 / 2.79	22% / 100%	12.42	12.42
FC-31	18.17 / 7.87	43% / 100%	12.42	12.42
FC-32	22.98 / 3.35	15% / 100%	12.42	12.42
FC-33	15.40 / 1.10	7% / 100%	15.24	15.24
LEVEL 4 (2.85M / 3.50M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-34a	8.21 / 2.79	34% / 62%	3.35	3.35
FC-34b	10.43 / 3.81	37% / 93%	4.36	4.36
FC-34c	11.74 / 3.72	32% / 55%	3.35	3.35
EAST ELEVATION				
FC-35	16.02 / 1.39	9% / 100%	6.86	6.86
FC-36	23.45 / 7.87	34% / 81%	5.36	5.36
FC-37	16.45 / 2.79	17% / 97%	5.36	5.36
FC-38	23.45 / 7.87	34% / 81%	5.36	5.36
FC-39	16.45 / 2.79	17% / 97%	5.36	5.36
FC-40	23.45 / 7.87	34% / 81%	5.36	5.36
FC-41	16.45 / 2.79	17% / 97%	5.36	5.36
SOUTH ELEVATION				
FC-42	22.51 / 1.12	5% / 100%	9.33	9.33
FC-43	5.25 / 1.95	37% / 100%	9.33	9.33
FC-44	53.27 / 7.25	14% / 100%	9.33	9.33
WEST ELEVATION				
FC-45	22.98 / 3.29	14% / 100%	12.42	12.42
FC-46	20.44 / 5.08	25% / 100%	12.42	12.42
FC-47	16.21 / 5.08	31% / 100%	12.42	12.42
FC-48	23.21 / 7.87	34% / 100%	12.42	12.42
FC-49	16.21 / 5.08	31% / 100%	12.42	12.42
FC-50	23.21 / 7.87	34% / 100%	12.42	12.42
FC-51	22.98 / 3.35	15% / 100%	12.42	12.42
FC-52	13.20 / 1.12	8% / 100%	15.24	15.24

1 | L4 FLOOR PLAN CODE

1 : 150



519 PANDORA AVENUE, VICTORIA, B.C. V8W 1N5 +1 250 388 4261

MIKE GERIG
CONSTRUCTION

NO.	DESCRIPTION	DATE
8	ISSUED FOR DP AMENDMENT	09/13/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24

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131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

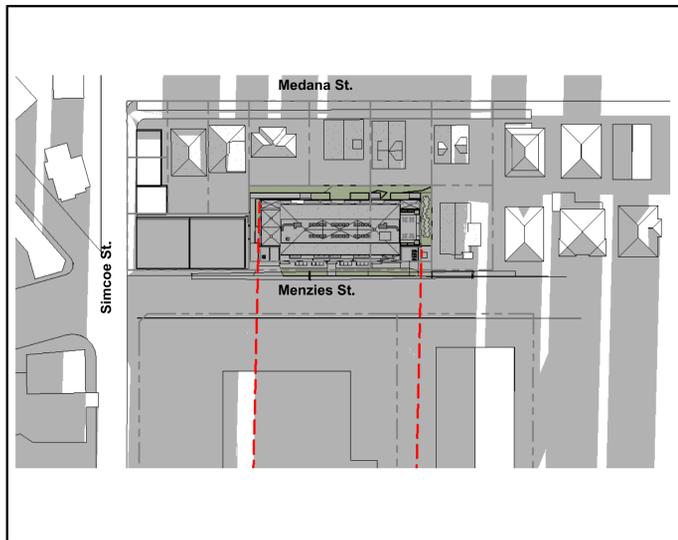
CODE PLANS

JOB No.: 2403

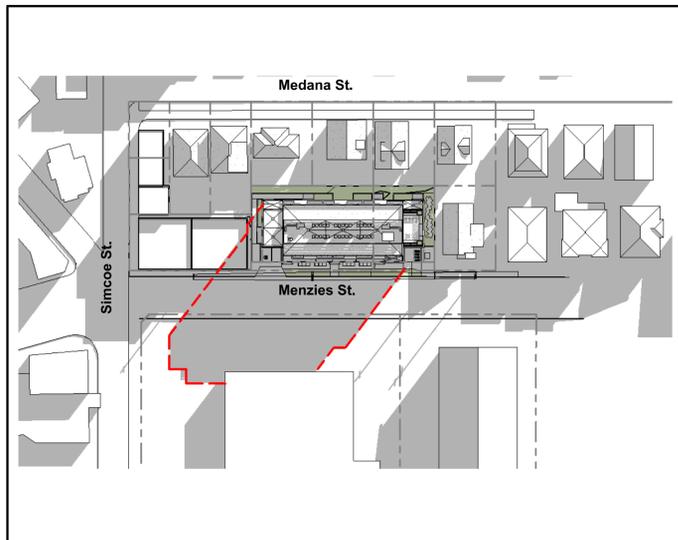
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A-1.4

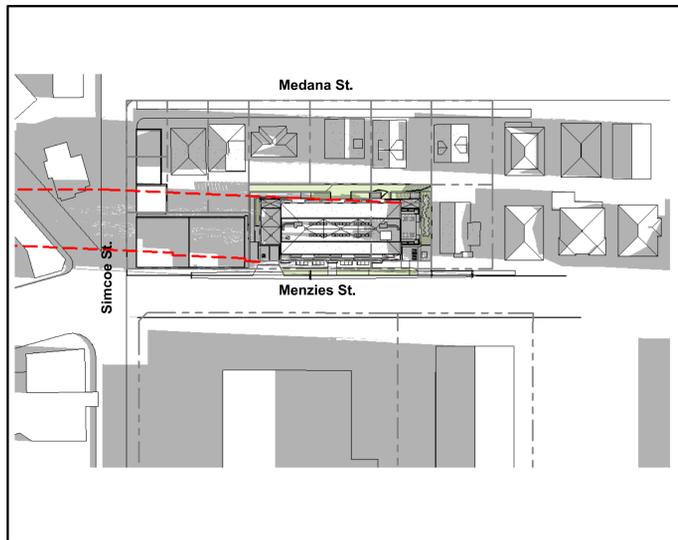
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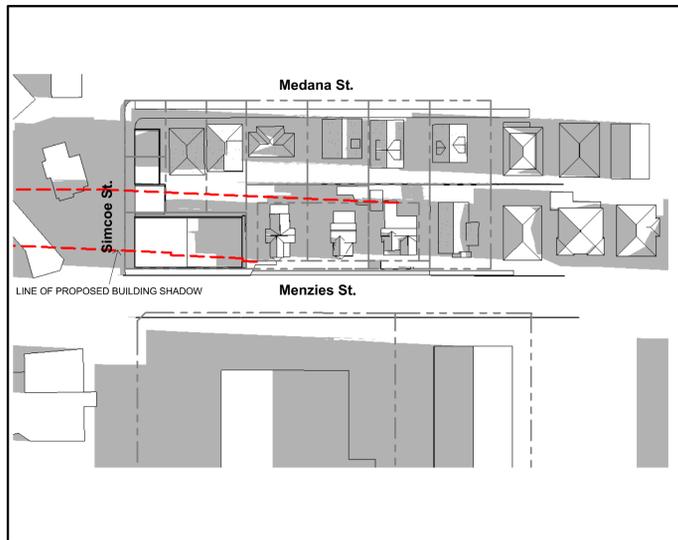
1 | SHADOWS - WINTER SOLTICE - 8am
1: 1000



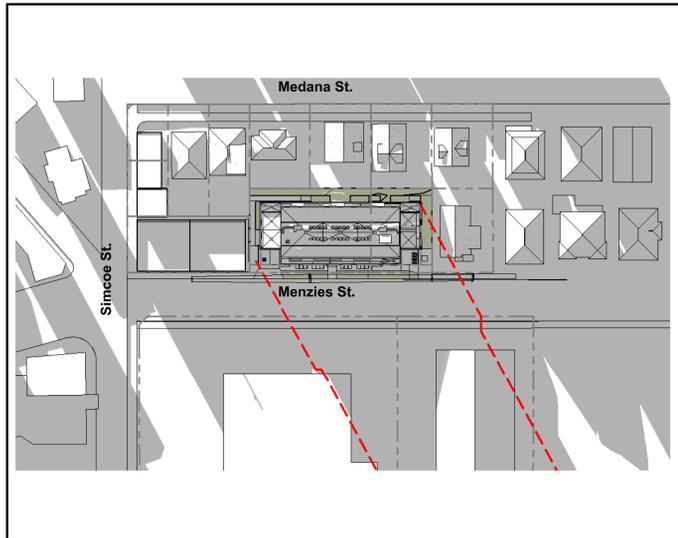
2 | SHADOWS - WINTER SOLTICE - NOON
1: 1000



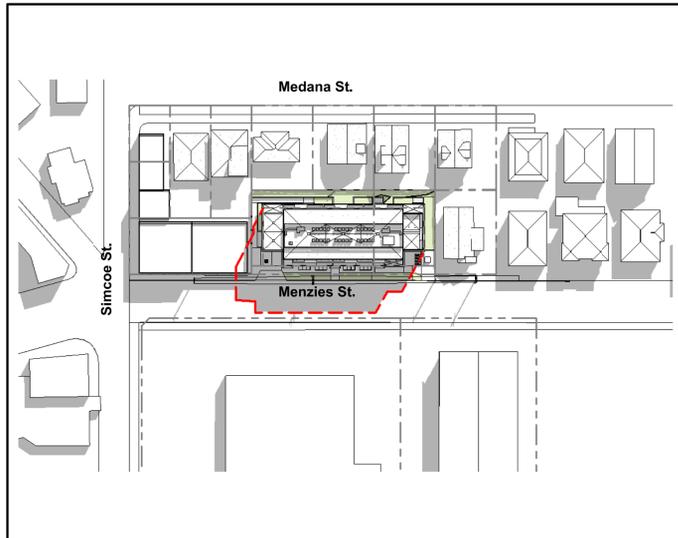
3 | SHADOWS - WINTER SOLTICE - 4pm
1: 1000



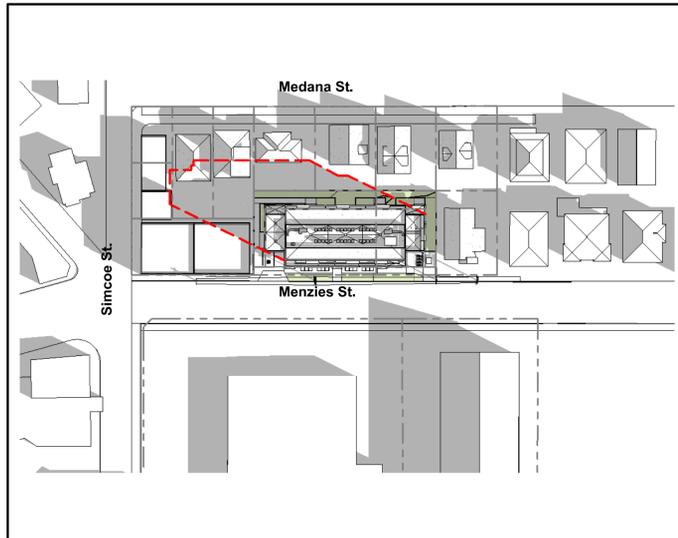
4 | EXISTING SHADOWS- WINTER SOLTICE - 4pm
1: 1000



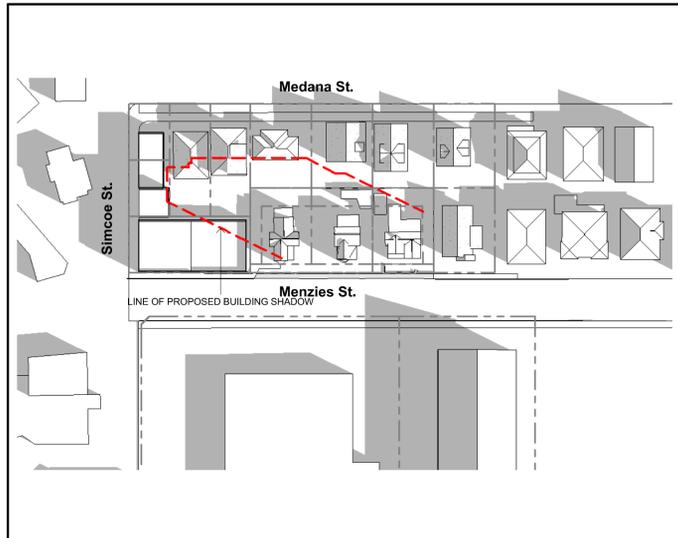
5 | SHADOWS-SPRING/AUTUMN EQUINOX-8am
1: 1000



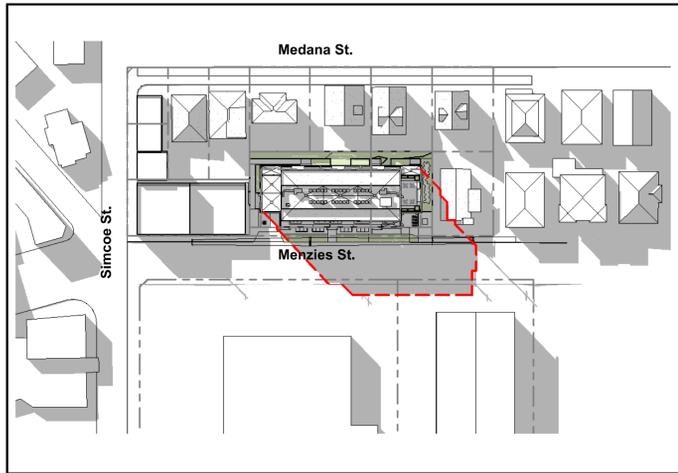
6 | SHADOWS-SPRING/AUTUMN EQUINOX-NOON
1: 1000



