



ARCHITECTURAL DRAWINGS

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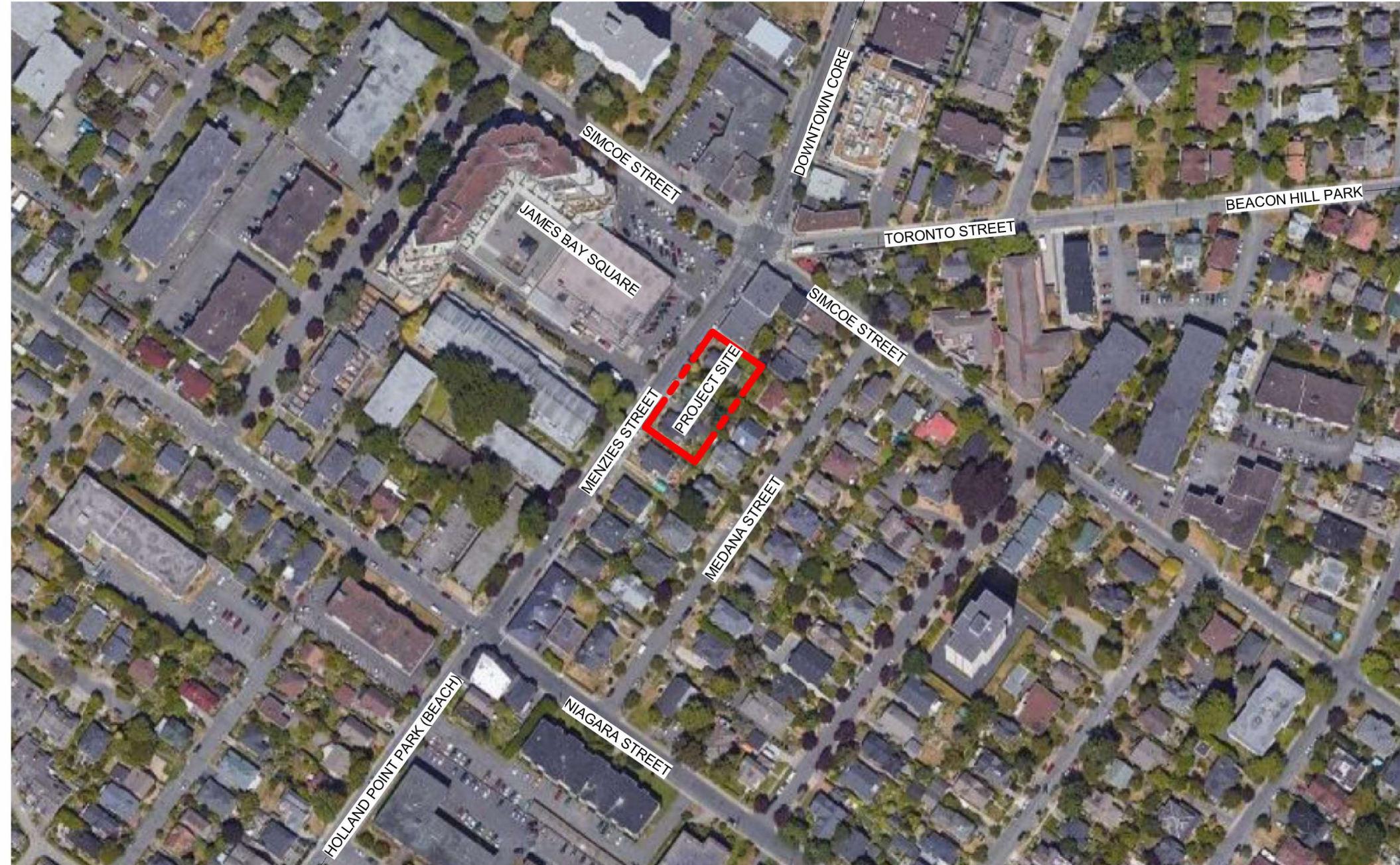
CIVIL DRAWINGS

Sheet Number	Sheet Name
3757-01	SERVICING PLAN AND PROFILE GENERAL NOTES LOCATION PLAN

LANDSCAPE DRAWINGS

Sheet Number	Sheet Name
L100	LANDSCAPE CONCEPT PLAN
L101	LANDSCAPE CONCEPT PLAN (ROOF)

LOCATION PLAN



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Revisions

Received Date:  
October 1, 2024





ZONING DATA

SITE DATA	
MUNICIPAL ADDRESS:	131, 135 & 139 MENZIES STREET, VICTORIA BC, V8V 2G4
LEGAL DESCRIPTION:	LOT 22, 23 & 24, SECTION 11, BECKLEY FARM, VICTORIA CITY, PLAN 753
EXISTING LOT AREA:	918.78m² (LOT 22 & 23) + 459.60m² (LOT 24) = 1378.4m²
CONSOLIDATED LOT AREA (POST DEDICATION):	828.83m² (LOT 22 & 23) + 415.03m² (LOT 24) = 1243.9m²

ZONING DATA	
AREA SCHEDULE - FSR APARTMENT	
GROSS FLOOR BUILDING AREA	
LEVEL	
AREA (m²)	
L1	592.7 m²
L2	648.9 m²
L3	648.9 m²
L4	588.1 m²
TOTAL FSR AREA	2478.7 m²
L1	743 m²
L2	688.4 m²
L3	688.4 m²
L4	623.6 m²
TOTAL GROSS AREA	2743.5 m²
CLASSIFICATION:	EXISTING = R-2
AVERAGE GRADE:	14.14m GEO
REZONED	
ALLOWABLE	PROPOSED
SITE COVERAGE:	497m² (40%)
OPEN SITE SPACE:	373m² (30%)
FSR:	0.5 - 1.0
BUILDING HEIGHT:	7.6m
NUMBER OF STOREYS:	1
SETBACKS	REQUIRED
FRONT YARD:	7.50m / 1.63m (AVG SIDE LOTS)
REAR YARD:	10.70m
SIDE YARD (NORTH):	3.00m / 1.50m MIN
SIDE YARD (SOUTH):	3.00m / 1.50m MIN
COMBINED SIDE YARDS:	4.5m
CAR PARKING	REQUIRED
< 45m² (0.2/UNIT) x 34	6.8
45-70m² (0.5/UNIT) x 5	2.5
> 70m² (0.75/UNIT) x 4	3
VISITORS (0.1/UNIT) x 42	4.2
COMMERCIAL(1/50m2)122m2	3
ACCESSIBLE SPACES	1 (VAN)
TOTAL	20
BICYCLE PARKING	REQUIRED
< 45m² (1.0/UNIT) x 34	34
45-70m² (1.25/UNIT) x 5	6.25
> 70m² (1.25/UNIT) x 4	5
VISITORS (6/BLDG)	6
COMMERCIAL(1/200) 122m2	1
TOTAL	52
PROVIDED	
0.00m	
5.36m	
3.35m	
3.30m	
6.65m	
PROVIDED	
1	
1	
2	
31 U-RACK STALLS (ELEC)	
2 SHARED U-RACK STALLS (ELEC)	
34 WALL MOUNTED STALLS	
9 CARGO BIKE STALLS (ELEC)	
1 SHARED CARGO BIKE STALLS (ELEC)	
8 VISITOR	
85	

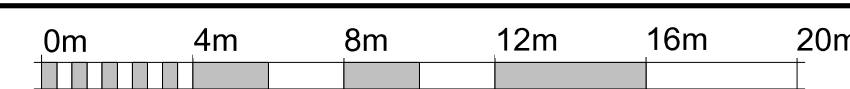
TOTAL UNITS BY AREA UNDER 45m2 (AREA FOR PARKING CALCULATION)	
UNIT TYPE	AREA
STUDIO 3	26.8 m²
.8 m² 3	
STUDIO 2	29.8 m²
.8 m² 2	
STUDIO 1	29.9 m²
.9 m² 1	
STUDIO 2	30 m²
m² 1	
STUDIO 2	30.2 m²
.2 m² 2	
STUDIO 1	31.9 m²
.9 m² 1	
BEDROOM	42.7 m²
.7 m² 3	
BEDROOM	42.8 m²
.8 m² 3	
BEDROOM	43 m²
m² 3	
BEDROOM	43.1 m²
.1 m² 6	
TOTAL UNIT COUNT: 34	

TOTAL UNITS BY AREA 45m2 to 70m2 (AREA FOR PARKING CALCULATION)	
UNIT TYPE	AREA
2 BEDROOM	56 m²
56 m² 5	
TOTAL UNIT COUNT: 5	
TOTAL UNITS BY AREA GREATER THAN 70m2 (AREA FOR PARKING CALCULATION)	
UNIT TYPE	Area
3 BEDROOM	71.8 m²
71.8 m² 1	
3 BEDROOM	71.9 m²
71.9 m² 1	
3 BEDROOM	72 m²
72 m² 2	
TOTAL UNIT COUNT: 4	





1 | SITE PLAN - EXISTING / DEMO  
1 : 200



VISUAL SCALE 1:200 @ Arch D

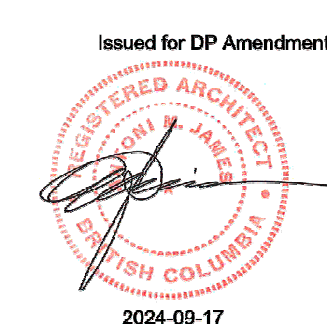
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ARCHITECTURE

519 PANDORA AVENUE, VICTORIA, B.C. V8W 1N5 +1 250 388 4261

**MIKE GERIC**  
CONSTRUCTION

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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**131 MENZIES ST.**

131 MENZIES STREET  
VICTORIA, BC V8V 2G4

**SITE PLAN - EXISTING / DEMO**

JOB No.: 2403

SCALE: 1 : 200

**A-1.1**

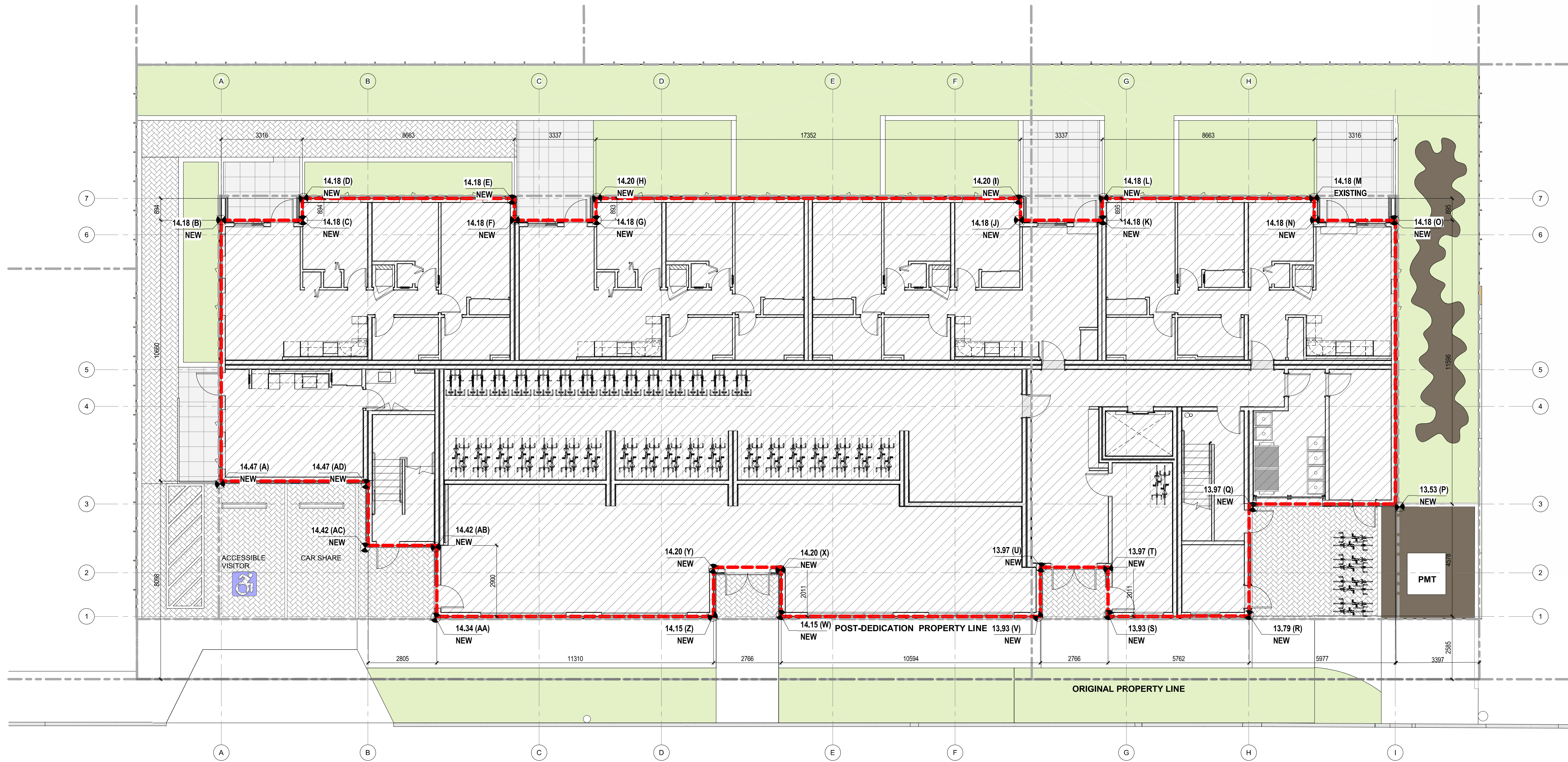
DATE: 02/05/22



AVERAGE GRADE CALCULATION

Points	Average of points	Distance	Totals
A-B	14.325	10.66	152.70
B-C	14.18	3.32	47.02
C-D	14.18	0.89	12.68
D-E	14.18	8.66	122.84
E-F	14.18	0.89	12.66
F-G	14.18	3.34	47.32
G-H	14.19	0.89	12.67
H-I	14.2	17.35	246.40
I-J	14.19	0.89	12.69
J-K	14.18	3.34	47.32
K-L	14.18	0.89	12.68
L-M	14.18	8.66	122.84
M-N	14.18	0.90	12.69
N-O	14.18	3.32	47.02
O-P	13.855	11.60	160.66
P-Q	13.75	5.98	82.18
Q-R	13.88	4.58	63.54
R-S	13.86	5.76	79.86
S-T	13.95	2.01	28.05
T-U	13.97	2.77	38.64
U-V	13.95	2.01	28.05
V-W	14.04	10.59	148.74
W-X	14.175	2.01	28.51
X-Y	14.2	2.77	39.28
Y-Z	14.175	2.01	28.51
Z-AA	14.245	11.31	161.11
AA-AB	14.38	2.90	41.70
AB-AC	14.42	2.81	40.45
AC-AD	14.445	2.63	38.03
AD-A	14.47	6.01	86.89
		141.74	2003.74