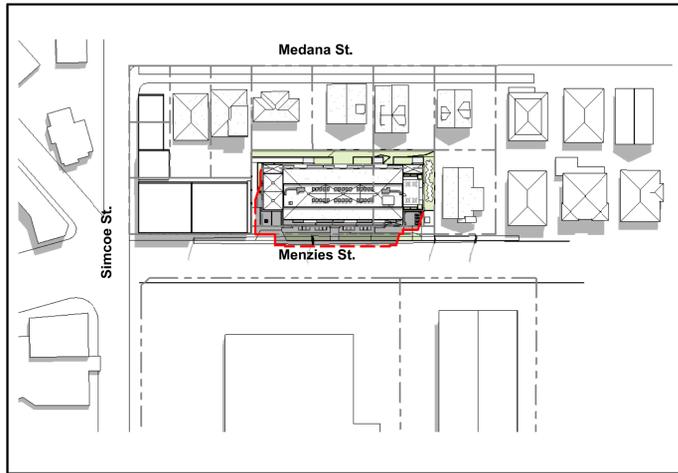
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1: 1000



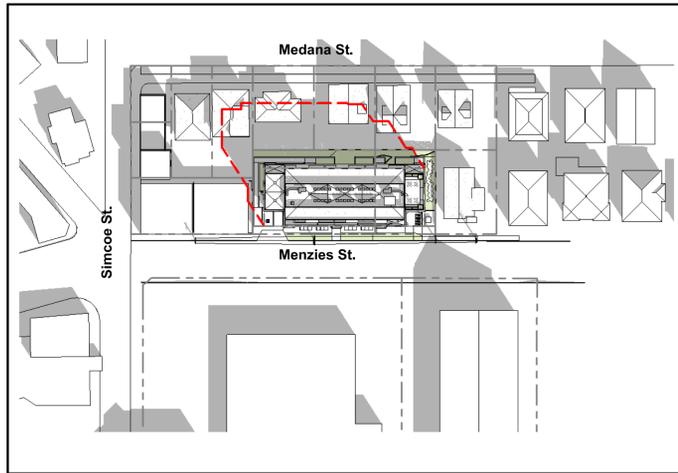
8 | EXISTING SHADOWS - EQUINOX - 5pm
1: 1000



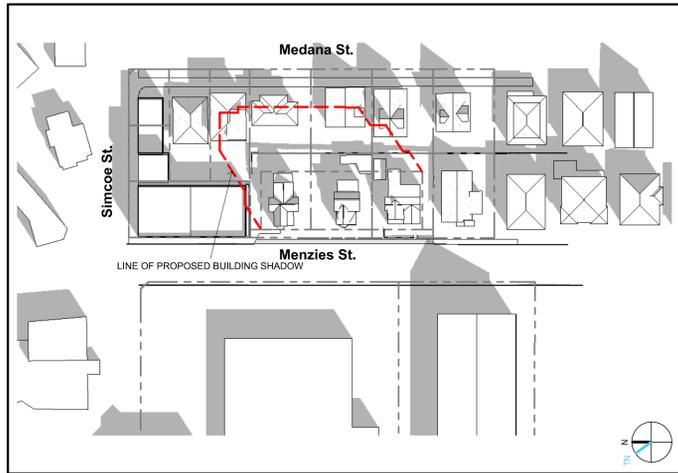
9 | SHADOWS - SUMMER SOLTICE - 8am
1: 1000



10 | SHADOWS - SUMMER SOLTICE - NOON
1: 1000



11 | SHADOWS - SUMMER SOLTICE - 6pm
1: 1000



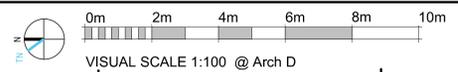
12 | EXISTING SHADOWS- SUMMER SOLTICE-6pm
1: 1000



UNIT AND AREA LEGEND

[Red]	3 BEDROOM
[Blue]	BIKES
[Green]	ELECTRICAL
[Light Blue]	ELEVATOR
[Light Green]	GARBAGE
[Grey]	LOBBY
[Light Blue/Green]	MECHANICAL
[Light Green]	RETAIL COMMERCIAL SPACE
[Light Green]	SHARED BIKE & REPAIR
[Light Blue]	STAIR 1
[Light Blue]	STAIR 2
[Light Green]	STUDIO 1

1 | L1 FLOOR PLAN
1:100



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519 PANDORA AVENUE, VICTORIA, B.C. V8W 1N5 +1 250 388 4261

MIKE GERIC
CONSTRUCTION

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/11/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22

Issued for DP Amendment

131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

LEVEL 1 FLOOR PLAN

Job No.: 2403

SCALE: 1:100

A-2.1

DATE: 2024-03-21



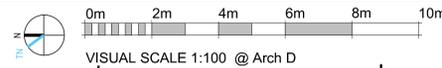
UNIT AND AREA LEGEND

- 1 BEDROOM
- 2 BEDROOM
- CORRIDOR
- ELEC/TEL
- ELEVATOR
- STAIR 1
- STAIR 2
- STUDIO 2
- STUDIO 3

1 | L2 FLOOR PLAN
1:100



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No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22

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131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

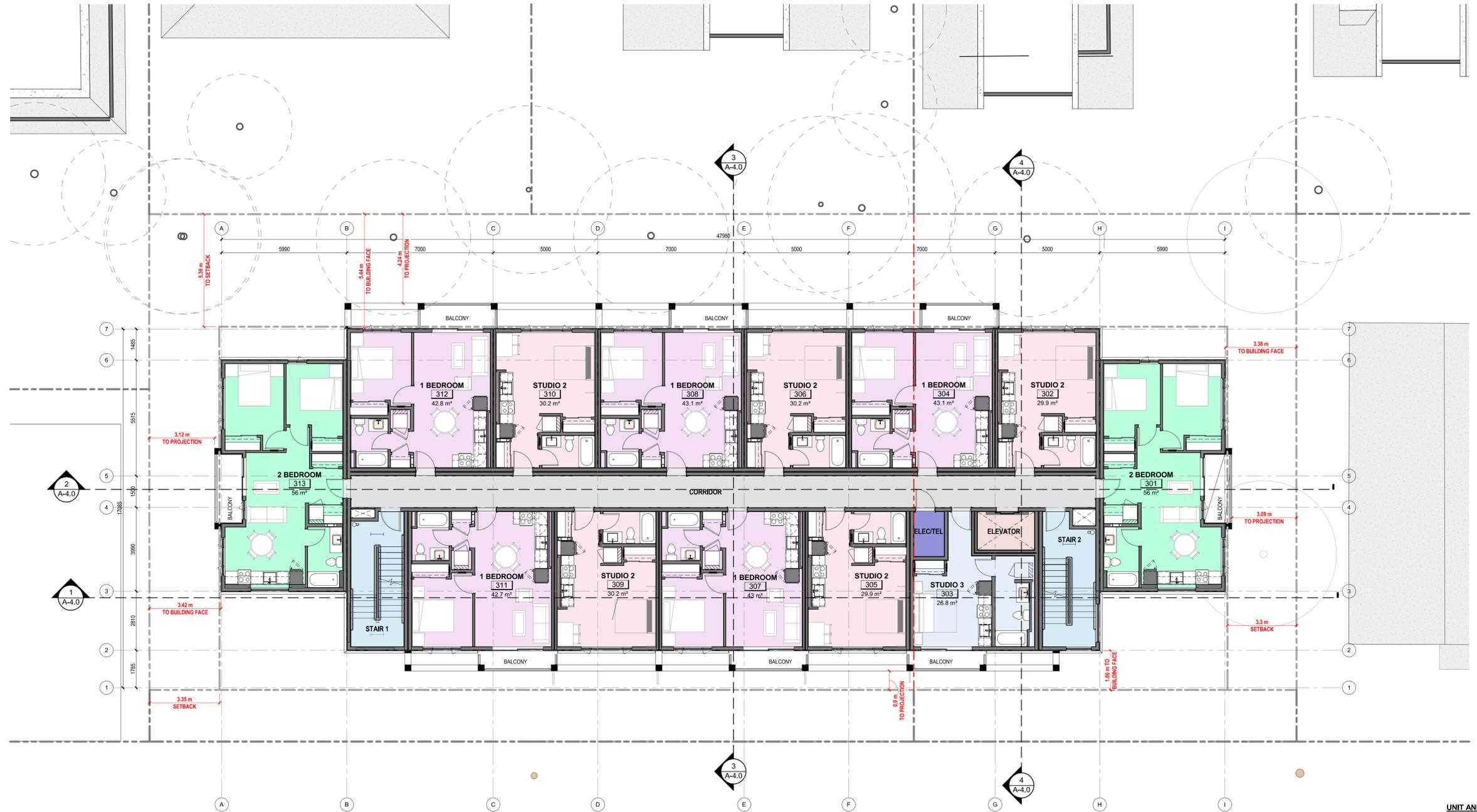
LEVEL 2 FLOOR PLAN

JOB No.: 2403

SCALE: 1:100

A-2.2

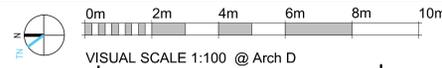
DATE: 2023-03-14



UNIT AND AREA LEGEND

[Light Purple Box]	1 BEDROOM
[Light Green Box]	2 BEDROOM
[Light Blue Box]	CORRIDOR
[Dark Blue Box]	ELEC/TEL
[Light Blue Box]	ELEVATOR
[Light Blue Box]	STAIR 1
[Light Blue Box]	STAIR 2
[Light Purple Box]	STUDIO 2
[Light Purple Box]	STUDIO 3

1 | L3 FLOOR PLAN
1:100



No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22



131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

LEVEL 3 FLOOR PLAN

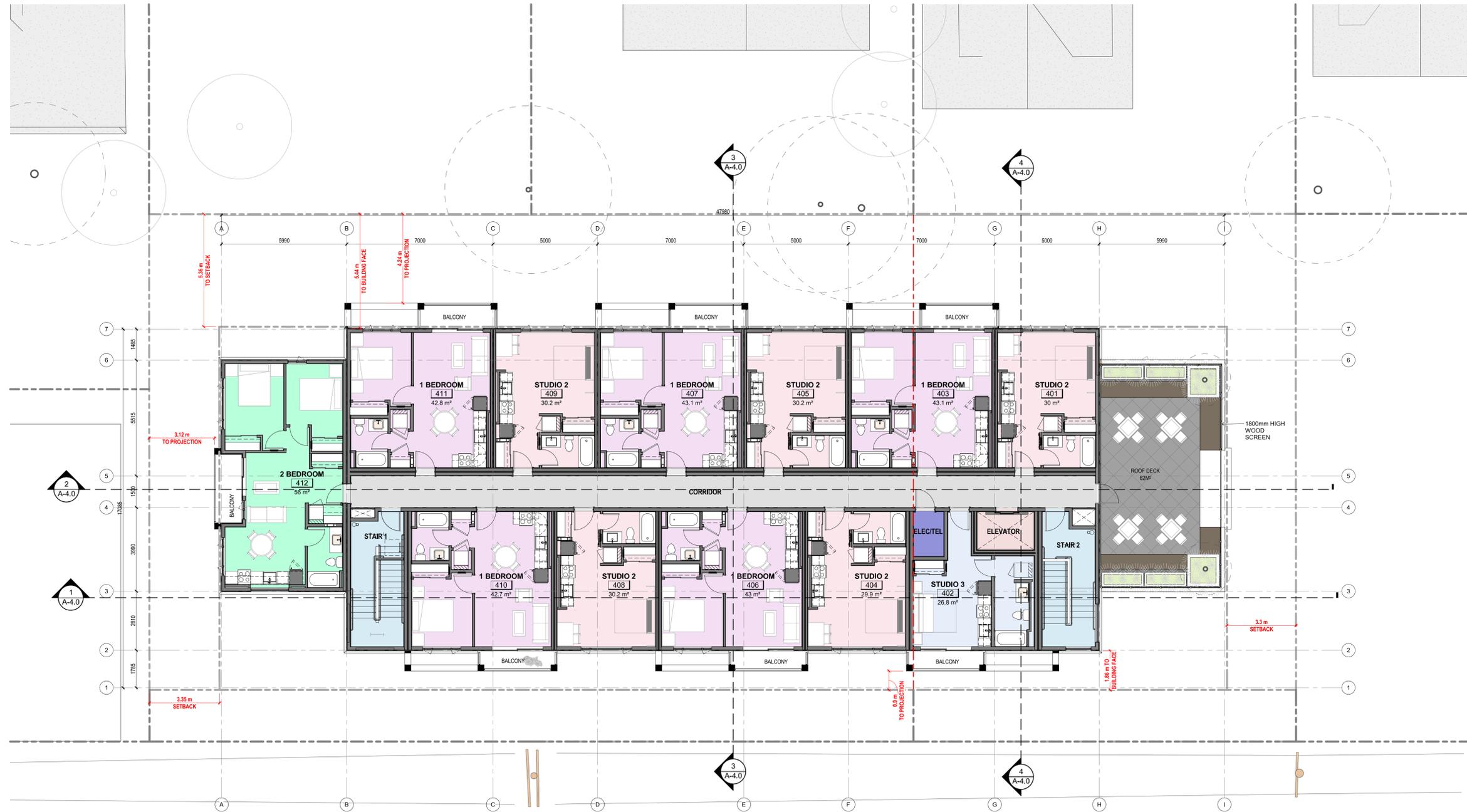
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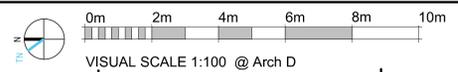
DATE: 02/05/22