AVERAGE GRADE: 14.14 m (GEO)



1 | AVERAGE GRADE PLAN

1 : 100

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**MIKE GERIC**  
CONSTRUCTION

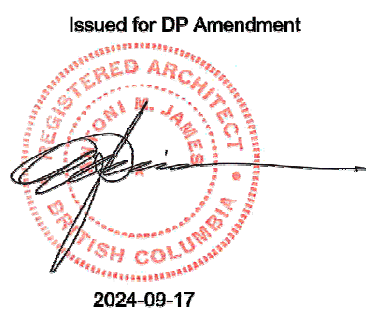


0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @ Arch D

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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131 MENZIES ST.

131 MENZIES STREET  
VICTORIA, BC V8V 2G4

AVERAGE GRADE PLAN

JOB No.: 2403

SCALE: 1 : 100

A-1.2

DATE: 02/05/22

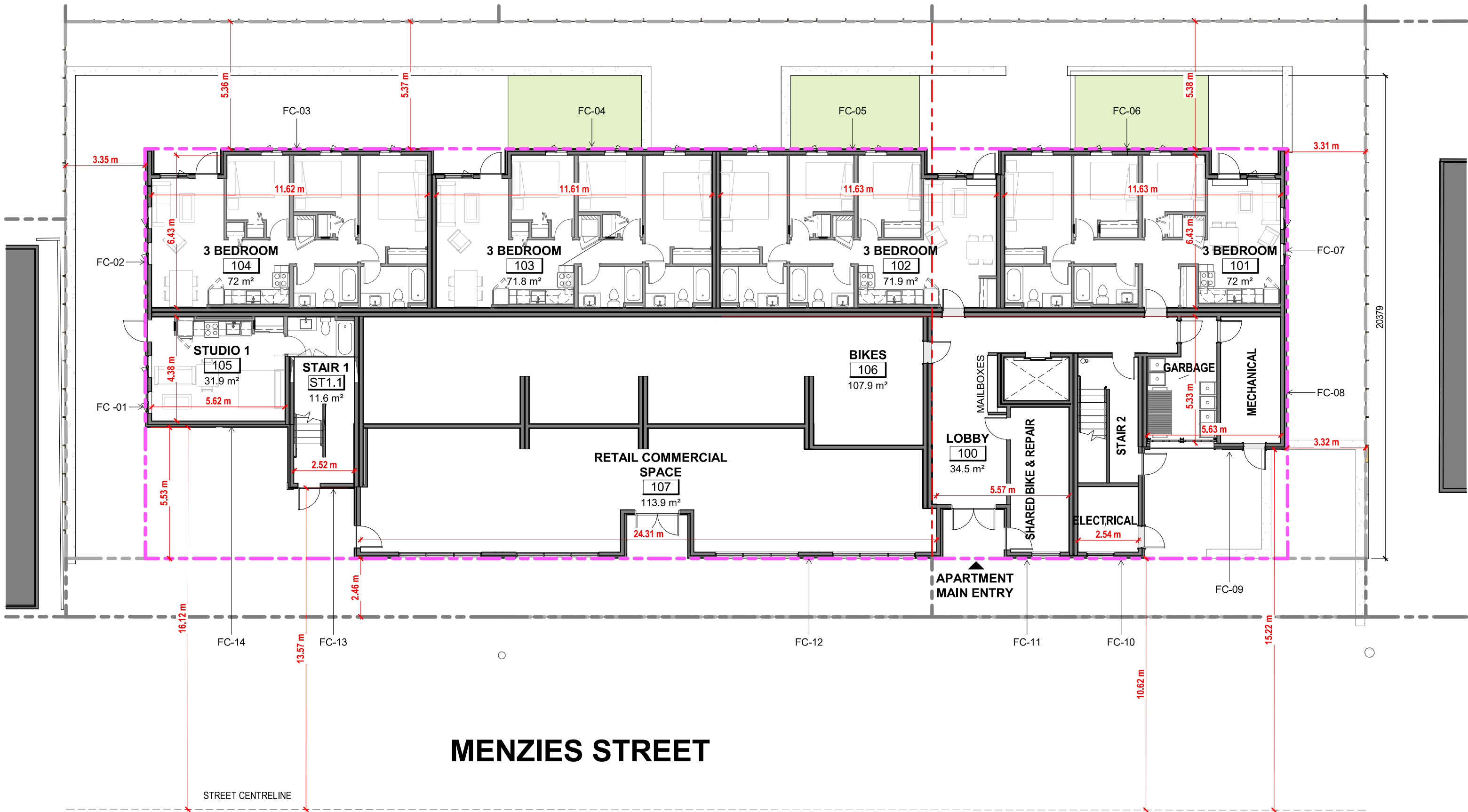


LIMITING DISTANCE CALCLTATIONS PART 3

LEVEL 1 (VARRIED CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-01	15.86 / 3.79	18% / 42%	3.35	3.35
FC-02	23.28 / 4.46	19% / 31%	3.35	3.35
EAST ELEVATION				
FC-03	42.10 / 10.51	25% / 54%	5.36	5.36
FC-04	42.10 / 10.51	25% / 54%	5.36	5.36
FC-05	42.10 / 10.51	25% / 54%	5.36	5.36
FC-06	42.10 / 10.51	25% / 54%	5.36	5.36
SOUTH ELEVATION				
FC-07	23.28 / 4.46	19% / 30%	3.31	3.31
FC-08	20.47 / 3.91	19% / 33%	3.31	3.31
WEST ELEVATION				
FC-09	21.62 / 7.16	33% / 100%	15.22	15.22
FC-10	9.60 / 3.30	34% / 100%	10.59	10.59
FC-11	21.84 / 7.08	32% / 100%	10.59	10.59
FC-12	84.36 / 42.28	50% / 99%	10.59	10.59
FC-13	9.28 / 1.95	21% / 100%	13.51	13.51
FC-14	20.34 / 5.12	25% / 100%	16.12	16.12
LEVEL 2 & 3 (2.74M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-15a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-15b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-15c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-16	15.40 / 1.39	9% / 100%	6.86	6.86
FC-17	18.36 / 7.87	43% / 92%	5.38	5.38
FC-18	12.88 / 5.08	39% / 100%	5.38	5.38
FC-19	18.36 / 7.87	43% / 92%	5.38	5.38
FC-20	12.88 / 5.08	39% / 100%	5.38	5.38
FC-21	18.36 / 7.87	43% / 92%	5.38	5.38
FC-22	12.88 / 5.08	39% / 100%	5.38	5.38
FC-23	15.40 / 1.39	9% / 100%	6.86	6.86
SOUTH ELEVATION				
FC-24a	7.89 / 2.79	35% / 60%	3.32	3.32
FC-24b	10.03 / 5.20	52% / 94%	4.33	4.33
FC-24c	11.29 / 3.72	33% / 56%	3.32	3.32
WEST ELEVATION				
FC-25	15.40 / 1.10	7% / 100%	15.24	15.24
FC-26	22.98 / 2.23	10% / 100%	12.42	12.42
FC-27	16.00 / 5.08	32% / 100%	12.42	12.42
FC-28	12.69 / 2.79	22% / 100%	12.42	12.42
FC-29	18.17 / 7.87	43% / 100%	12.42	12.42
FC-30	12.69 / 2.79	22% / 100%	12.42	12.42
FC-31	18.17 / 7.87	43% / 100%	12.42	12.42
FC-32	22.98 / 3.35	15% / 100%	12.42	12.42
FC-33	15.40 / 1.10	7% / 100%	15.24	15.24
LEVEL 4 (2.85M / 3.50M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-34a	8.21 / 2.79	34% / 62%	3.35	3.35
FC-34b	10.43 / 3.81	37% / 93%	4.36	4.36
FC-34c	11.74 / 3.72	32% / 55%	3.35	3.35
EAST ELEVATION				
FC-35	16.02 / 1.39	9% / 100%	6.86	6.86
FC-36	23.45 / 7.87	34% / 81%	5.36	5.36
FC-37	16.45 / 2.79	17% / 97%	5.36	5.36
FC-38	23.45 / 7.87	34% / 81%	5.36	5.36
FC-39	16.45 / 2.79	17% / 97%	5.36	5.36
FC-40	23.45 / 7.87	34% / 81%	5.36	5.36
FC-41	16.45 / 2.79	17% / 97%	5.36	5.36
SOUTH ELEVATION				
FC-42	22.51 / 1.12	5% / 100%	9.33	9.33
FC-43	5.25 / 1.95	37% / 100%	9.33	9.33
FC-44	53.27 / 7.25	14% / 100%	9.33	9.33
WEST ELEVATION				
FC-45	22.98 / 3.29	14% / 100%	12.42	12.42
FC-46	20.44 / 6.08	25% / 100%	12.42	12.42
FC-47	16.21 / 5.08	31% / 100%	12.42	12.42
FC-48	23.21 / 7.87	34% / 100%	12.42	12.42
FC-49	16.21 / 5.08	31% / 100%	12.42	12.42
FC-50	23.21 / 7.87	34% / 100%	12.42	12.42
FC-51	22.98 / 3.35	15% / 100%	12.42	12.42
FC-52	13.20 / 1.12	8% / 100%	15.24	15.24