UNIT AND AREA LEGEND

1 BEDROOM	2 BEDROOM	CORRIDOR	ELEC/TEL	ELEVATOR	STAIR 1	STAIR 2	STUDIO 2	STUDIO 3
-----------	-----------	----------	----------	----------	---------	---------	----------	----------

1 | L4 FLOOR PLAN
1:100



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MIKE GERIC
CONSTRUCTION

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22

Issued for DP Amendment

2024-09-17

131 MENZIES ST.

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VICTORIA, BC V8V 2G4

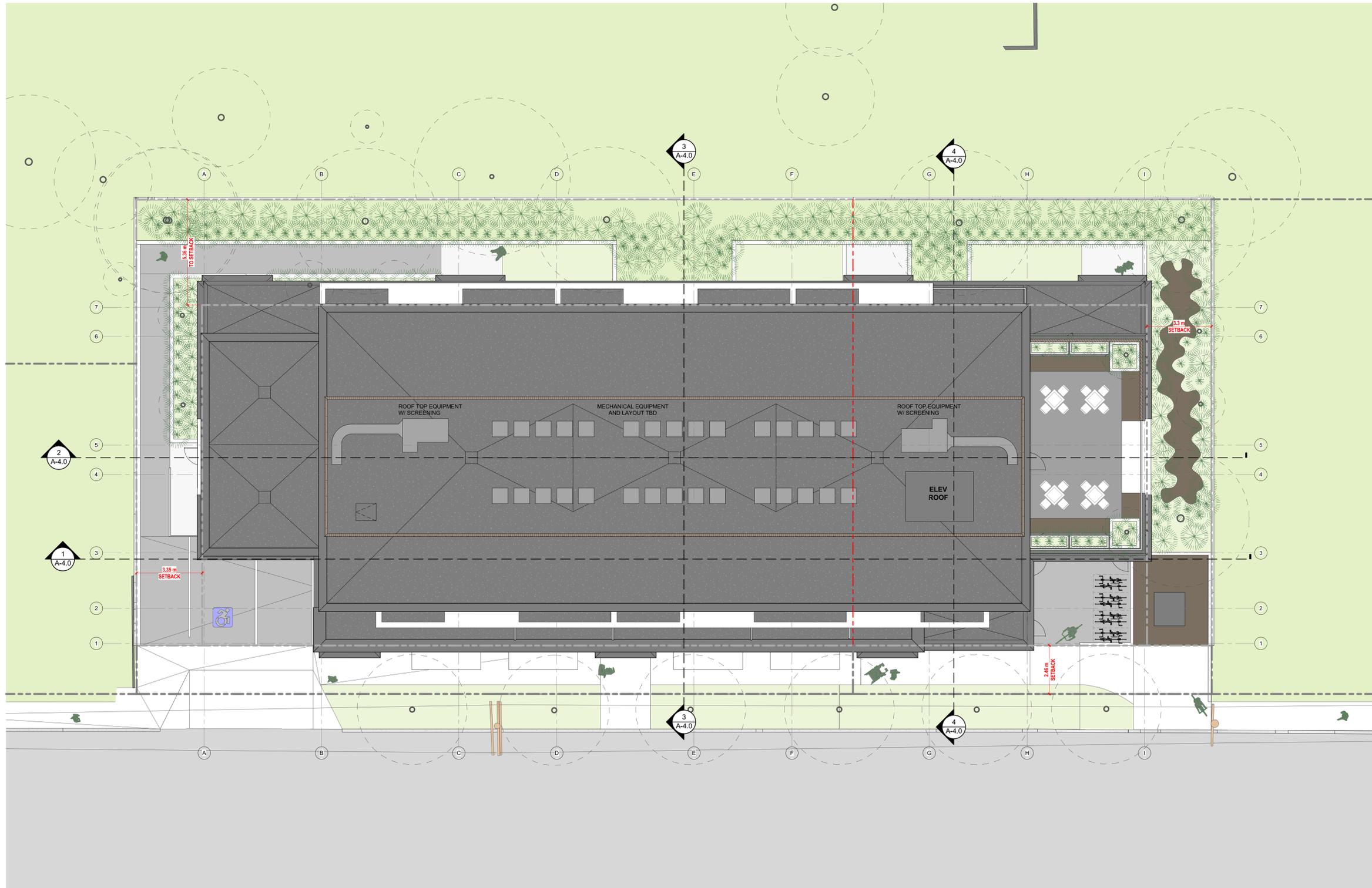
LEVEL 4 FLOOR PLAN

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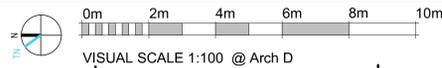
SCALE: 1:100

A-2.4

DATE: 2024/03/12



1 | ROOF PLAN
1:100



VISUAL SCALE 1:100 @ Arch D

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MIKE GERIC
CONSTRUCTION

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22



131 MENZIES ST.

131 MENZIES STREET
VICTORIA, BC V8V 2G4

ROOF PLAN

A-2.5

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JOB No.: 2403

SCALE: 1:100

DATE: 02/05/22



1 | MENZIES STREETSCAPE
1 : 200



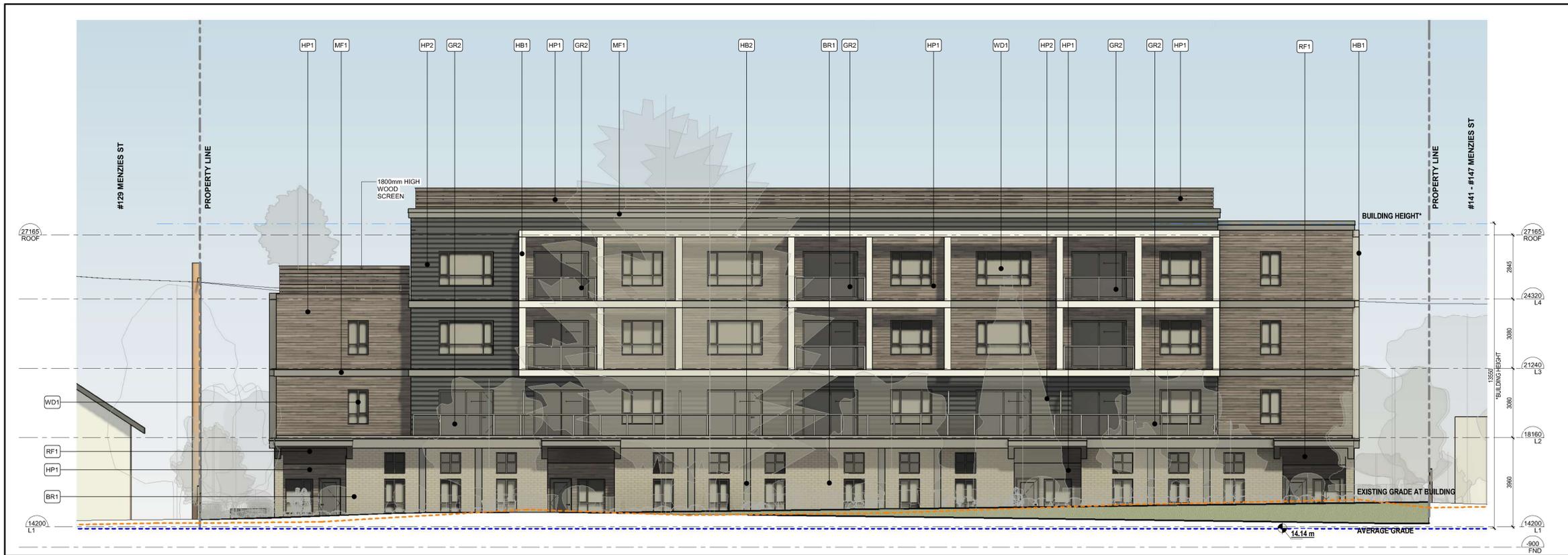
2 | MEDANA STREETSCAPE
1 : 200



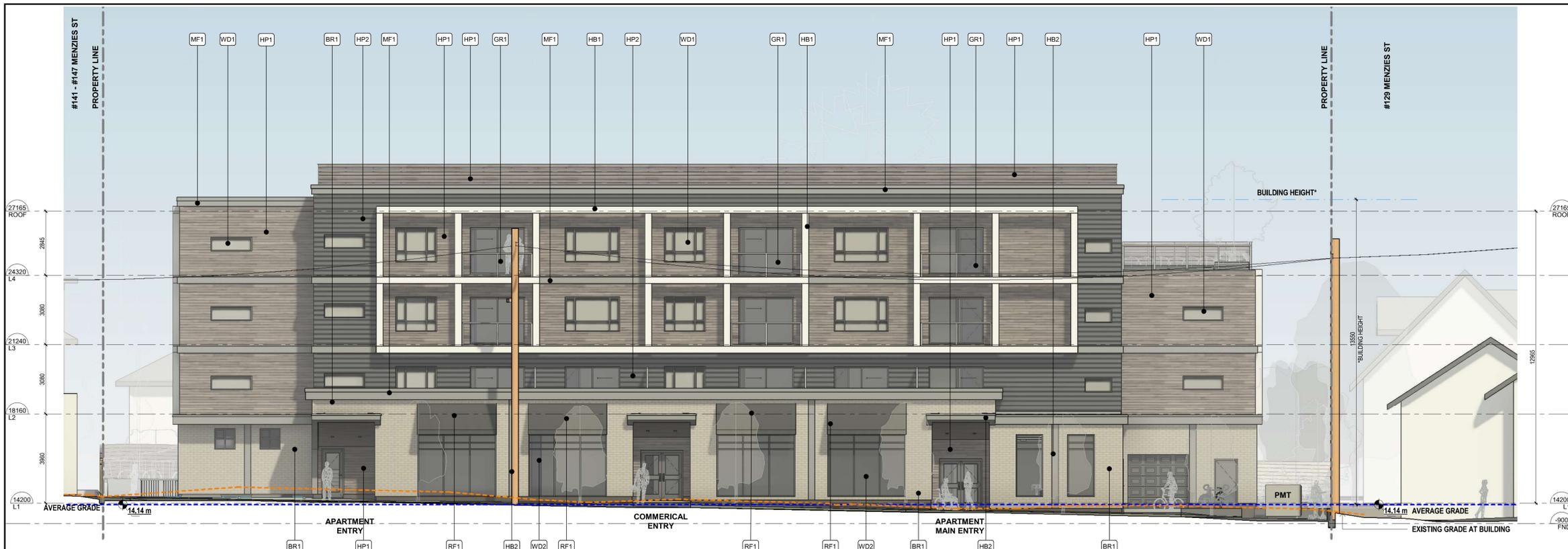
3 | SIMCOE STREETSCAPE
1 : 200



4 | #129 MENZIES / #128 MEDANA STREETSCAPE
1 : 200



1 EAST ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100

EXTERIOR KEY NOTES

TAG	MATERIAL - COLOR
BR1	BRICK - RUNNING BOND - SEA GREY
GR1	ALUMINUM GUARDRAIL - CLEAR GLAZING - ANODIZED
GR2	ALUMINUM GUARDRAIL - FROSTED GLAZING - ANODIZED
HB1	HARDIE BOARD - SMOOTH - ARCTIC WHITE WITH ALUMINUM FRY REGLETS AS SHOWN
HB2	HARDIE BOARD - SMOOTH - LIGHT MIST WITH ALUMINUM FRY REGLETS AS SHOWN
HP1	HARDIE LAP SIDING - RUSTICSERIES - RIVER ROCK - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
HP2	HARDIE LAP SIDING - CEDAR MILL - NIGHT GREY - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
MF1	METAL CAP FLASHING - BLACK
RF1	FABRIC CANOPY
WD1	WINDOW - VINYL FRAME - BLACK
WD2	STOREFRONT - METAL FRAME - BLACK

MATERIAL LEGEND



BR1
BRICK - RUNNING BOND
SEA GREY



CR1 CR2
EXPOSED CONCRETE
SANDBLASTED



HB1
HARDIE BOARD - SMOOTH
ARCTIC WHITE
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HB2
HARDIE BOARD - SMOOTH
LIGHT MIST
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



HP1
JAMES HARDIE LAP SIDING
RUSTICSERIES - RIVER ROCK
6.25" PLANKS - 5" EXPOSURE



HP2
JAMES HARDIE LAP SIDING
RUSTICSERIES - PEPPERY ASH
6.25" PLANKS - 5" EXPOSURE

*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09-12-24
7	ISSUED FOR DP AMENDMENT	08-22-24
6	ISSUED FOR DP AMENDMENT	06-05-24
5	ISSUED FOR DP AMENDMENT	04-05-24
4	ISSUED FOR DP AMENDMENT	12-01-23
3	ISSUED FOR DP AMENDMENT	08-10-23
2	ISSUED FOR DP AMENDMENT	05-09-23
1	ISSUED FOR DP	02-05-22



EXTERIOR KEY NOTES

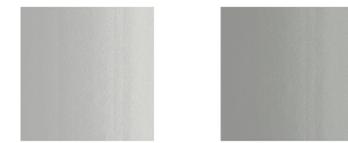
TAG	MATERIAL - COLOR
BR1	BRICK - RUNNING BOND - SEA GREY
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HP1	HARDIE LAP SIDING - RUSTICSERIES - RIVER ROCK - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
HP2	HARDIE LAP SIDING - CEDAR MILL - NIGHT GREY - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
MF1	METAL CAP FLASHING - BLACK
RF1	FABRIC CANOPY
WD1	WINDOW - VINYL FRAME - BLACK
WD2	STOREFRONT - METAL FRAME - BLACK

MATERIAL LEGEND



BR1
BRICK - RUNNING BOND
SEA GREY

CR1 CR2
EXPOSED CONCRETE
SANDBLASTED



HB1
HARDIE BOARD - SMOOTH
ARCTIC WHITE
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR

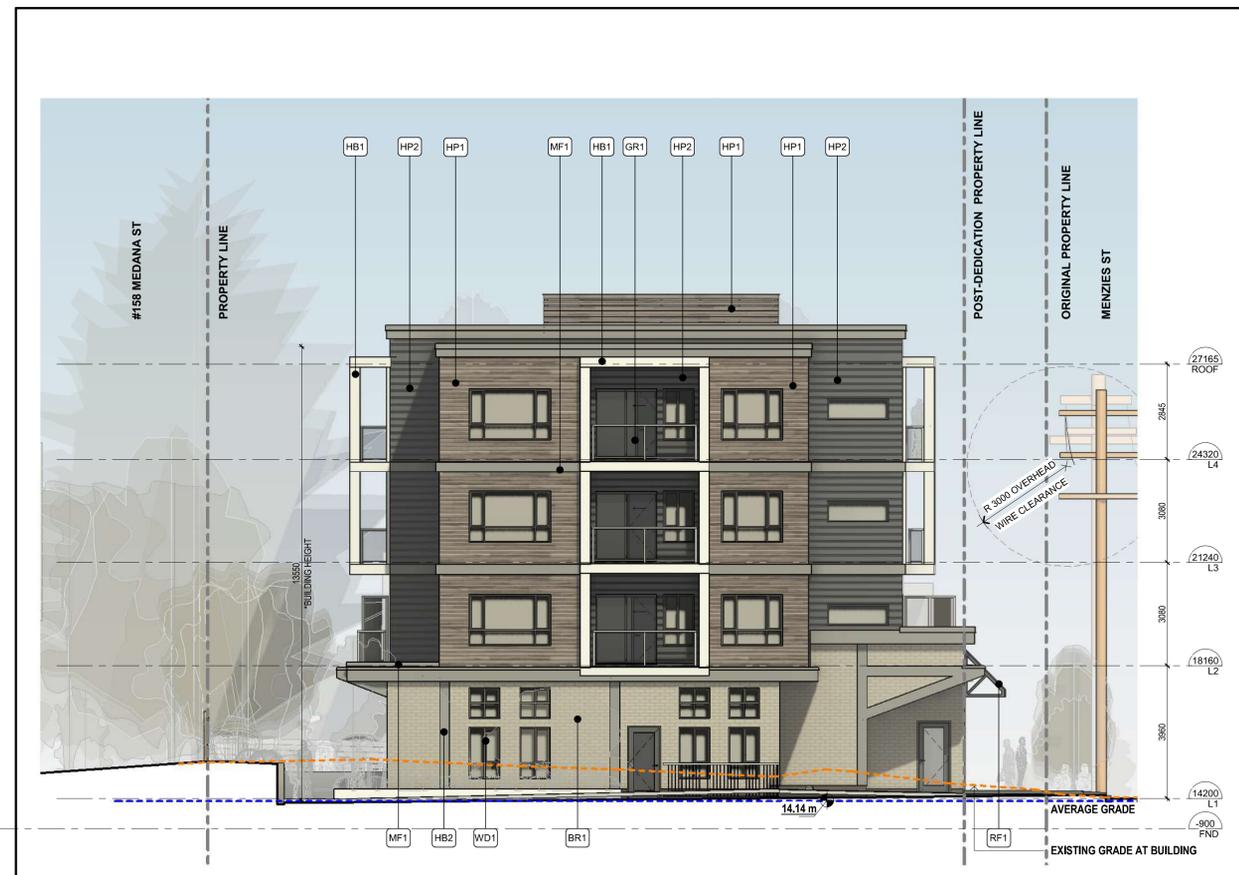
HB2
HARDIE BOARD - SMOOTH
LIGHT MIST
ALUMINUM FRY REGLETS
TO MATCH BOARD COLOR



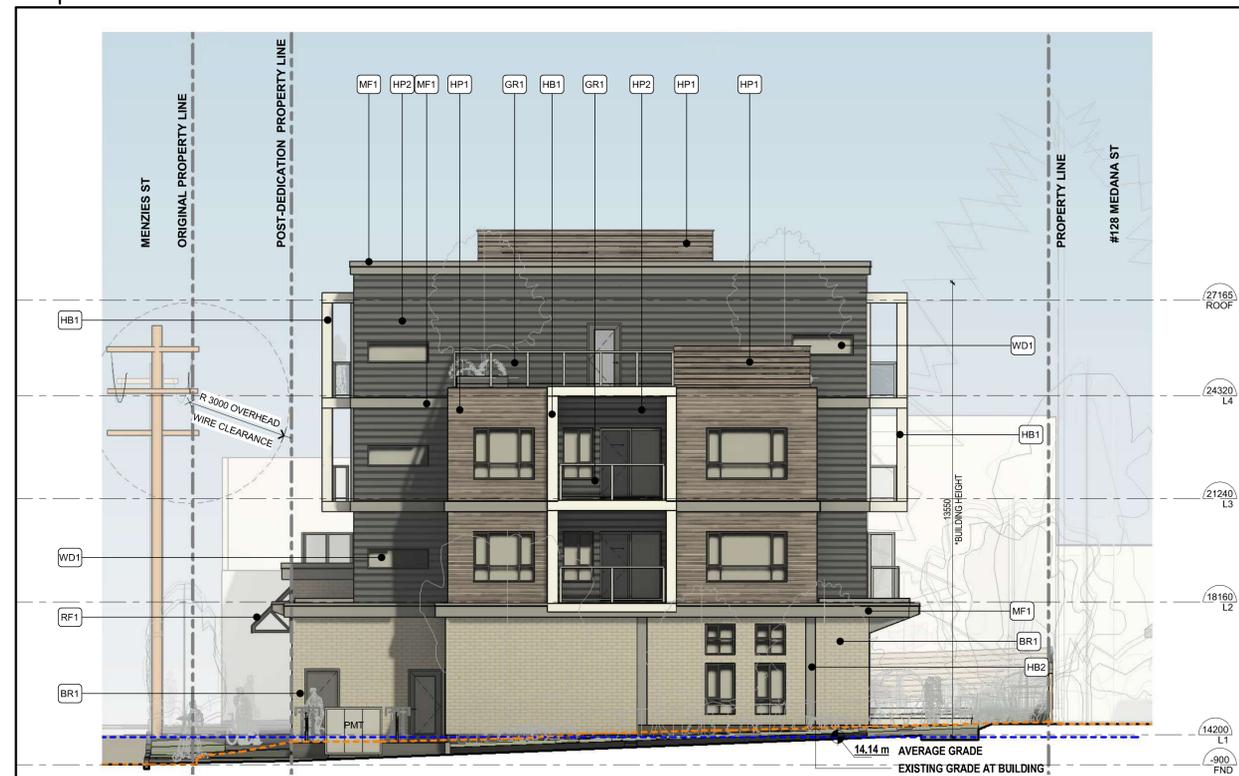
HP1
JAMES HARDIE LAP SIDING
RUSTICSERIES - RIVER ROCK
6.25" PLANKS - 5" EXPOSURE

HP2
JAMES HARDIE LAP SIDING
SMOOTH - PEPPERY ASH
6.25" PLANKS - 5" EXPOSURE

NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES



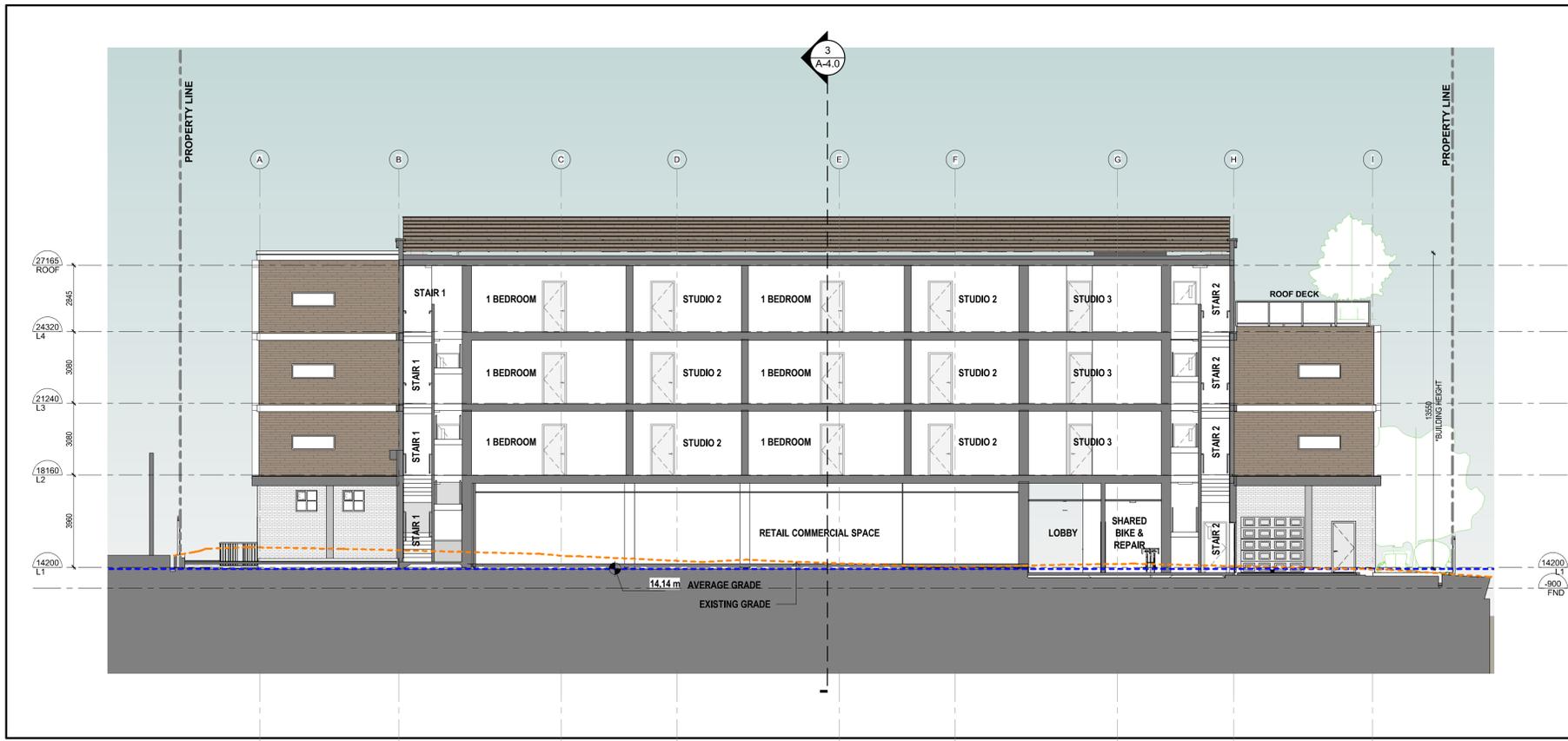
1 NORTH ELEVATION
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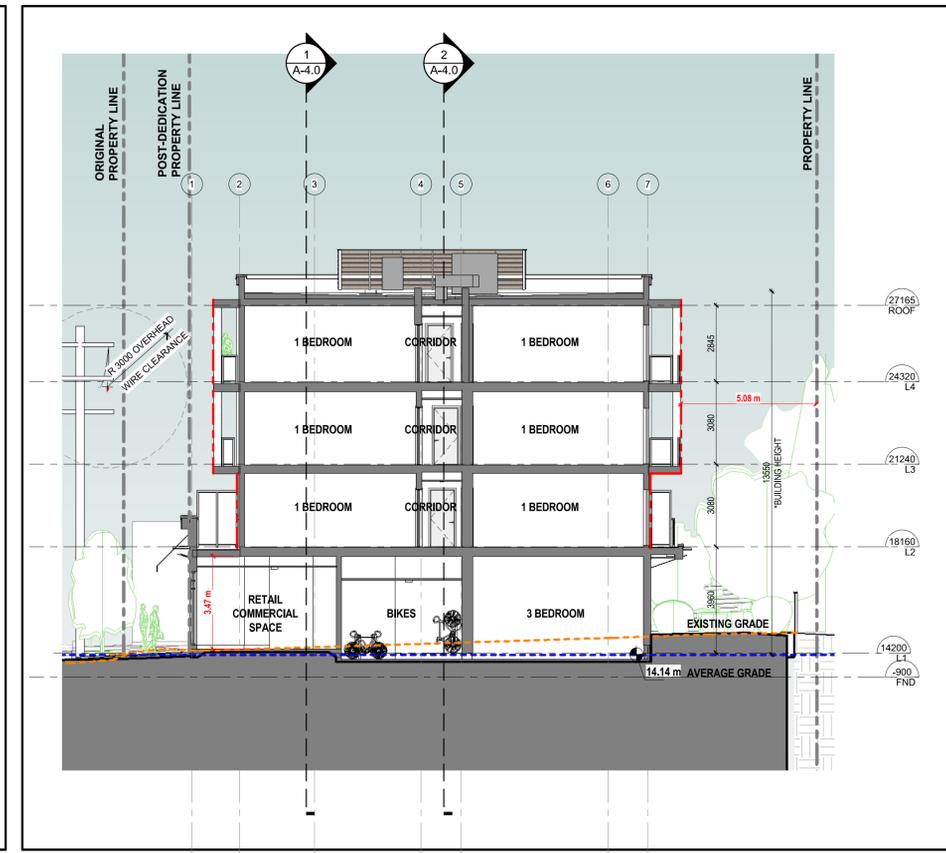
2 SOUTH ELEVATION
1 : 100