1 L1 FLOOR PLAN, LD CALCULATION

1 : 150

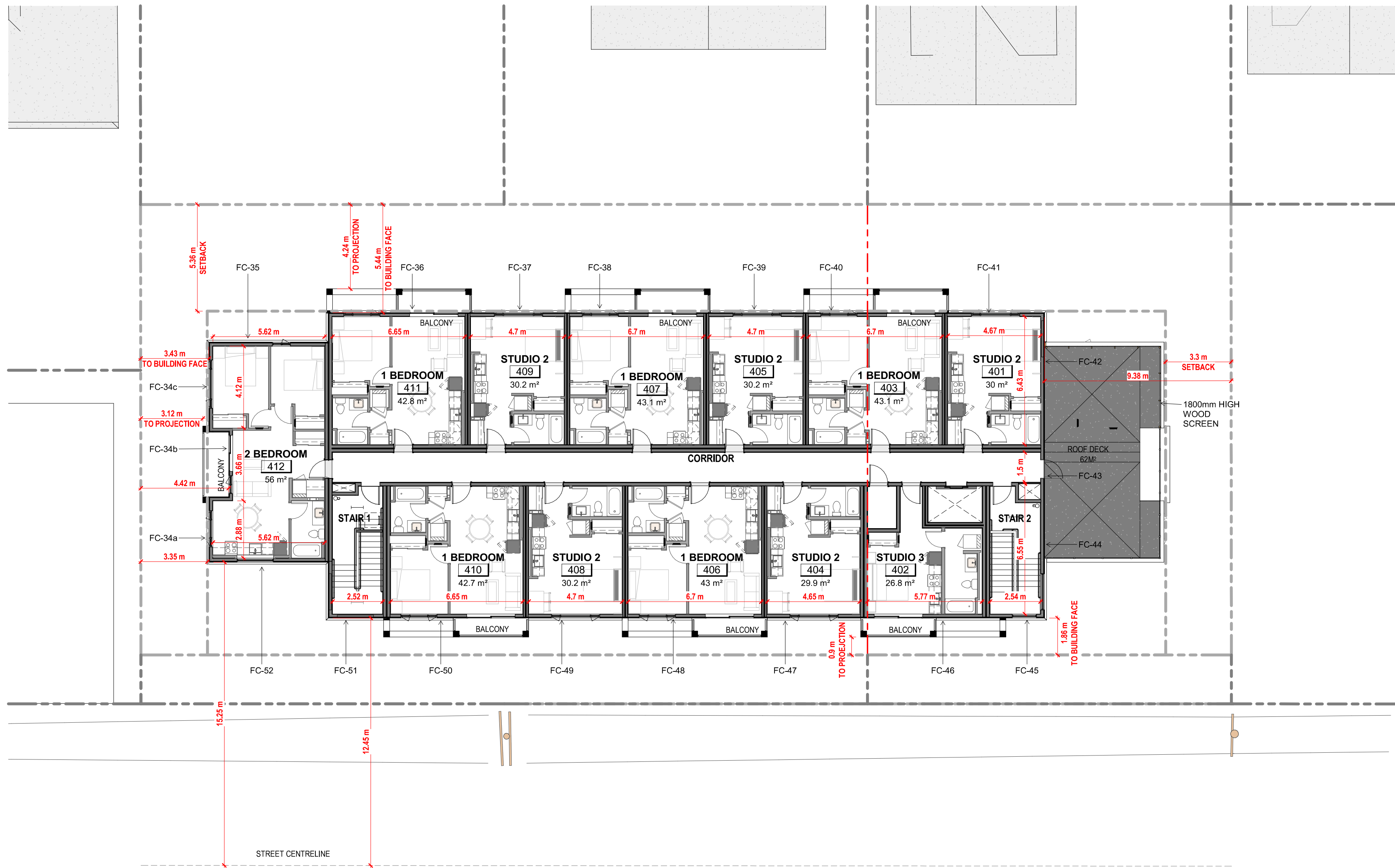


2 L2 FLOOR PLAN, LD CALCULATION

1 : 150







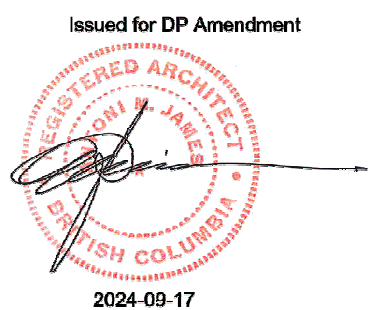
LIMITING DISTANCE CALCLATIONS PART 3

LEVEL 1 (VARRIED CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-01	15.86 / 3.79	18% / 42%	3.35	3.35
FC-02	23.28 / 4.46	19% / 31%	3.35	3.35
EAST ELEVATION				
FC-03	42.10 / 10.51	25% / 54%	5.36	5.36
FC-04	42.10 / 10.51	25% / 54%	5.36	5.36
FC-05	42.10 / 10.51	25% / 54%	5.36	5.36
FC-06	42.10 / 10.51	25% / 54%	5.36	5.36
SOUTH ELEVATION				
FC-07	23.28 / 4.46	19% / 30%	3.31	3.31
FC-08	20.47 / 5.91	19% / 33%	3.31	3.31
WEST ELEVATION				
FC-09	21.62 / 7.16	33% / 100%	15.22	15.22
FC-10	9.60 / 3.30	34% / 100%	10.59	10.59
FC-11	21.84 / 7.08	32% / 100%	10.59	10.59
FC-12	84.36 / 42.28	50% / 99%	10.59	10.59
FC-13	9.29 / 1.95	21% / 100%	13.51	13.51
FC-14	20.34 / 5.12	25% / 100%	16.12	16.12
LEVEL 2 & 3 (2.74M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	IMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-15a	7.89 / 2.79	35% / 61%	3.35	3.35
FC-15b	10.03 / 3.81	38% / 94%	4.36	4.36
FC-15c	11.29 / 3.72	33% / 57%	3.35	3.35
EAST ELEVATION				
FC-16	15.40 / 1.39	9% / 100%	6.86	6.86
FC-17	18.36 / 7.87	43% / 92%	5.38	5.38
FC-18	12.88 / 5.08	39% / 100%	5.38	5.38
FC-19	18.36 / 7.87	43% / 92%	5.38	5.38
FC-20	12.88 / 5.08	39% / 100%	5.38	5.38
FC-21	18.36 / 7.87	43% / 92%	5.38	5.38
FC-22	12.88 / 5.08	39% / 100%	5.38	5.38
FC-23	15.40 / 1.39	9% / 100%	6.86	6.86
SOUTH ELEVATION				
FC-24a	7.89 / 2.79	35% / 60%	3.32	3.32
FC-24b	10.03 / 5.20	52% / 94%	4.33	4.33
FC-24c	11.29 / 3.72	33% / 56%	3.32	3.32
WEST ELEVATION				
FC-25	15.40 / 1.10	7% / 100%	15.24	15.24
FC-26	22.98 / 2.23	10% / 100%	12.42	12.42
FC-27	16.00 / 5.08	32% / 100%	12.42	12.42
FC-28	12.89 / 2.79	22% / 100%	12.42	12.42
FC-29	18.17 / 7.87	43% / 100%	12.42	12.42
FC-30	12.89 / 2.79	22% / 100%	12.42	12.42
FC-31	18.17 / 7.87	43% / 100%	12.42	12.42
FC-32	22.98 / 3.35	15% / 100%	12.42	12.42
FC-33	15.40 / 1.10	7% / 100%	15.24	15.24
LEVEL 4 (2.85M / 3.50M CEILING HEIGHT)				
FIRE COMPARTMENT	AREA OR EXPOSED BUILDING FACE/ OPENINGS (M²)	% OF OPENINGS/ % ALLOWED OPENINGS	LIMITING DISTANCE PROVIDED (M)	LIMITING DISTANCE REQUIRED (M)
NORTH ELEVATION				
FC-34a	8.21 / 2.79	34% / 62%	3.35	3.35
FC-34b	10.43 / 3.81	37% / 93%	4.36	4.36
FC-34c	11.74 / 3.72	32% / 55%	3.35	3.35
EAST ELEVATION				
FC-35	16.02 / 1.39	9% / 100%	6.86	6.86
FC-36	23.45 / 7.87	34% / 81%	5.36	5.36
FC-37	16.45 / 2.79	17% / 97%	5.36	5.36
FC-38	23.45 / 7.87	34% / 81%	5.36	5.36
FC-39	16.45 / 2.79	17% / 97%	5.36	5.36
FC-40	23.45 / 7.87	34% / 81%	5.36	5.36
FC-41	16.45 / 2.79	17% / 97%	5.36	5.36
SOUTH ELEVATION				
FC-42	22.51 / 1.12	5% / 100%	9.33	9.33
FC-43	5.25 / 1.95	37% / 100%	9.33	9.33
FC-44	53.27 / 7.25	14% / 100%	9.33	9.33
WEST ELEVATION				
FC-45	22.98 / 3.29	14% / 100%	12.42	12.42
FC-46	20.44 / 5.08	25% / 100%	12.42	12.42
FC-47	16.21 / 5.08	31% / 100%	12.42	12.42
FC-48	23.21 / 7.87	34% / 100%	12.42	12.42
FC-49	16.21 / 5.08	31% / 100%	12.42	12.42
FC-50	23.21 / 7.87	34% / 100%	12.42	12.42
FC-51	22.98 / 3.85	15% / 100%	12.42	12.42
FC-52	13.20 / 1.12	8% / 100%	15.24	15.24

1 | L4 FLOOR PLAN CODE  
1 : 150

8	ISSUED FOR DP AMENDMENT	09/13/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/06/24
NO.	DESCRIPTION	DATE

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131 MENZIES ST.

131 MENZIES STREET  
VICTORIA, BC V8V 2G4

CODE PLANS

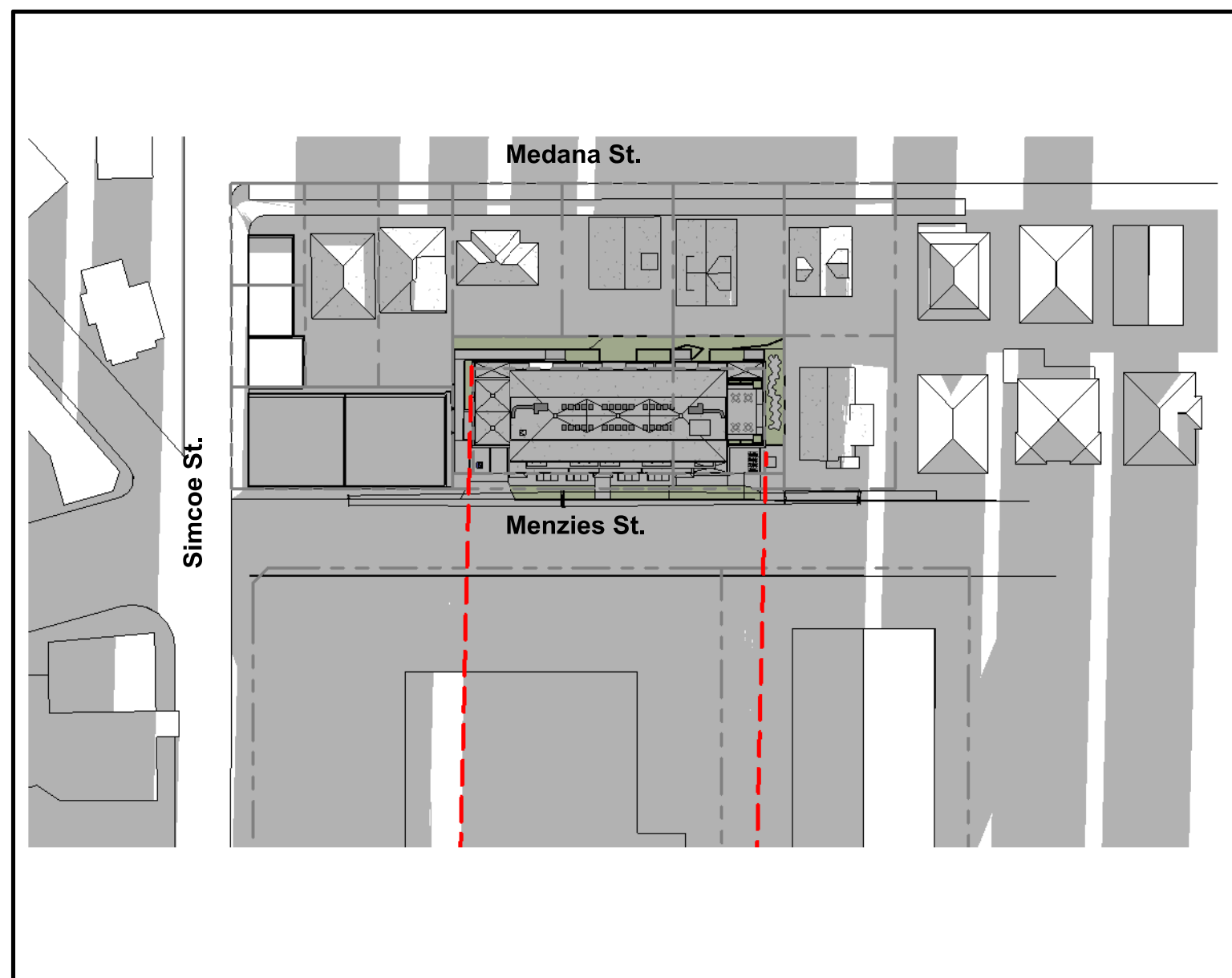
A-1.4

JOB No.: 2403

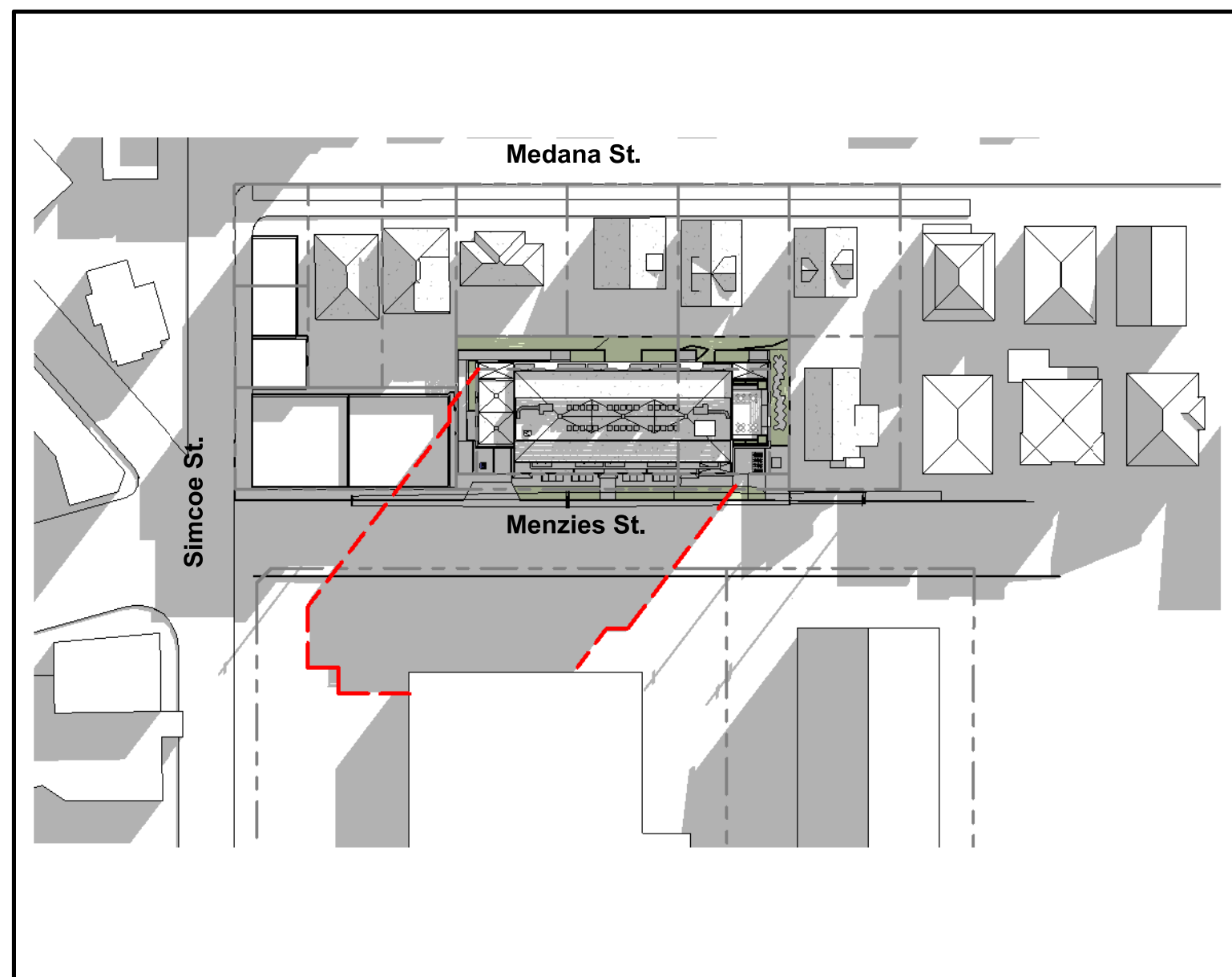
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DATE: 06/07/24