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09-12-24
7	ISSUED FOR DP AMENDMENT	08-22-24
6	ISSUED FOR DP AMENDMENT	06-05-24
5	ISSUED FOR DP AMENDMENT	04-05-24
4	ISSUED FOR DP AMENDMENT	12-01-23
3	ISSUED FOR DP AMENDMENT	08-10-23
2	ISSUED FOR DP AMENDMENT	05-09-23
1	ISSUED FOR DP	02-05-22

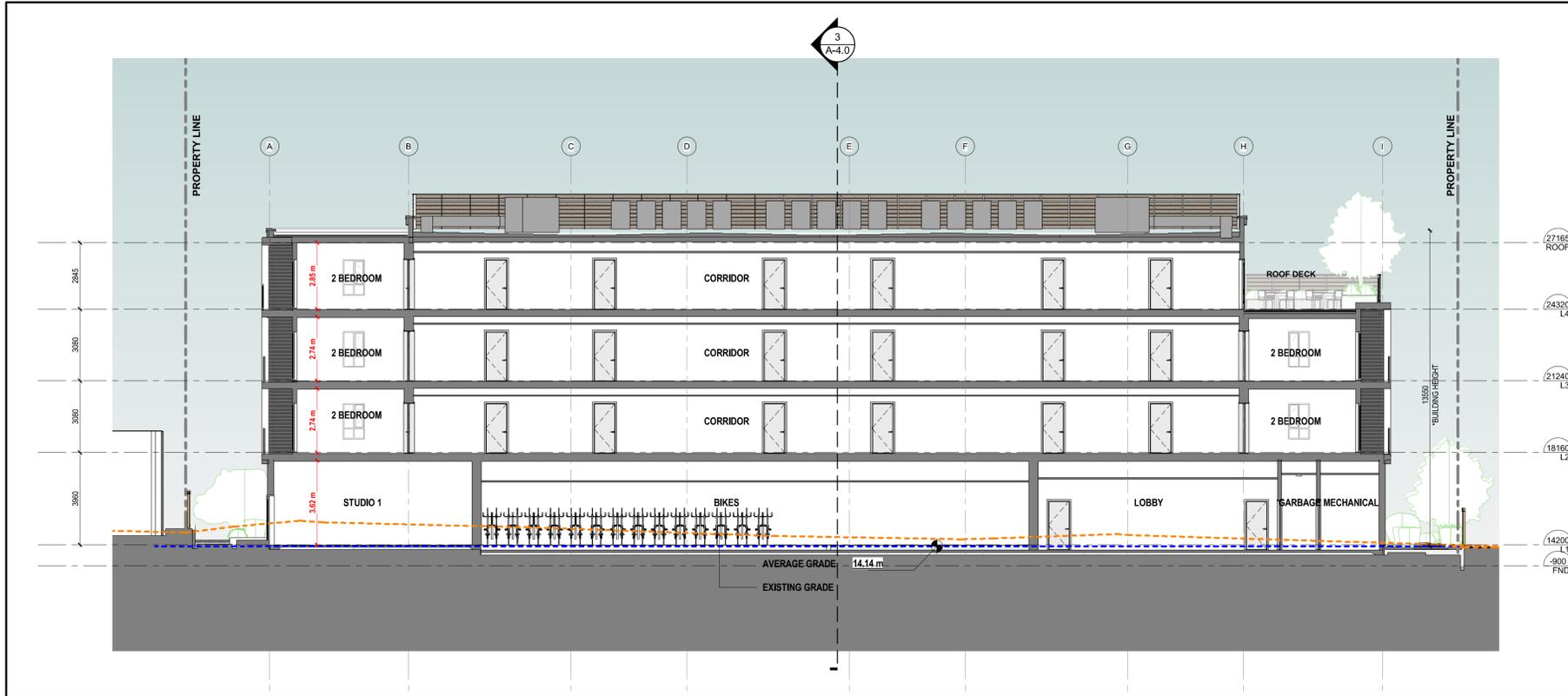
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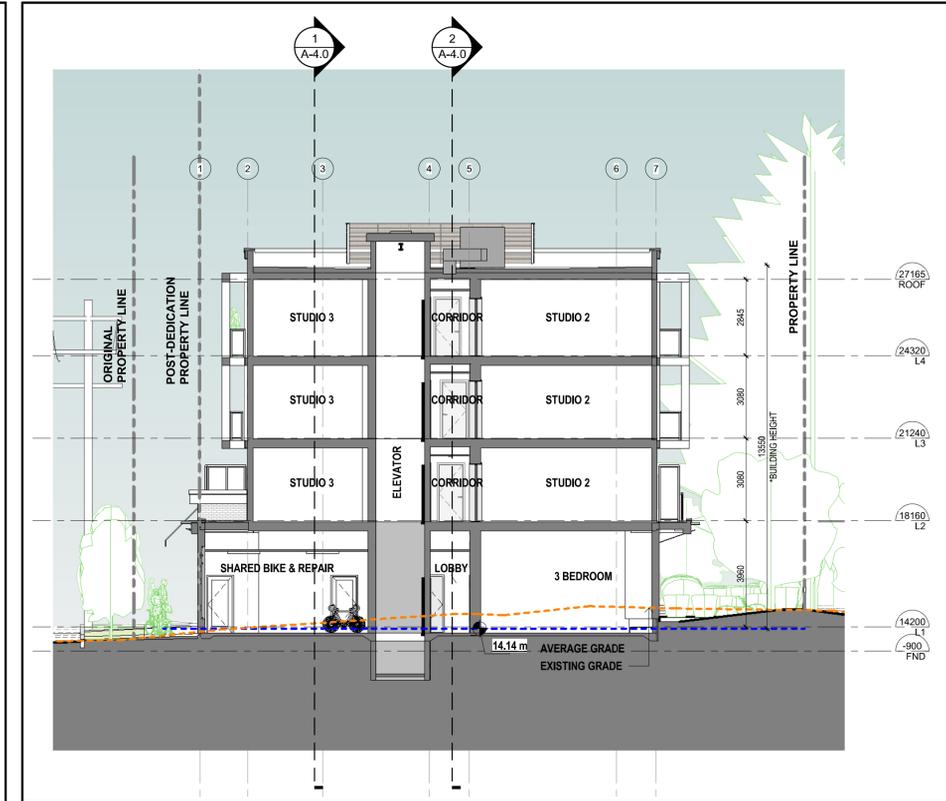
1 | BUILDING SECTION
1: 125



3 | BUILDING SECTION
1: 125



2 | BUILDING SECTION
1: 125



4 | BUILDING SECTION
1: 125

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	06/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	13/01/23
3	ISSUED FOR DP AMENDMENT	05/09/23
2	ISSUED FOR DP	02/05/22



1 | EXTERIOR 3D VIEW NORTH-WEST
1:1



2 | EXTERIOR 3D VIEW SOUTH-WEST
1:1



3 | EXTERIOR 3D VIEW NORTH-EAST
1:1



4 | EXTERIOR 3D VIEW SOUTH-EAST
1:1

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MIKE GERIC
CONSTRUCTION

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	08/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
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4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22

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131 MENZIES ST.

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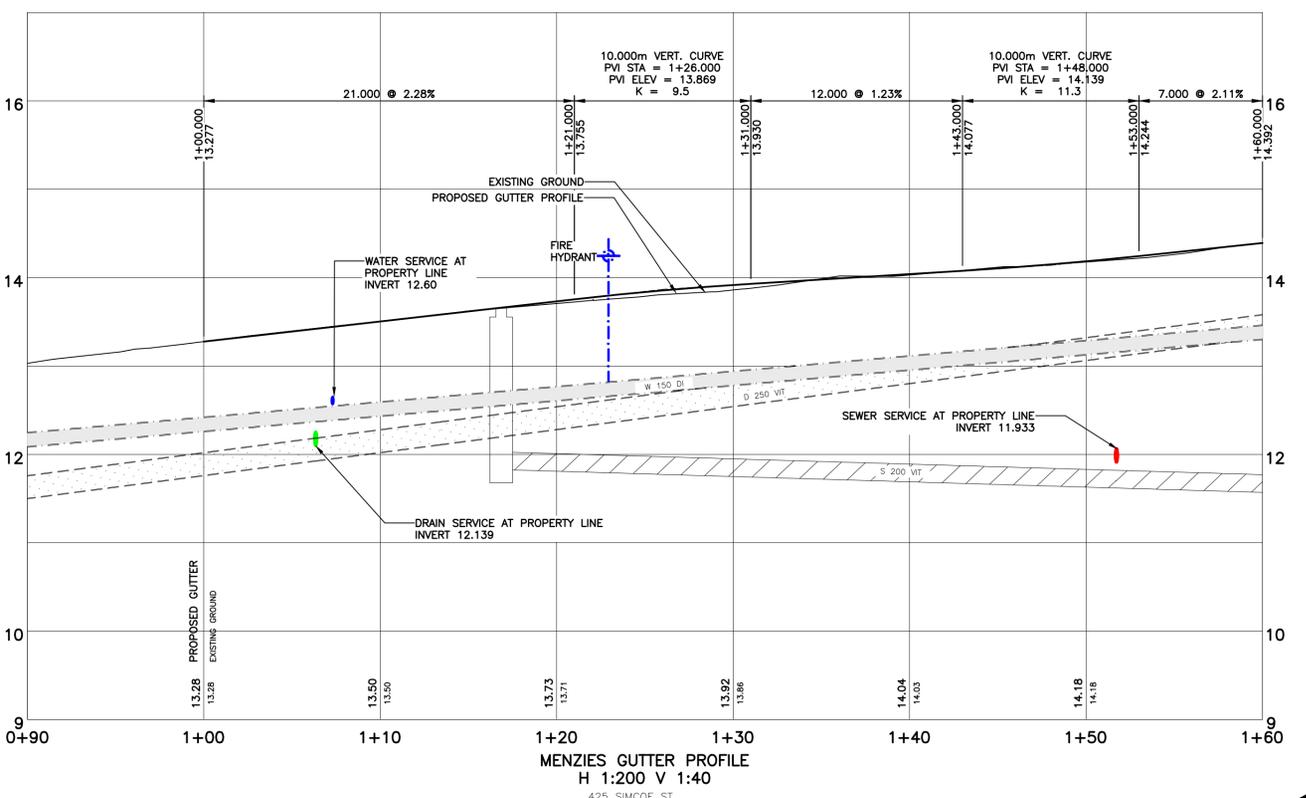
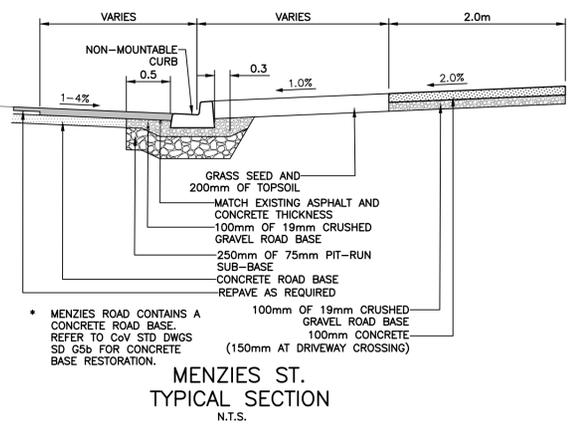
3D STREET VIEWS