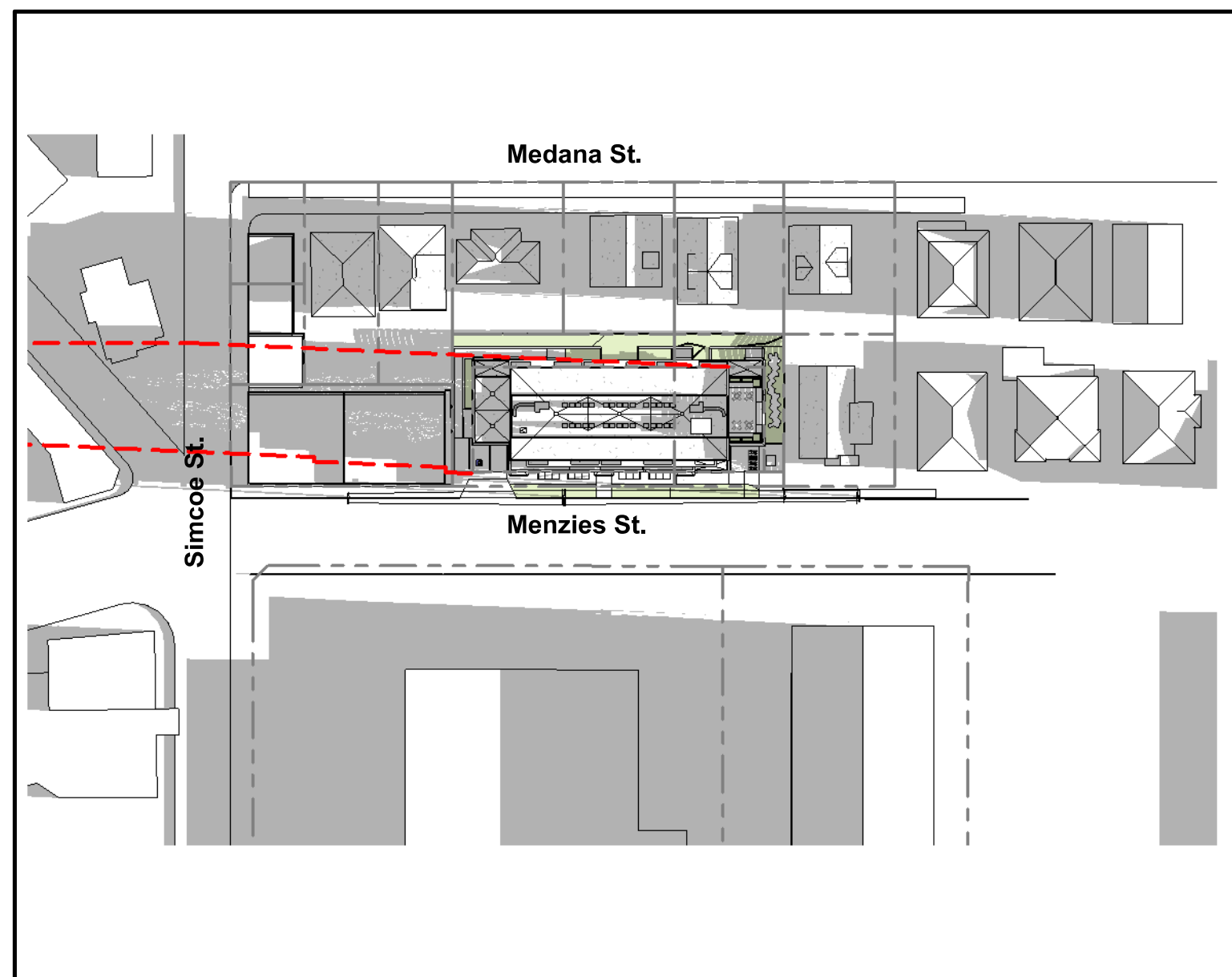




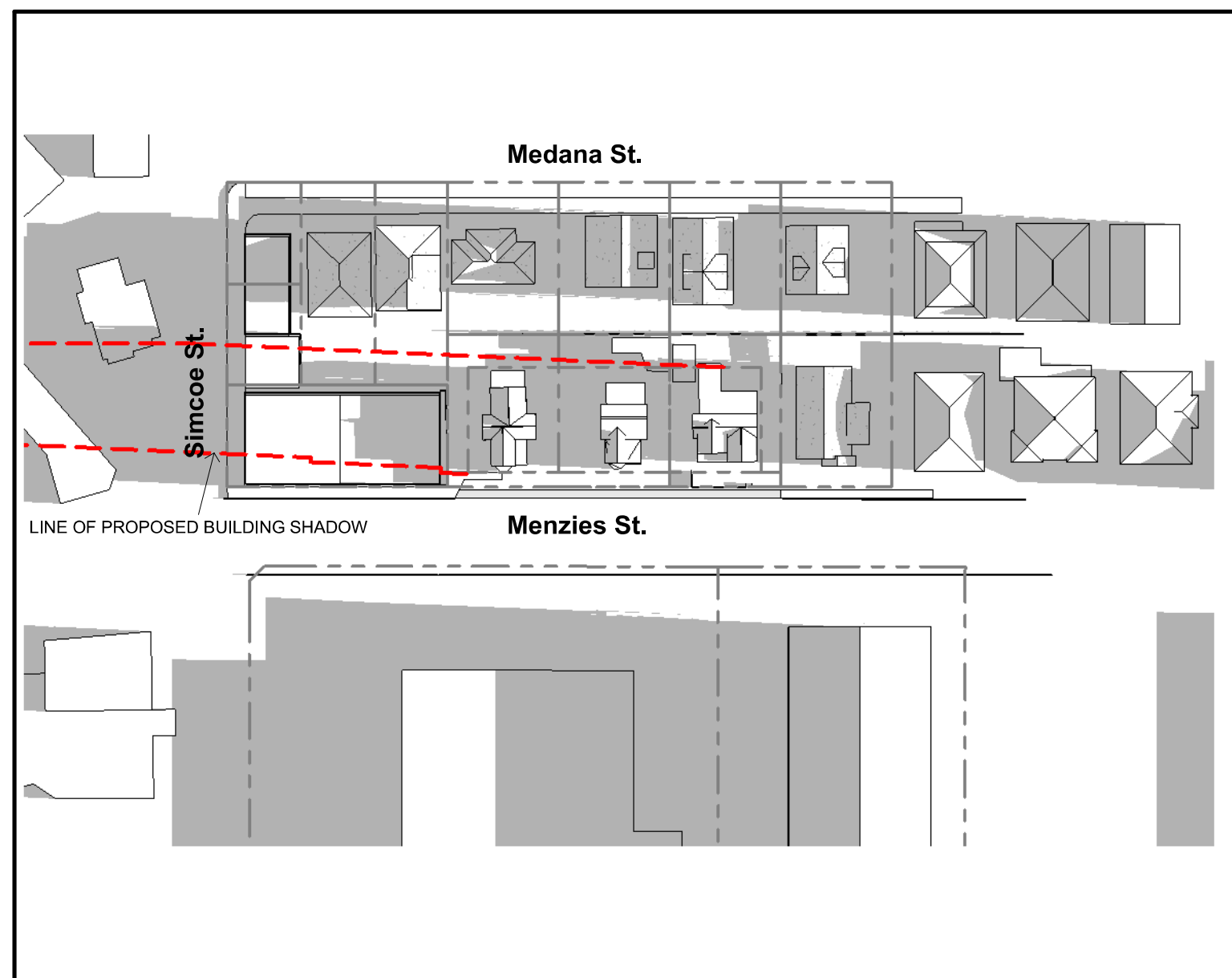
1 | SHADOWS - WINTER SOLTICE - 8am  
1 : 1000



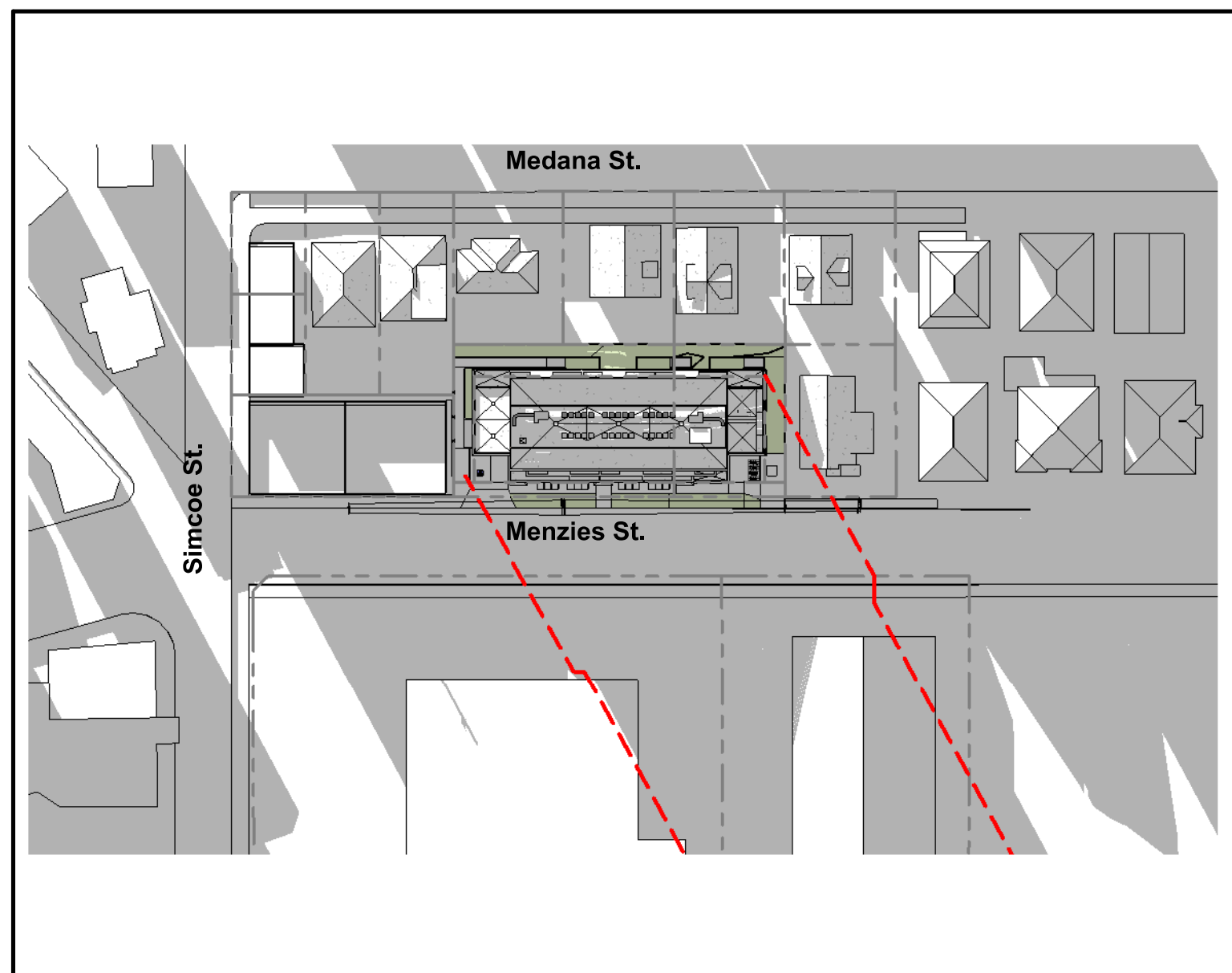
2 | SHADOWS - WINTER SOLTICE - NOON  
1 : 1000