JOB No.: 2403

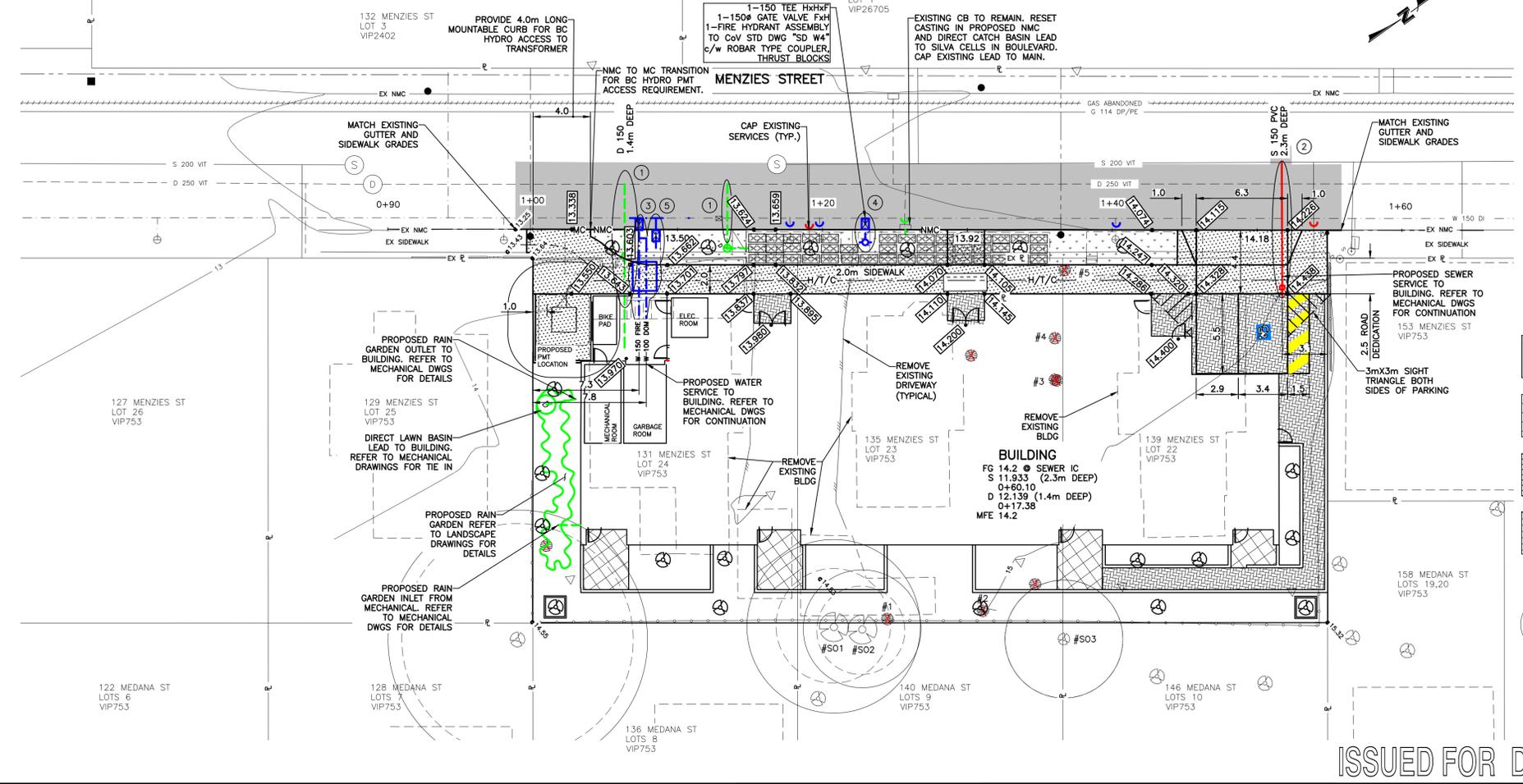
SCALE: 1:1

A-5.0

DATE: 2024/03/12



- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS THREE WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR TO STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BED ALL PIPE USING CLASS 'B' BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG MENZIES ST DURING CONSTRUCTION. PROVIDE 1.5m WIDE TEMPORARY SIDEWALK BUILT OUT OF PLYWOOD OR ASPHALT IF CITY SIDEWALK CAN NOT BE MAINTAINED (IF COVERED, CLEAR SPACE TO BE 2.1m HIGH C/W LIGHTING).
 - COMPACT TRENCH BACKFILL ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - CONSTRUCT SEWER, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.
 - TEN (10) WORKING DAYS PRIOR TO START OF PROPOSED WORK, APPLICANT SHALL CONTACT THE TRANSPORTATION DEPARTMENT TO DISCUSS ALL WORKS IMPACTING CITY OF VICTORIA RIGHT OF WAY INCLUDING STREET OCCUPANCY PERMIT REQUIREMENTS.
 - SOIL TESTING AS PER THE PROVINCE OF BRITISH COLUMBIA ENVIRONMENTAL MANAGEMENT ACT, CONTAMINATED SITES REGULATION, OR RECEIVING SITE REQUIREMENTS.
- SEWER AND DRAIN**
- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 150Ø PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBER CATCH BASIN LEADS TO BE 150Ø PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
 - CITY OF VICTORIA SHALL PROVIDE A 150Ø DRAIN SERVICE TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - CITY OF VICTORIA SHALL PROVIDE A 150Ø SEWER SERVICE TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - CITY OF VICTORIA SHALL CAP SEWER SERVICE AT DEVELOPER'S EXPENSE.
- WATER**
- WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0m MINIMUM COVER.
 - CITY OF VICTORIA FORCES SHALL CAP THE EXISTING SERVICE AND REMOVE THE WATER METERS AT THE DEVELOPER'S EXPENSE.
 - WATER SERVICES SHALL BE 150Ø TIED TO EXISTING MAIN AND SPLIT SERVICE TO 100Ø FIRE LINE AND 100Ø DOMESTIC TO PROPERTY LINE. WATER METERS SHALL BE 50Ø INSTALLED BY THE CITY OF VICTORIA, AS PER COV DETAIL "SD W2".
 - CITY OF VICTORIA SHALL INSTALL A FIRE HYDRANT ASSEMBLY AT
- DEVELOPER'S EXPENSE**
- CITY OF VICTORIA SHALL PROVIDE 25Ø IRRIGATION SERVICE C/W METER AT DEVELOPER'S EXPENSE.
- ROAD**
- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
 - CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
- PARKS**
- OBTAIN A PARKS PERMIT FROM THE CITY OF VICTORIA PARKS DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION.
 - PROTECT ALL TREES EXCEPT THOSE TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION.
 - HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
 - OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
 - THE PROJECT ARBORIST TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING AT APPROPRIATE LOCATIONS.
 - THE ARBORIST TO DIRECT THE REMOVAL OF TREES WITHIN THE SEWER AND DRAIN EASEMENTS AND RIGHT OF WAYS AND TO PRUNE ROOTS ENCOUNTERED DURING TRENCHING TO ENSURE THE PRESERVATION OF THE OAK TREES.
 - THE ARBORIST TO DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ON SITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.
 - ALL NEW BOULEVARD TREES TO BE IRRIGATED ON A SEPARATE SYSTEM FROM THE PRIVATE PROPERTY IRRIGATION SYSTEM AND A SEPARATE WATER POINT OF CONNECTION.
 - ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND THE IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
 - IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
 - IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT). CALL PARKS AT 250-361-0600 AT LEAST 2 DAYS IN ADVANCE TO ARRANGE FOR IRRIGATION INSPECTIONS.
- HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS**
- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 AND "DIGSHAW" AT 1-866-344-7429 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
 - LOT TO BE SERVICED UNDERGROUND.
 - BC HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
 - CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
 - IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL. FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.



PLAN CHECKER	AUTHORIZED REPRESENTATIVE		
	COMPANY NAME	SIGNATURE	DATE
UTILITY	HYDRO ELECTRIC CO.		
	TELEPHONE CO.		
	GAS CO.		
	CABLE CO.		
	FIBRE OPTIC CO.		
MUNICIPAL	UNDERGROUND UTILITIES		
	TRANSPORTATION DESIGN & INFRASTRUCTURE		
	LAND DEVELOPMENT		

- LEGEND:**
- APPROXIMATE LIMITS OF REPAVING
 - BROOM FINISHED CONCRETE SIDEWALK, 100mm THICK (150mm THICK AT DRIVEWAY CROSSING)
 - LANDSCAPED BLVD (SEE LANDSCAPE PLANS FOR DETAILS)
 - PERMEABLE PAVERS (SEE LANDSCAPE / ARCHITECT PLANS FOR DETAILS)
 - PROPOSED TREE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS
 - EXISTING TREE. (TO REMAIN)
 - TREE CANOPY CRITICAL ROOT ZONE
 - EXISTING TREE. (TO BE REMOVED)
 - EXISTING GROUND ELEVATIONS
 - PROPOSED FINISHED GROUND ELEVATIONS