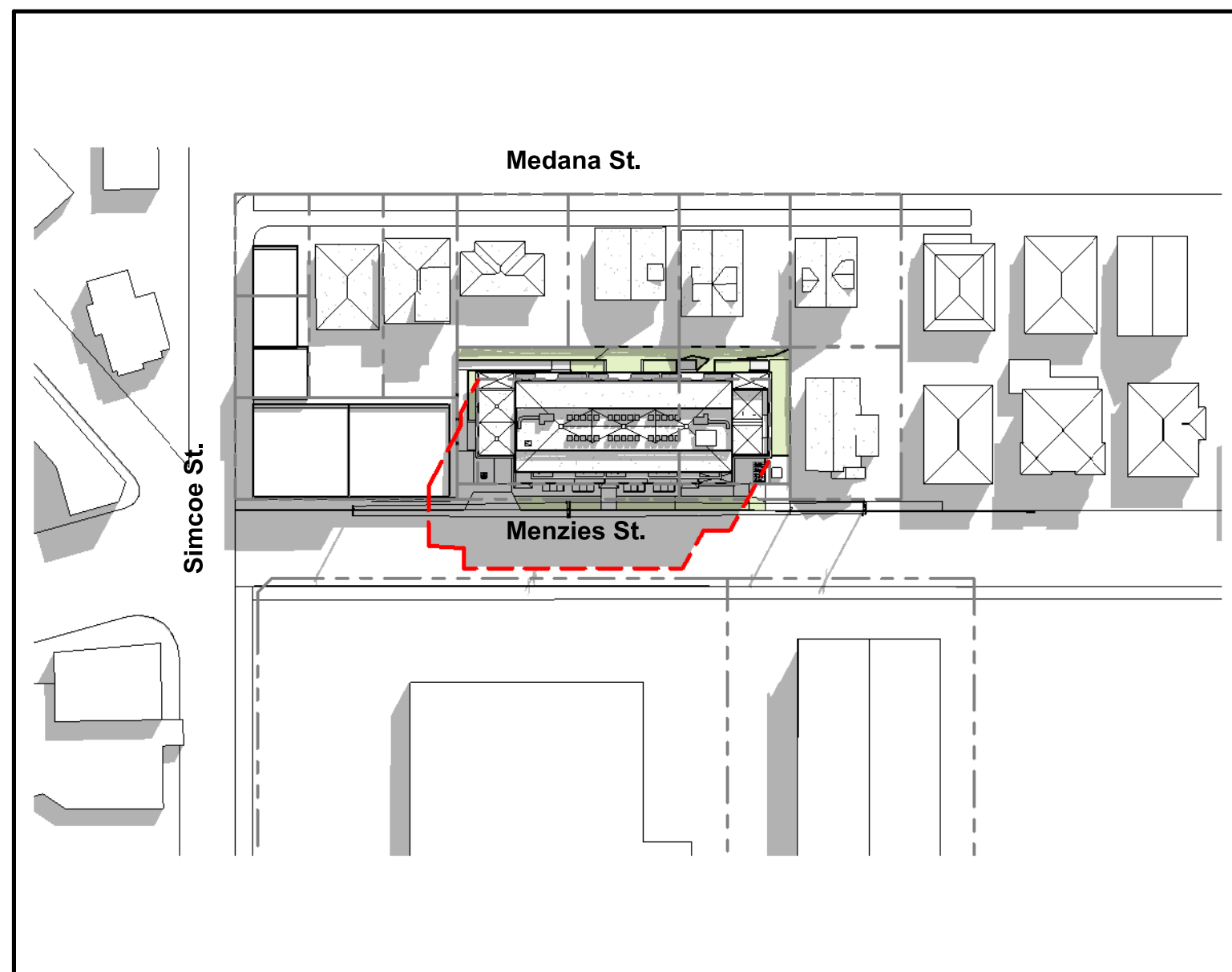
3 | SHADOWS - WINTER SOLTICE - 4pm  
1 : 1000



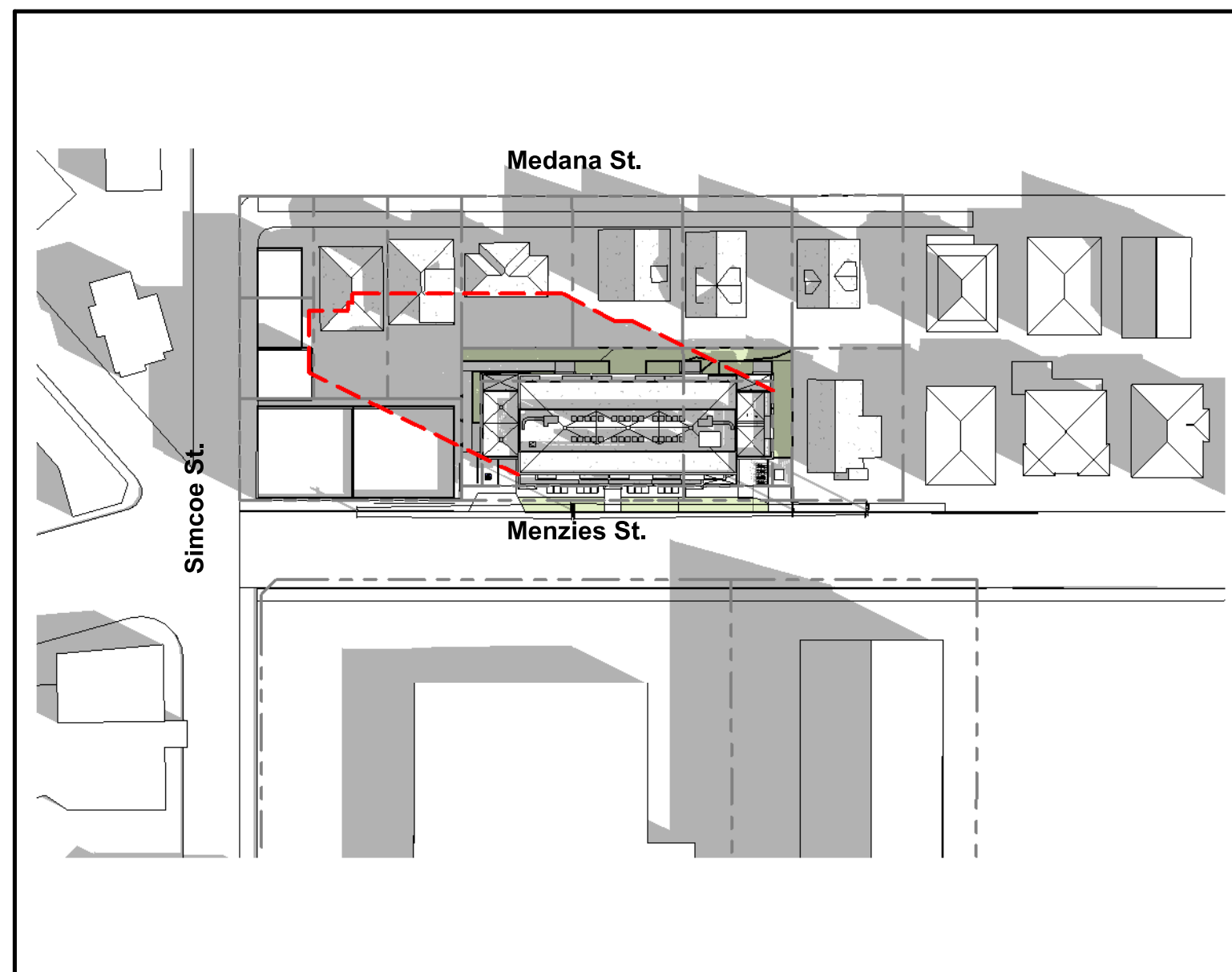
4 | EXISTING SHADOWS- WINTER SOLTICE - 4pm  
1 : 1000



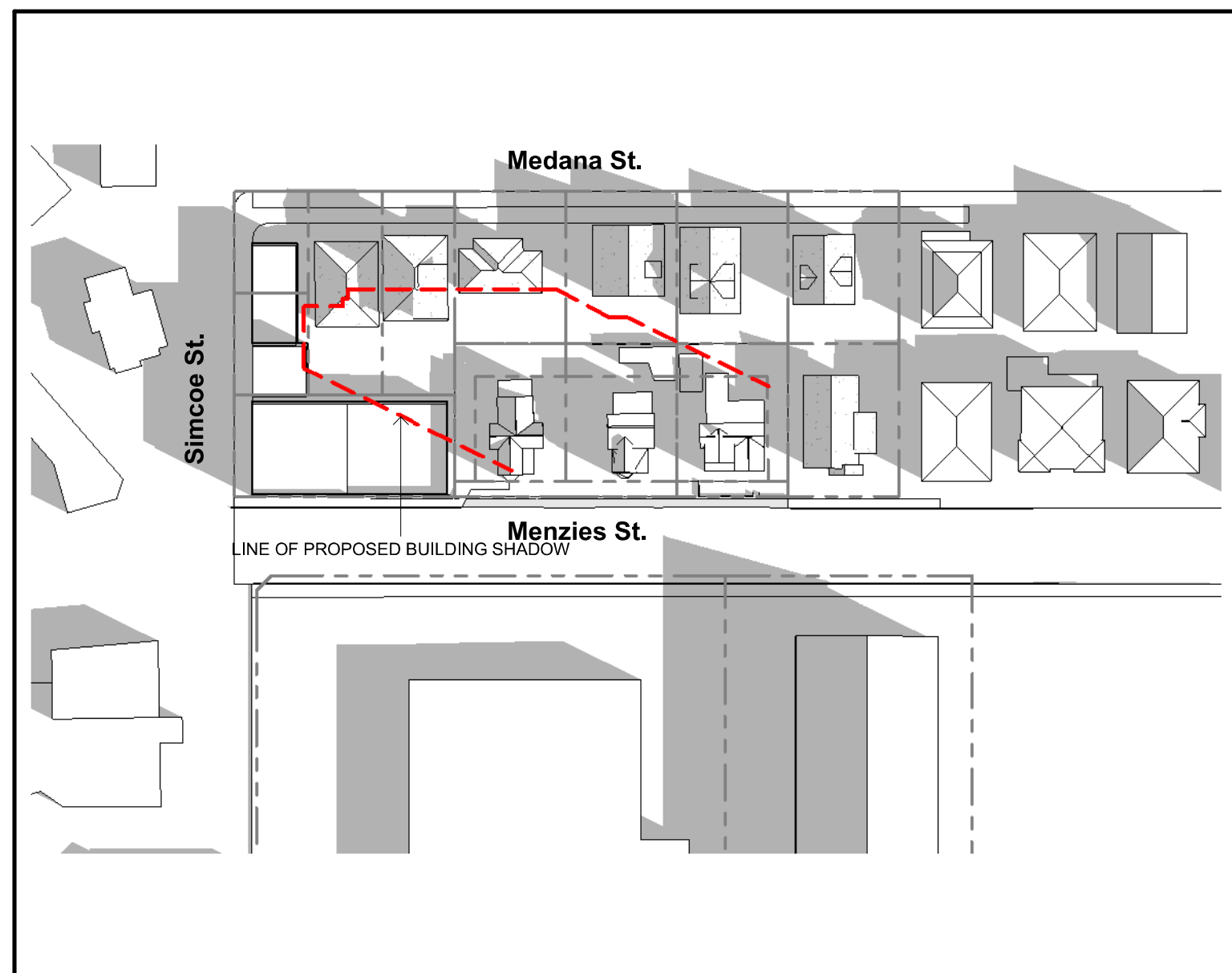
5 | SHADOWS-SPRING/AUTUMN EQUINOX-8am  
1 : 1000