ISSUED FOR DEVELOPMENT PERMIT

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

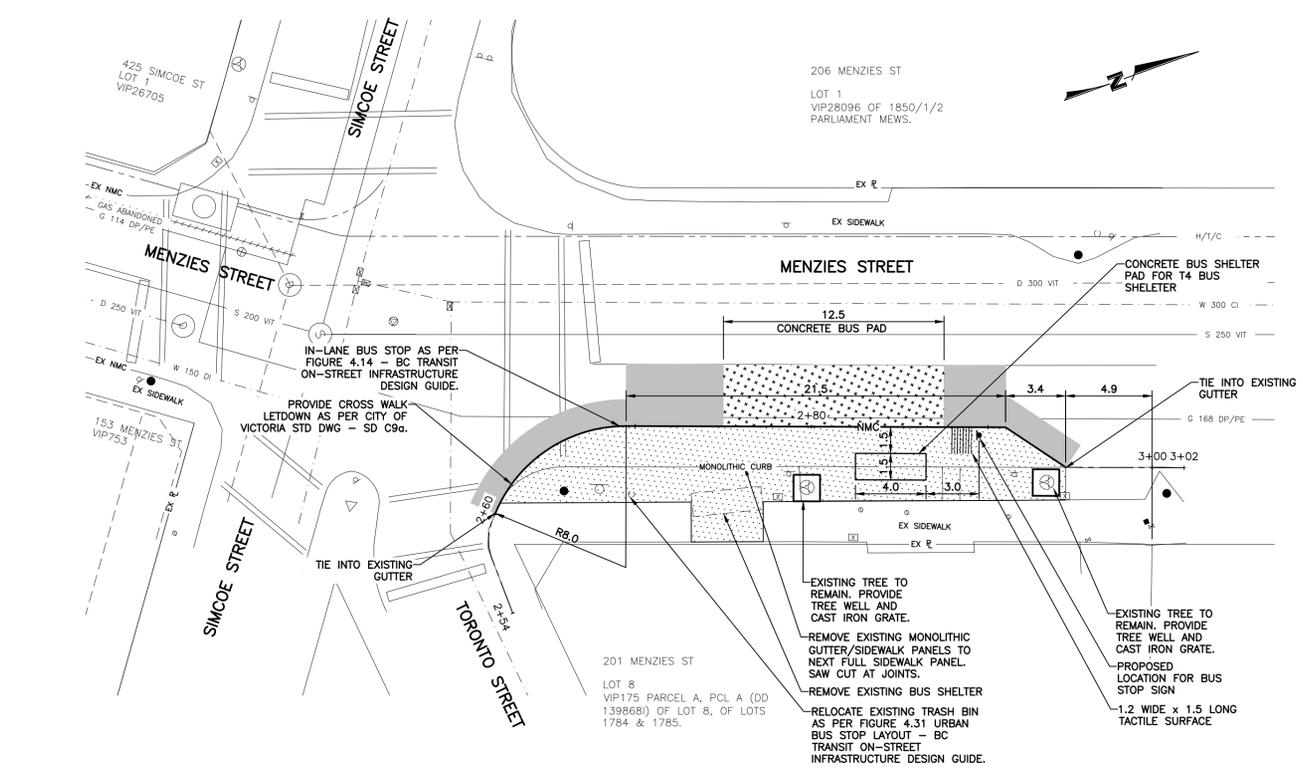
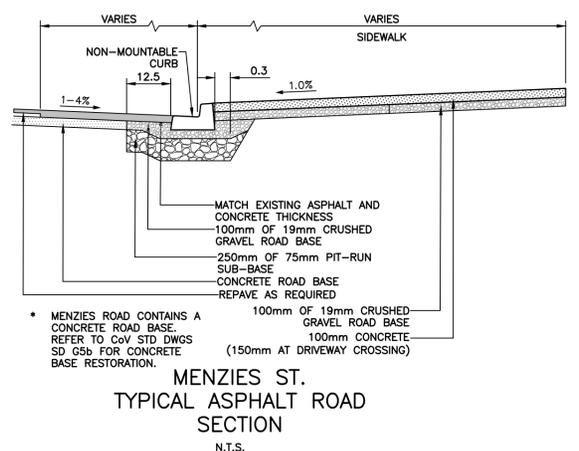
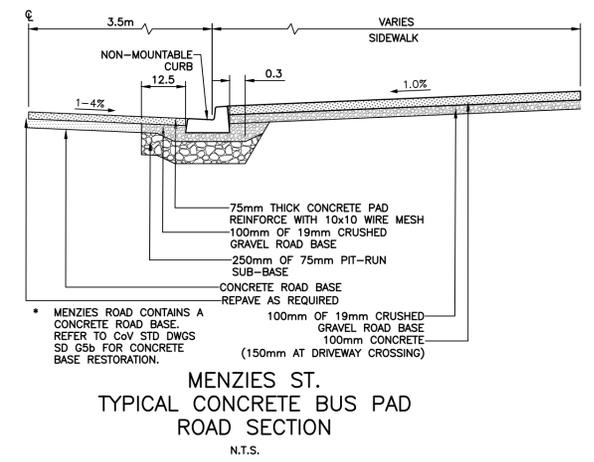
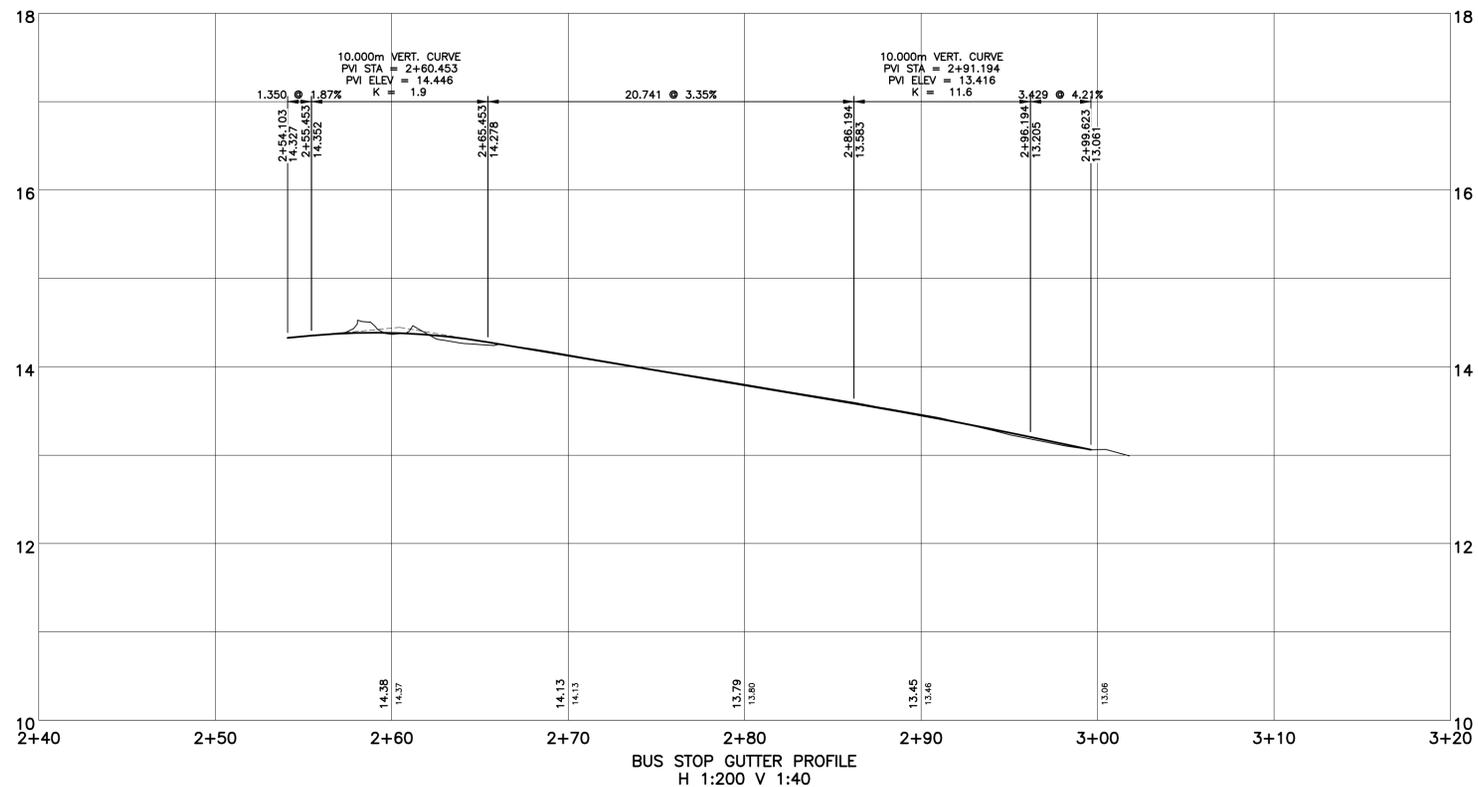
LEGEND		SEAL	
WATER	— W —	EXISTING U/G UTL.	—
SEWER	— S —	PROPOSED U/G UTL.	—
DRAIN	— D —	LIGHT STANDARD	⊙
DITCH	—	POWER POLE	⊙
CULVERT	—	BUSHLINE	—
HEADWALL	—	TREE	⊙
		MANHOLE	⊙
		CLEANOUT	⊙
		LEAD PLUG	■
		CATCHBASIN	⊙
		METER	⊙
		ROAD SIGN	⊙
		REDUCER	⊙
		HYDRANT	⊙
		VALVE	⊙
		LOT PIN	•

REVISIONS		ENGINEER	TK/MW
No.	DESCRIPTION	DATE	SIGN
11	RE-ISSUED FOR DEVELOPMENT PERMIT	24.09.23	PC
10	ISSUED FOR CO-ORDINATION	24.09.13	PC
9	ADD PROPOSED BUS STOP DRAWING	24.06.10	PC
8	REVISED AS PER LANDSCAPE COMMENTS	24.04.03	PC
7	REVISED AS PER COV COMMENTS	24.03.27	JS

WESTBROOK Consulting Ltd.
 #115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
 Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
 131,135,139 MENZIES ST
 MIKE GERIC CONSTRUCTION LTD
 SERVING PLAN AND PROFILE
 GENERAL NOTES
 LOCATION PLAN

WESTBROOK PROJECT No.	3757
GOVERNING AUTHORITY FILE No.	
SHEET	1
OF	2
REV.	11
WESTBROOK DRAWING No.	3757-01



- LEGEND:**
- APPROXIMATE LIMITS OF REPAVING
 - BROOM FINISHED CONCRETE SIDEWALK, 100mm THICK (150mm THICK AT DRIVEWAY CROSSING)
 - LIMIT OF CONCRETE BUS STOPPING PAD
 - EXISTING TREE. (TO REMAIN)
 - TREE CANOPY CRITICAL ROOT ZONE
 - EXISTING GROUND ELEVATIONS
 - PROPOSED FINISHED GROUND ELEVATIONS

ISSUED FOR DEVELOPMENT PERMIT



WESTBROOK CONSULTING LTD - 2024-09-24 03:45PM H:\PROJECTS\3757_131-139_Menzies\04C Drawings\3757-02BP.dwg

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND		SEAL	
WATER - W -	GAS - G -	EXISTING U/G UTL. -	MANHOLE - ⊙
SEWER - S -	CURB - C -	PROPOSED U/G UTL. -	CLEANOUT - ⊙
DRAIN - D -	SIDEWALK - S/W -	LIGHT STANDARD - ⊙	CATCHBASIN - ⊙
DITCH - D -	EDGE PAVE. -	POWER POLE - ⊙	ROAD SIGN - ⊙
CULVERT - C -	BUSHLINE -	ANCHOR - ⊙	HYDRANT - ⊙
HEADWALL - H -	TREE -	MONUMENT - ⊕	VALVE - ⊕
			LOT PIN - *
			LEAD PLUG - ■
			METER - ⊕
			REDUCER - ⊕

REVISIONS				ENGINEER	TK/MW
No.	DESCRIPTION	DATE	SIGN	DESIGNER	PC
11	RE-ISSUED FOR DEVELOPMENT PERMIT	24.09.23	PC	CHECKED	
10	ISSUED FOR CO-ORDINATION	24.09.13	PC	DATE	JAN 2022
9	ADD PROPOSED BUS STOP DRAWING	24.06.10	PC	B.M.	MON 8-60
8	REVISED AS PER LANDSCAPE COMMENTS	24.04.03	PC	ELEV.	14.402
7	REVISED AS PER C&V COMMENTS	24.03.27	JS	SCALE	Horz. 1:200
				Vert.	1:40

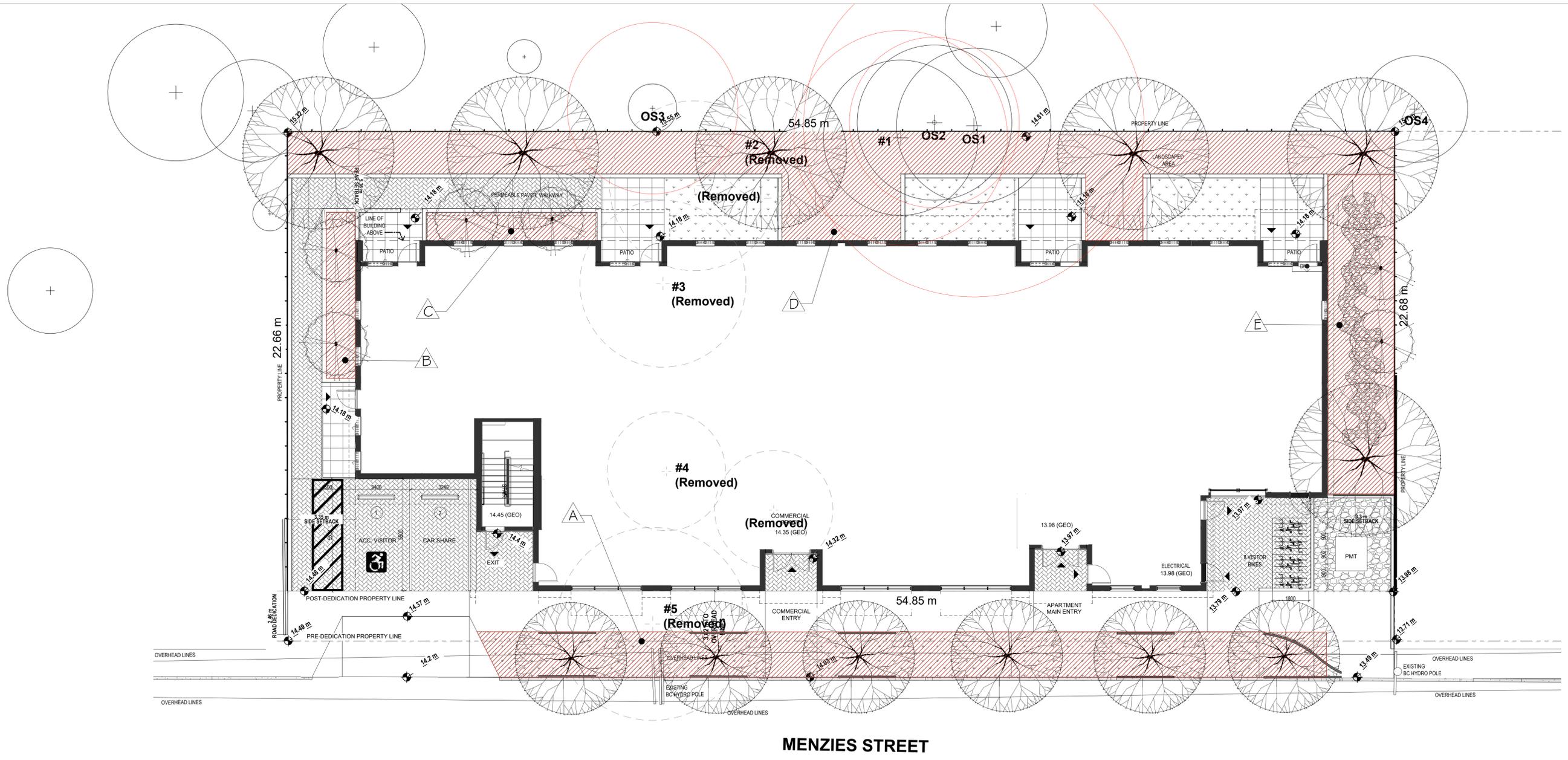
WESTBROOK Consulting Ltd.