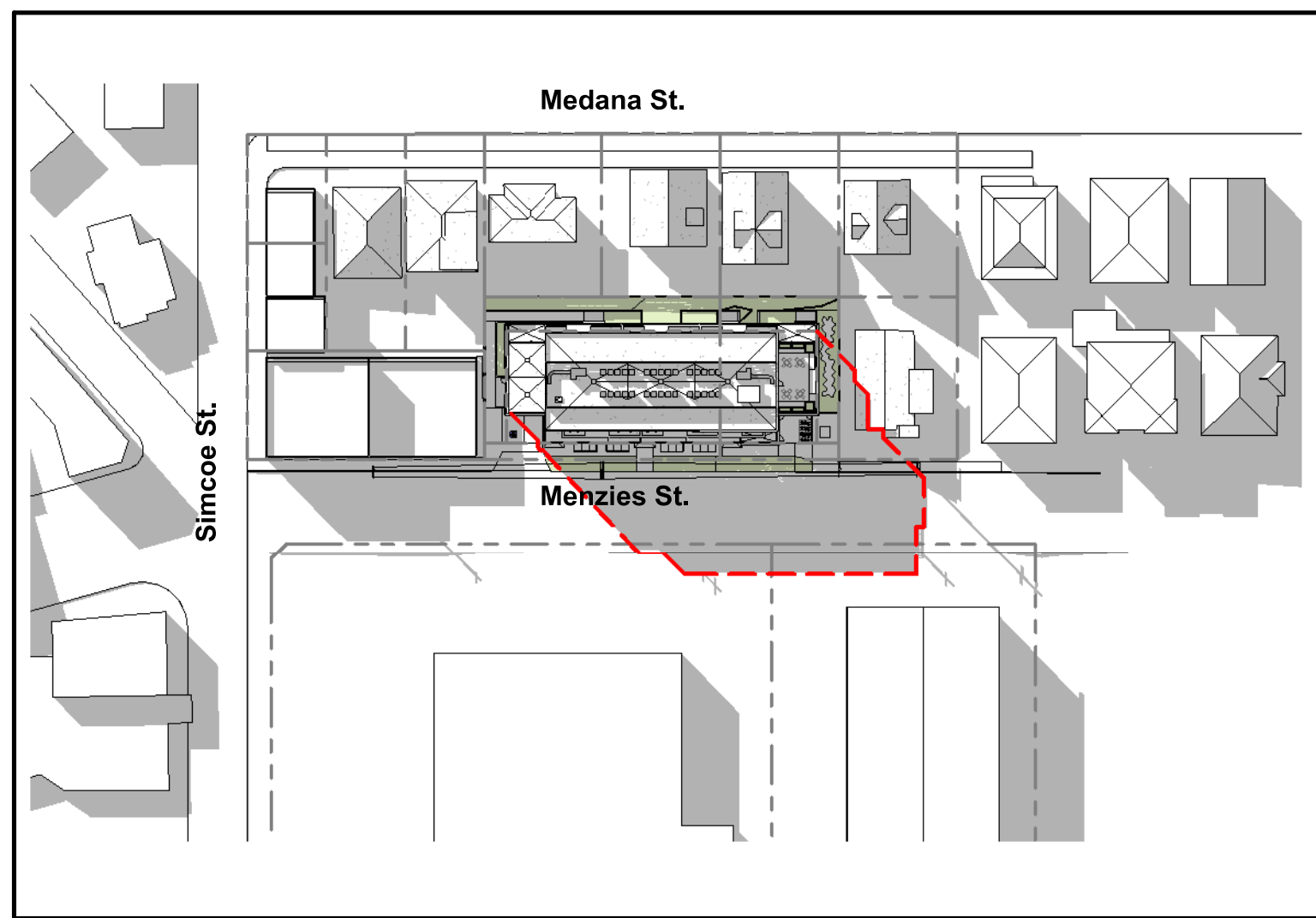
6 | SHADOWS-SPRING/AUTUMN EQUINOX-NOON  
1 : 1000



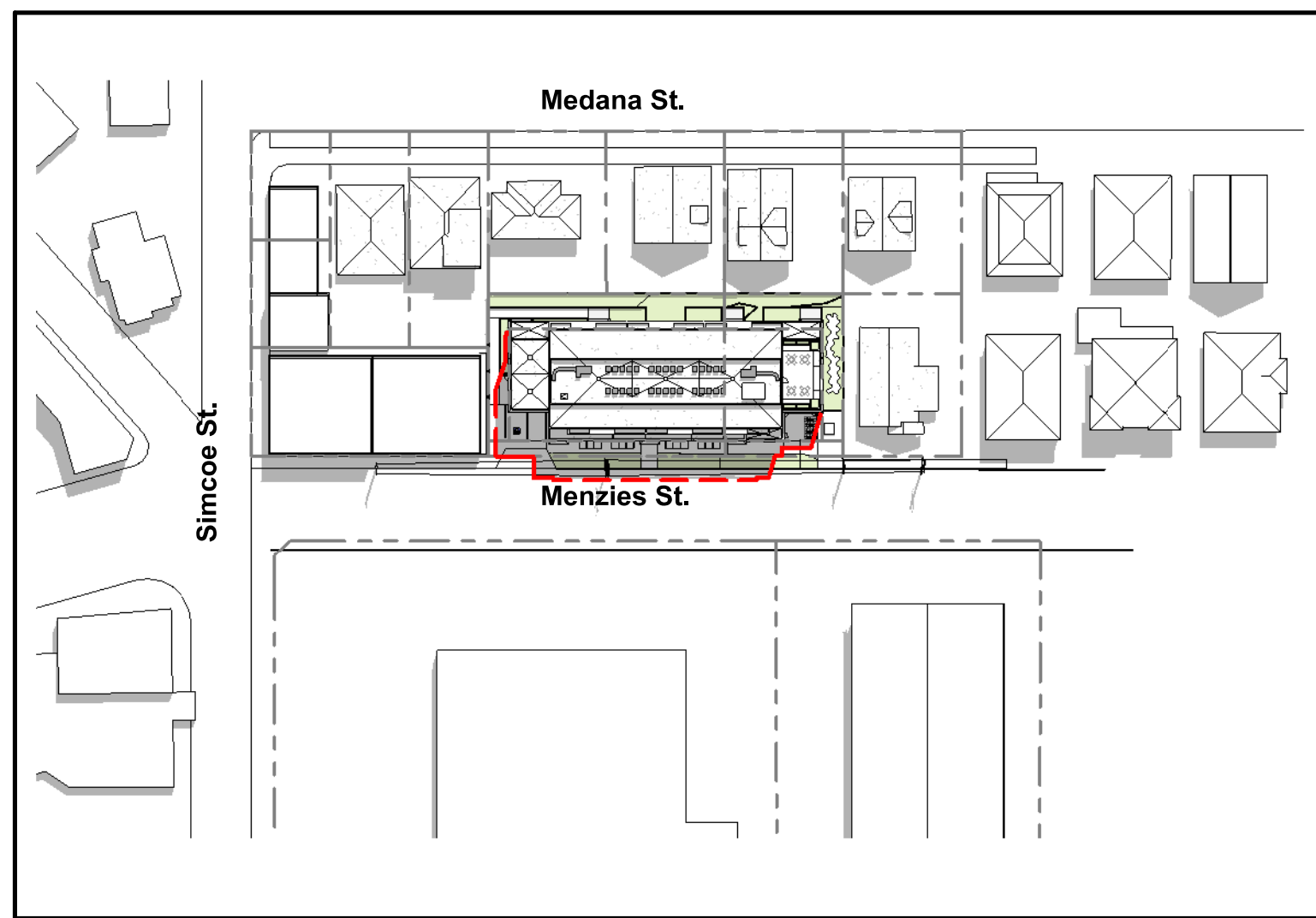
7 | SHADOWS-SPRING/AUTUMN EQUINOX-5pm  
1 : 1000



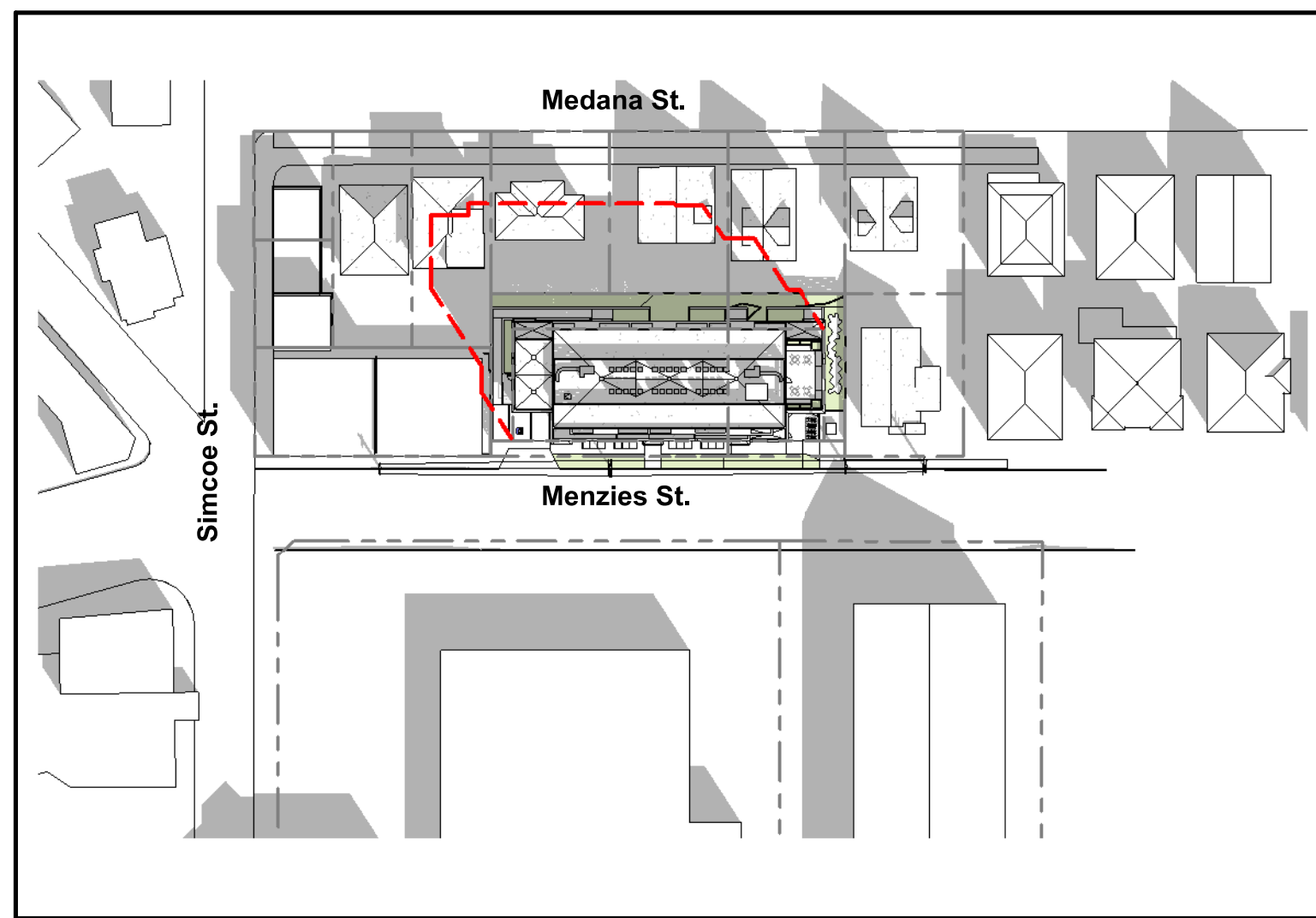
8 | EXISTING SHADOWS - EQUINOX - 5pm  
1 : 1000



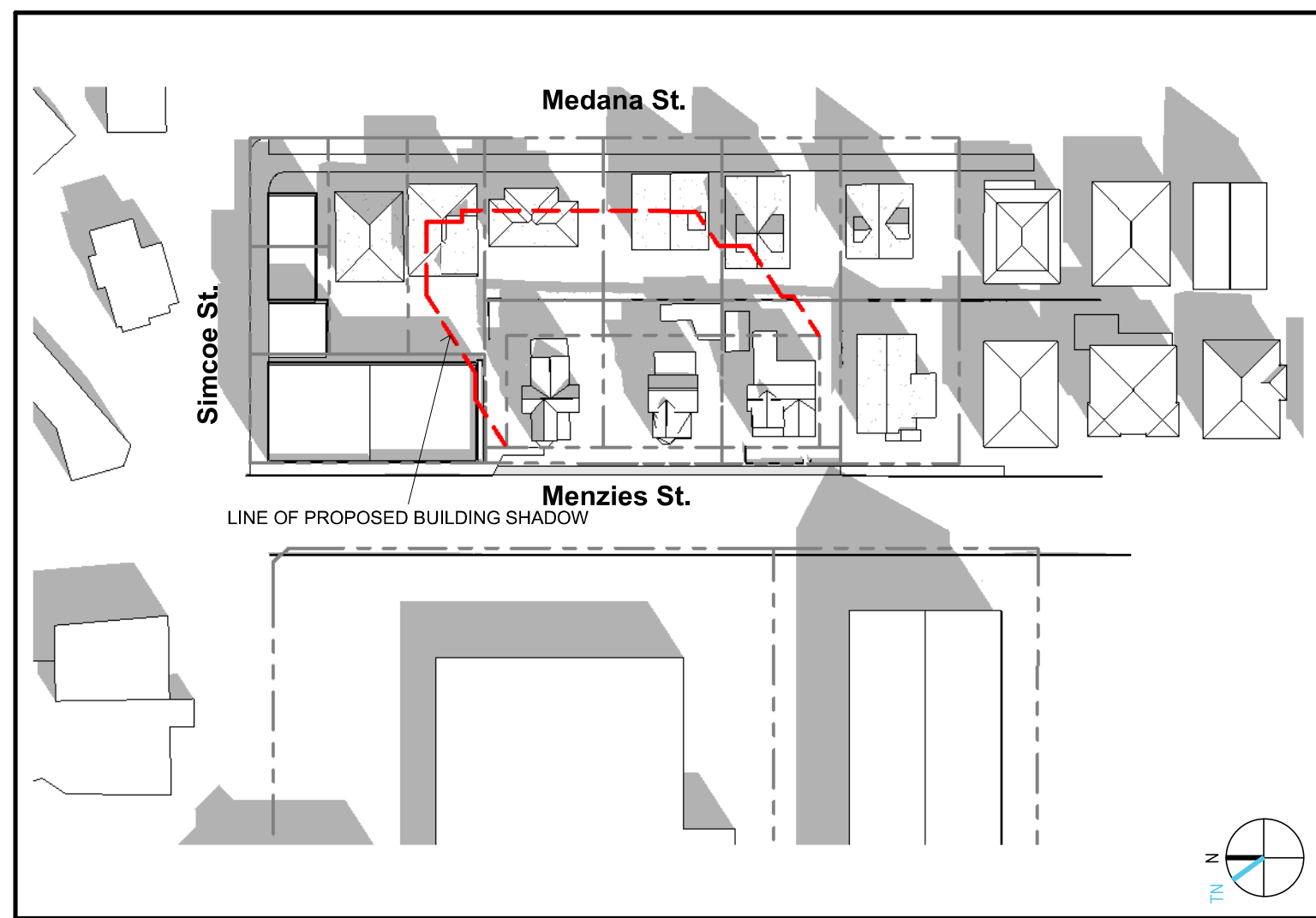
9 | SHADOWS - SUMMER SOLTICE - 8am  
1 : 1000



10 | SHADOWS - SUMMER SOLTICE - NOON  
1 : 1000



11 | SHADOWS - SUMMER SOLTICE - 6pm  
1 : 1000



12 | EXISTING SHADOWS- SUMMER SOLTICE-6pm  
1 : 1000





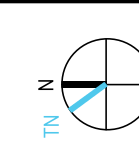
UNIT AND AREA LEGEND	
3 BEDROOM	72 m²
BIKES	107.9 m²
ELECTRICAL	34.5 m²
ELEVATOR	34.5 m²
GARBAGE	34.5 m²
LOBBY	34.5 m²
MECHANICAL	34.5 m²
RETAIL COMMERCIAL SPACE	113.9 m²
SHARED BIKE & REPAIR	34.5 m²
STAIR 1	34.5 m²
STAIR 2	34.5 m²
STUDIO 1	31.9 m²

1 | L1 FLOOR PLAN  
1:100

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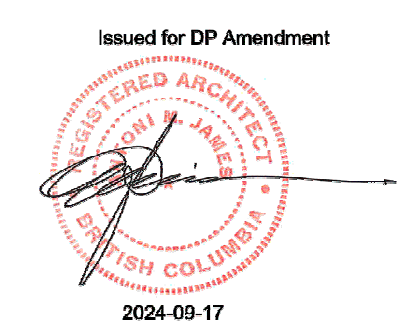
**MIKE GERIC**  
CONSTRUCTION



0m 2m 4m 6m 8m 10m  
VISUAL SCALE 1:100 @ Arch D

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	06/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22

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**131 MENZIES ST.**

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**LEVEL 1 FLOOR PLAN**

JOB No.: 2403

SCALE: 1:100

**A-2.1**

DATE: 2024-03-21



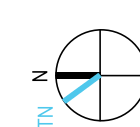


1 | L2 FLOOR PLAN  
1:100

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**MIKE GERIC**  
CONSTRUCTION

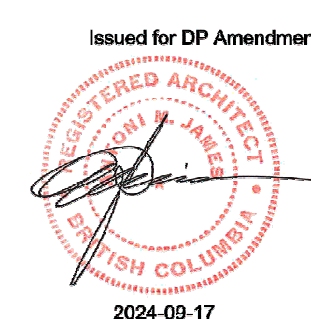


0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @ Arch D

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	06/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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**131 MENZIES ST.**

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**LEVEL 2 FLOOR PLAN**

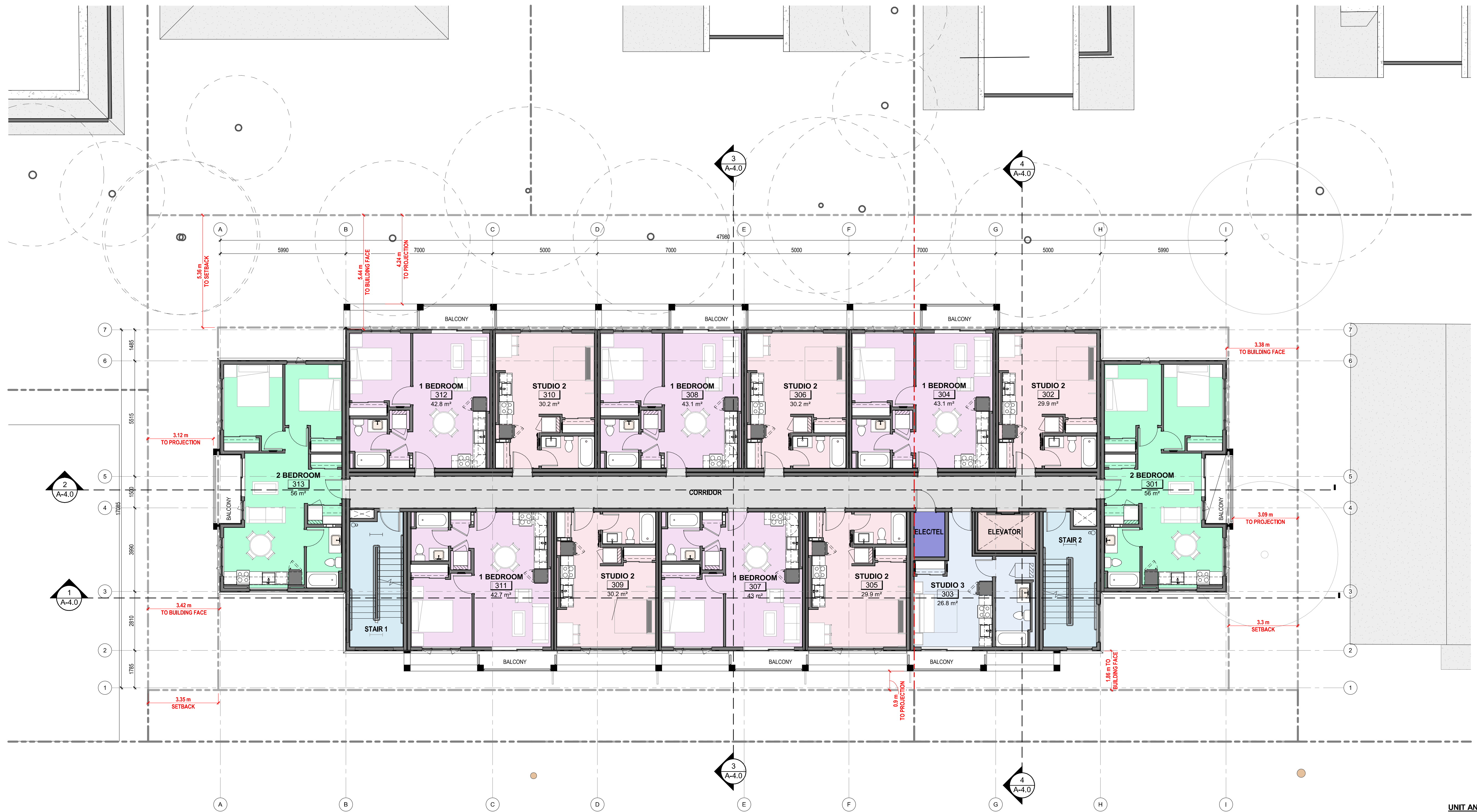
JOB No.: 2403

SCALE: 1:100

**A-2.2**

DATE: 2023-03-14





UNIT AND AREA LEGEND

- 1 BEDROOM
- 2 BEDROOM
- CORRIDOR
- ELECTEL
- ELEVATOR
- STAIR 1
- STAIR 2
- STUDIO 2
- STUDIO 3

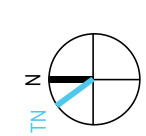
1 | L3 FLOOR PLAN

1 : 100

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**MIKE GERIC**  
CONSTRUCTION

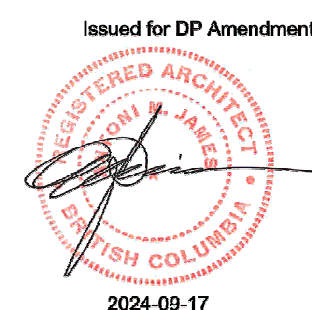


0m 2m 4m 6m 8m 10m

VISUAL SCALE 1:100 @ Arch D

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	06/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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LEVEL 3 FLOOR PLAN

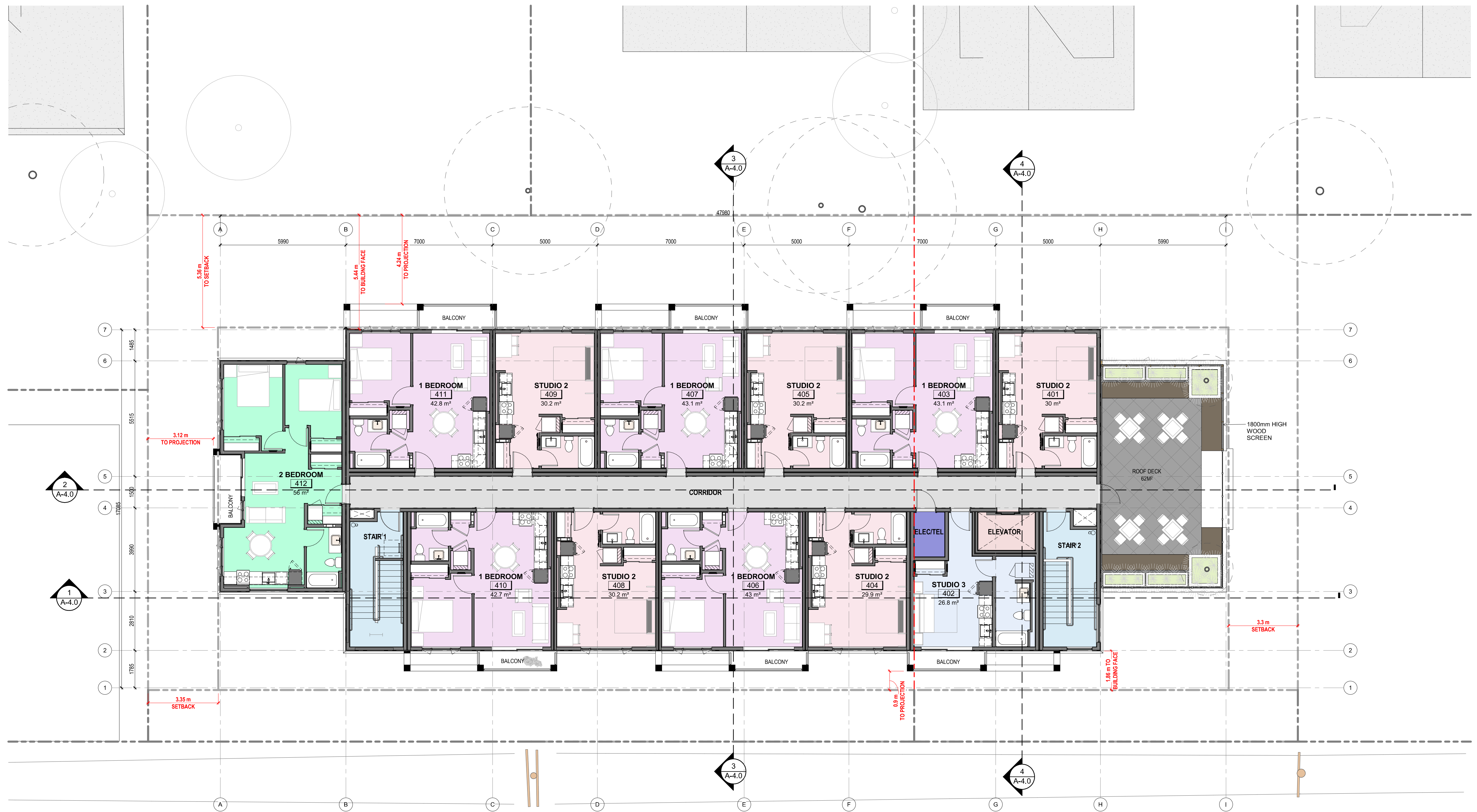
JOB No.: 2403

SCALE: 1 : 100

A-2.3

DATE: 02/05/22





UNIT AND AREA LEGEND

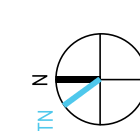
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[Green]	2 BEDROOM
[Grey]	CORRIDOR
[Blue]	ELEC/TEL
[Light Blue]	ELEVATOR
[Light Blue]	STAIR 1
[Light Blue]	STAIR 2
[Light Blue]	STUDIO 2
[Light Blue]	STUDIO 3

1 | L4 FLOOR PLAN  
1 : 100

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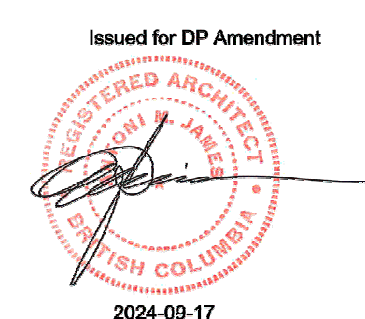
**MIKE GERIC**  
CONSTRUCTION



0m 2m 4m 6m 8m 10m  
VISUAL SCALE 1:100 @ Arch D

No.	Description	Date
8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	06/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22