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
131,135,139 MENZIES ST
MIKE GERIC CONSTRUCTION LTD

BUS STOP
PLAN AND PROFILE

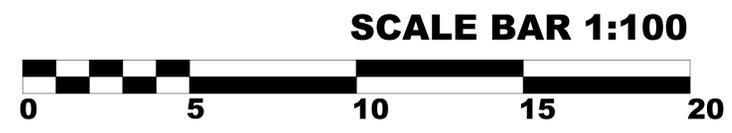
WESTBROOK PROJECT No. 3757	
GOVERNING AUTHORITY FILE No.	
SHEET	REV.
2	2
WESTBROOK DRAWING No. 3757-02	



MENZIES STREET

SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

SOIL VOLUME PROVIDED						
MARKER	# OF TREES	TREE CLASS	SOIL VOLUME REQUIRED	SOIL DEPTH	SOIL VOLUME PROVIDED	REQUIREMENT MET (Y/N)
A	6	MEDIUM	6 x 15 m ³ = 90 m ³	1.0 m	92.0 m ³	YES
B	2	SMALL	2 x 6 m ³ = 12 m ³	1.0 m	12.0 m ³	YES
C	2	SMALL	2 x 6 m ³ = 12 m ³	1.0 m	12.0 m ³	YES
D	5	MEDIUM	5 x 15 m ³ = 75 m ³	1.0 m	144 m ³	YES
E	3	2 SML; 1 LRG	12 m ³ + 30 m ³ = 42 m ³	1.0 m	51.0 m ³	YES



FORSITE LANDSCAPE ARCHITECTURE
 #408-1581H HILLSIDE AVE.
 VICTORIA, BC V8T 2C1
 forsiteland@hotmail.com
 250.508.7885

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131 MENZIES STREET
 VICTORIA, BC V8V 2G4

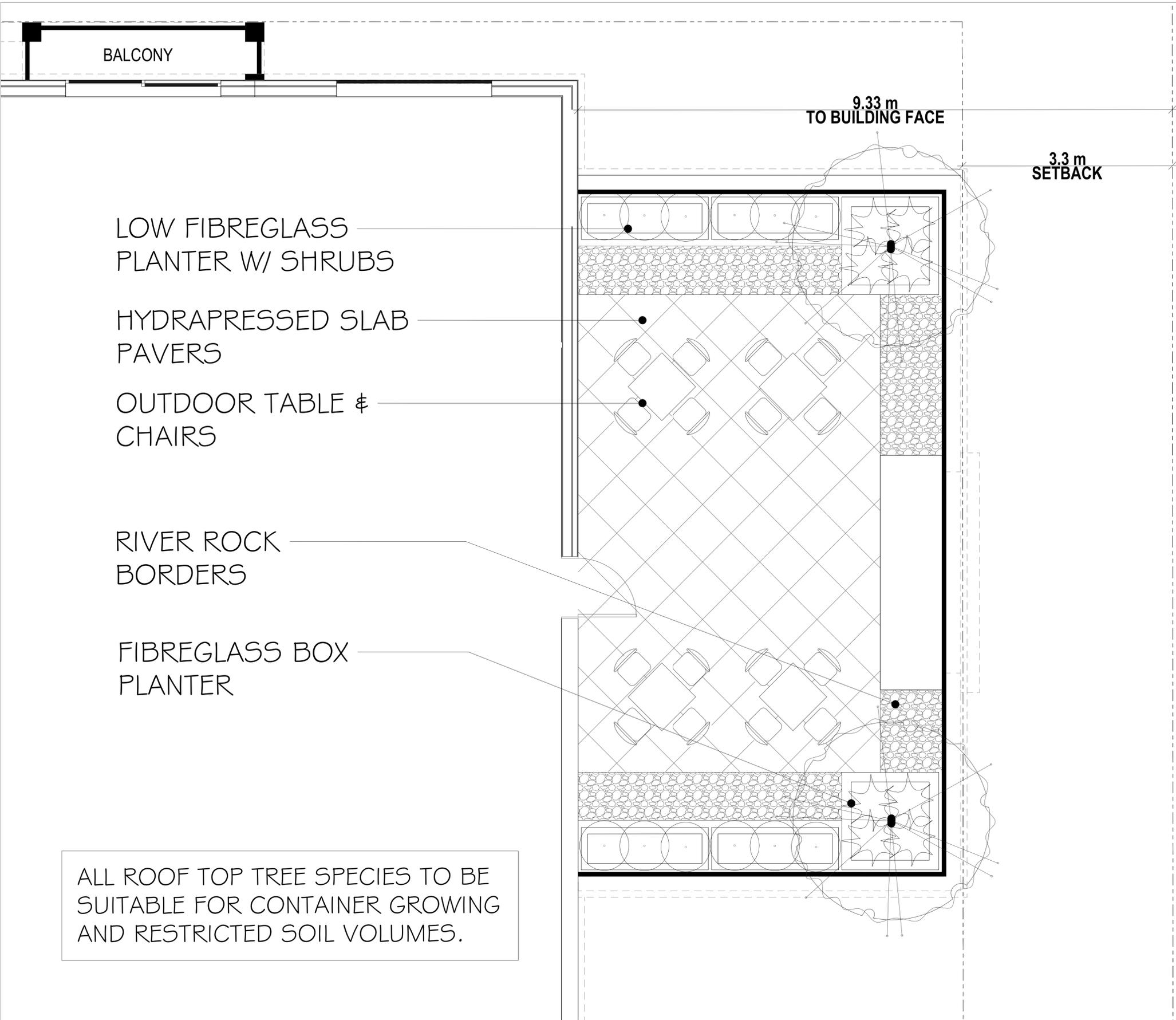
CLIENT

REV. DATE	NUMBER	DESCRIPTION
11-29-23	1	LANDSCAPE CONCEPT PLAN
12-06-23	2	LANDSCAPE CONCEPT PLAN - FOR DP
03-21-24	3	FOR COORDINATION
04-01-24	4	RE-ISSUED FOR DP
06-07-24	5	RE-ISSUED FOR DP
07-31-24	6	RE-ISSUED FOR DP
08-19-24	7	RE-ISSUED FOR DP
09-12-24	8	RE-ISSUED FOR DP

DATE	SEPTEMBER 12, 2024
SCALE	1:100
DRAWN BY	BF/RF

LANDSCAPE CONCEPT PLAN

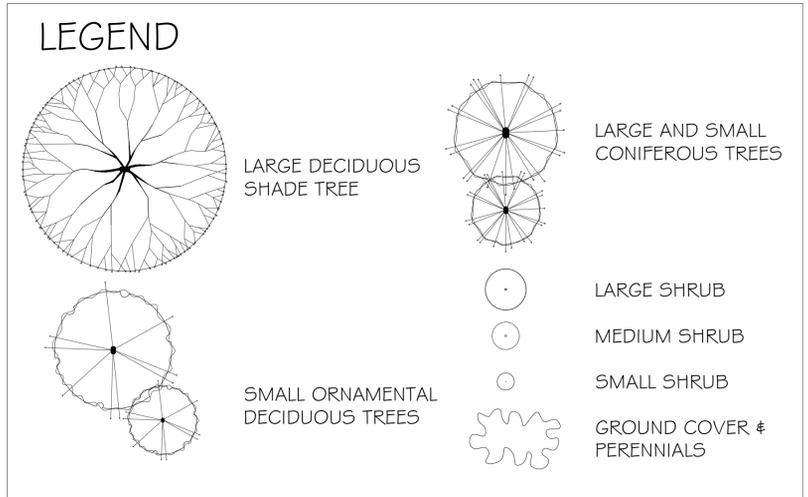
L101



Suggested Plant List

	Key	Common Name	Latin Name	Size
<i>Small Trees</i>	LAUR	Cherry Lauren (topiary tree form)	Photinia fraserii var. 'Red Robin'	#7 Pot
<i>Medium Shrubs</i>	AZAP	Evergreen Azalea	Azalea japonica var. 'Girard's Fuchsia'	#2 Pot
<i>Small Shrubs</i>	EUOF	Creeping Euonymus	Euonymus fortunei var. 'Emerald Gaiety'	#1 Pot
	ILEX	Japanese False Holly	Ilex crenata convexa	#1 Pot
	NAN	Heavenly Bamboo	Nandina domestica var. 'Plum Passion'	#5 Pot
<i>Ground Covers</i>	COTO	Trailing Cottoneaster	Cottoneaster dammeri	#5P4 Pot
<i>Perennials & Grasses</i>	AUBR	Rock Cress	Aubrieta deltoidea var. 'Blue Carpet'	#5P5 Pot
	SEA	Seasonal Annual Flowers	Various	#5P5 Pot

Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification.
 - All areas to be irrigated with an automatic underground system.



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LANDSCAPE ARCH. STAMP



131 MENZIES STREET

VICTORIA, BC V8V 2G4

CLIENT

REV. DATE	NUMBER	DESCRIPTION
11-29-23	1	LANDSCAPE CONCEPT PLAN
12-06-23	2	LANDSCAPE CONCEPT PLAN - FOR DP
03-21-24	3	FOR COORDINATION
04-01-24	4	RE-ISSUED FOR DP
06-07-24	5	RE-ISSUED FOR DP
07-31-24	6	RE-ISSUED FOR DP
08-19-24	7	RE-ISSUED FOR DP
09-12-24	8	RE-ISSUED FOR DP

DATE	SEPTEMBER 12, 2024
SCALE	1:30
DRAWN BY	BF/RF

LANDSCAPE CONCEPT PLAN (ROOF)

L102

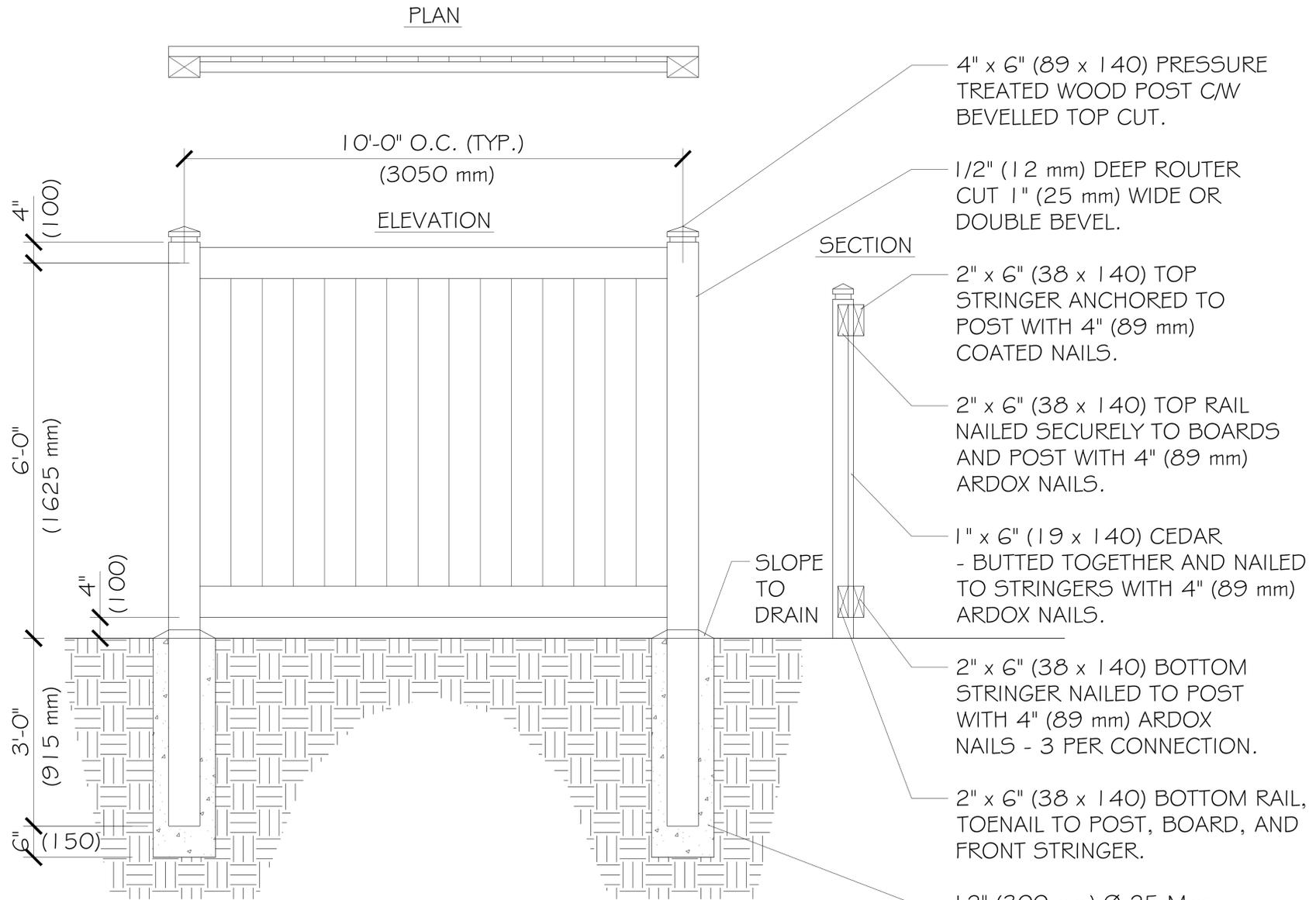
NOTES:

- ALL WOOD MEMBERS TO BE PRE-STAINED WITH 2 COATS STAIN. COLOUR TO BE APPROVED BY OWNER.

- FINAL COVERAGE AND QUALITY OF STAIN TO BE APPROVED BY OWNER. CONTRACTOR SHALL SUBMIT FINISHED PRODUCT SAMPLE FOR APPROVAL PRIOR TO STAINING. CONTRACTORS UNIT PRICE SHALL INCLUDE ALL NECESSARY ADJUSTMENTS AND REVISIONS AS REQUIRED TO OBTAIN OWNER AND CITY APPROVAL.

- ALL CUT MEMBERS TO BE STAINED IN FIELD.

- FENCE TO BE LOCATED WITHIN PROJECT PROPERTY LINES.



1 WOOD FENCE
 L103 SCALE 1" = 1'-0"

REV. DATE	NUMBER	DESCRIPTION
11-29-23	1	LANDSCAPE CONCEPT PLAN
12-06-23	2	LANDSCAPE CONCEPT PLAN - FOR DP
03-21-24	3	FOR COORDINATION
04-01-24	4	RE-ISSUED FOR DP
06-07-24	5	RE-ISSUED FOR DP
08-19-24	6	DETAIL - ISSUED AS ADDENDUM
09-12-24	7	RE-ISSUED FOR DP

DATE	SEPTEMBER 12, 2024
SCALE	1:30
DRAWN BY	BF/RF