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LEVEL 4 FLOOR PLAN

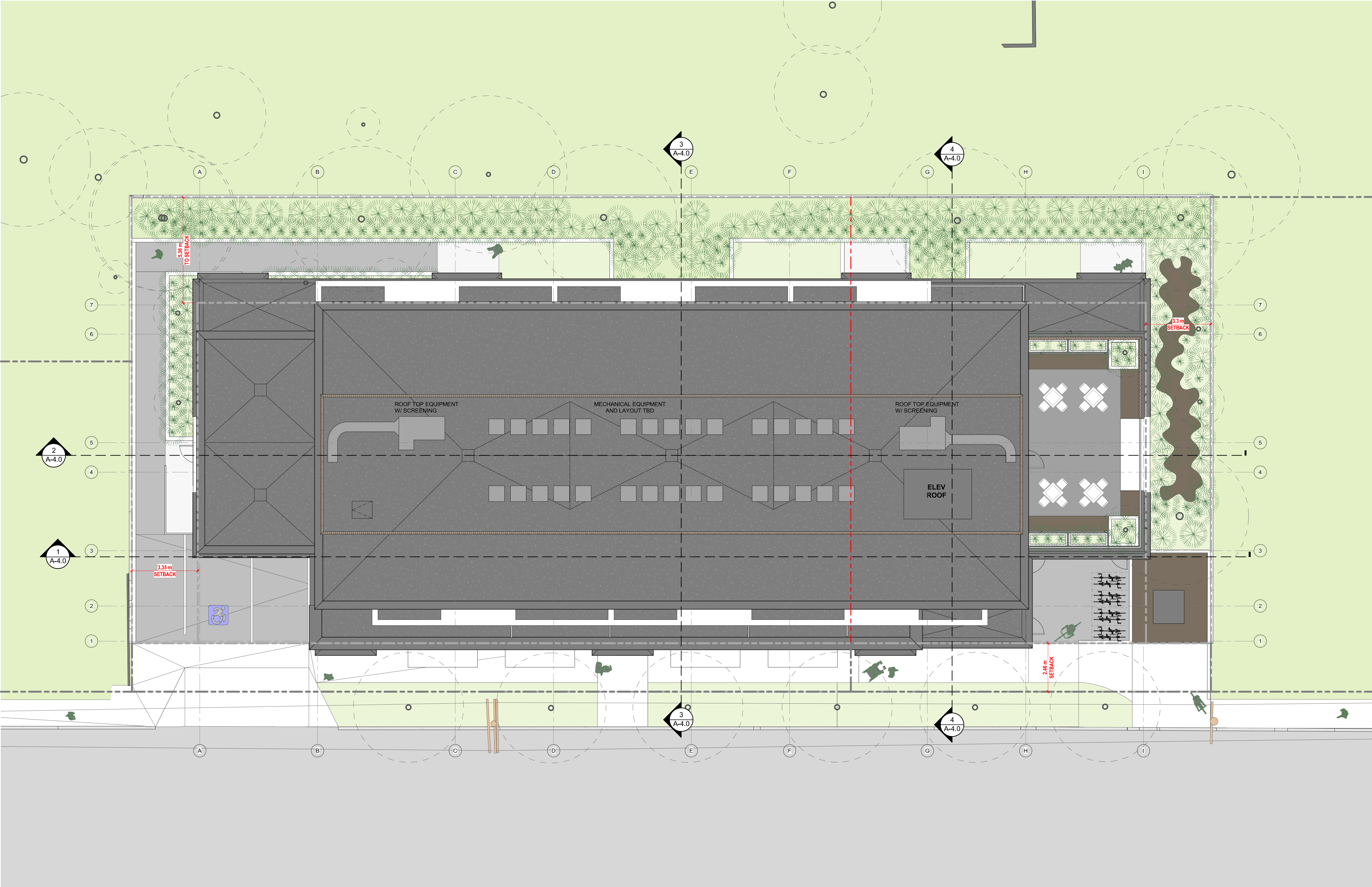
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SCALE: 1 : 100

A-2.4

DATE: 2024/03/12





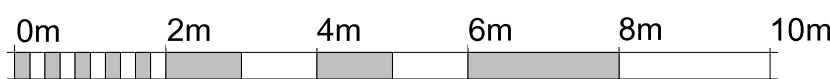
1 | ROOF PLAN

1 : 100

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**MIKE GERIC**  
CONSTRUCTION

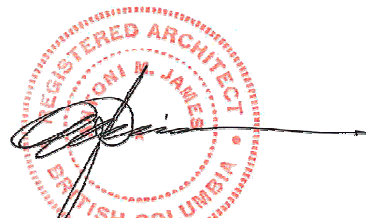


VISUAL SCALE 1:100 @ Arch D

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	06/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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2024-09-17

**131 MENZIES ST.**

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**ROOF PLAN**

JOB No.: 2403

SCALE: 1 : 100

**A-2.5**

DATE: 02/05/22

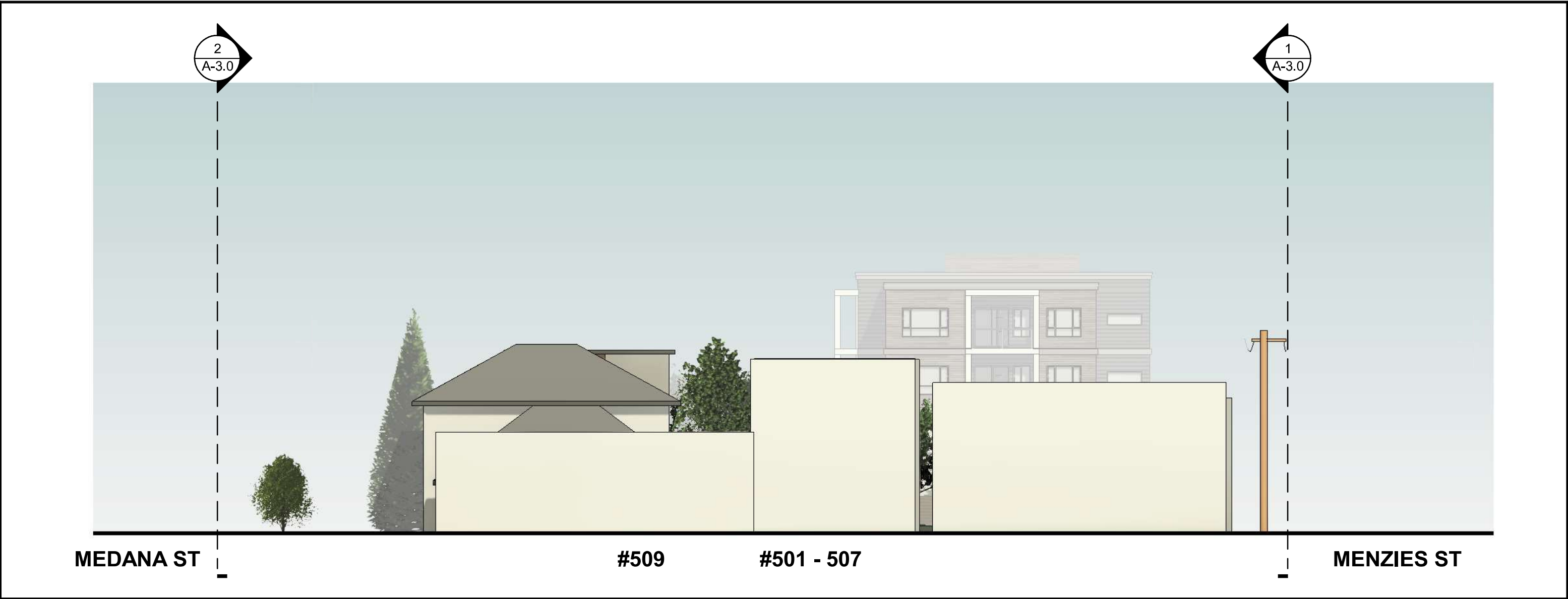




1 | MENZIES STREETSCAPE  
1 : 200



2 | MEDANA STREETSCAPE  
1 : 200

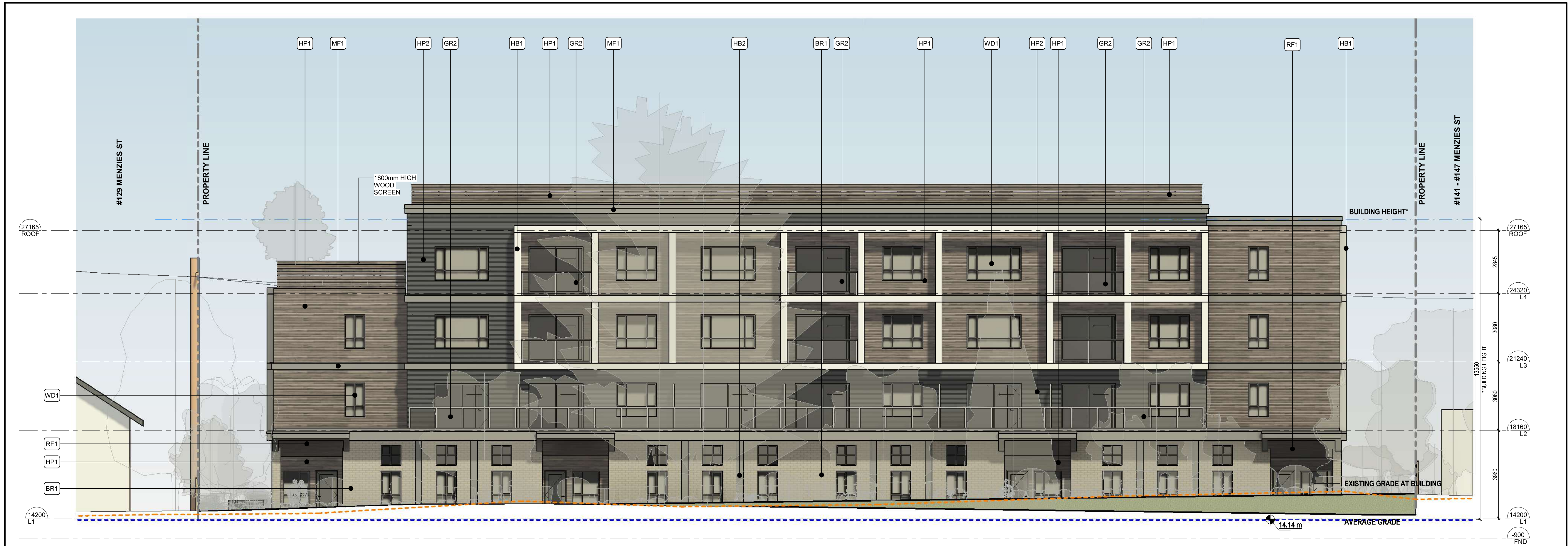


3 | SIMCOE STREETSCAPE  
1 : 200

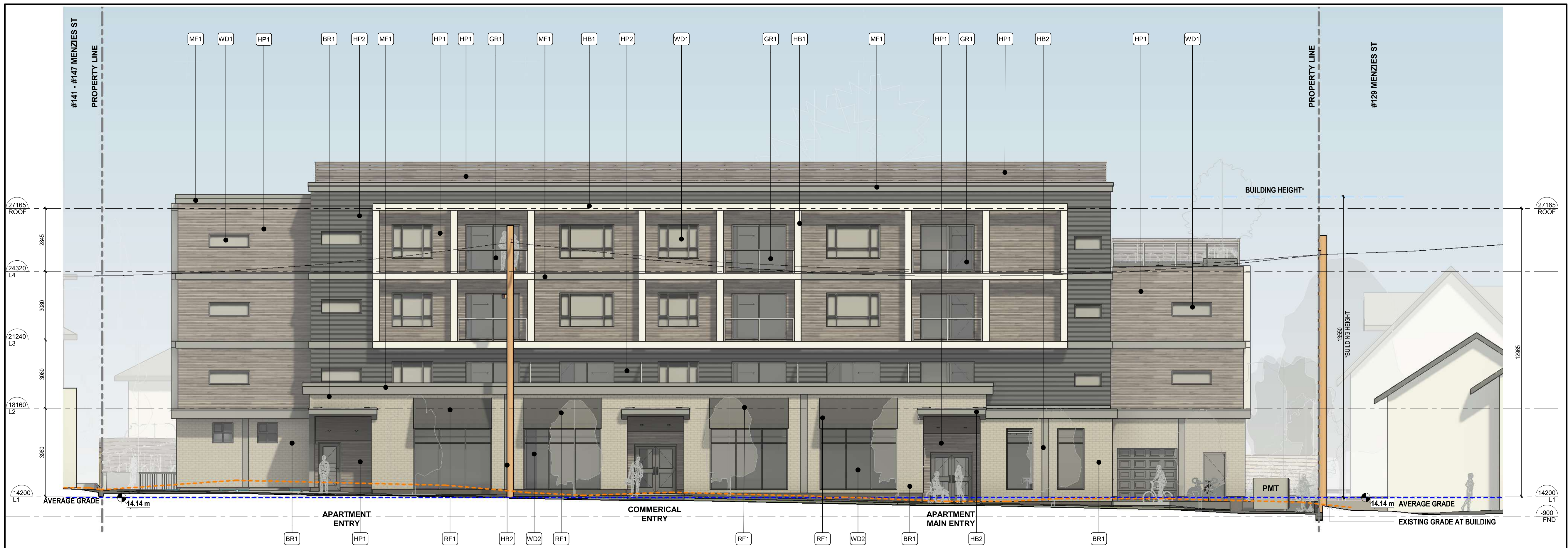


4 | #129 MENZIES / #128 MEDANA STREETSCAPE  
1 : 200





1 EAST ELEVATION  
1 : 100




2 WEST ELEVATION  
1 : 100


## EXTERIOR KEY NOTES

TAG	MATERIAL - COLOR
BR1	BRICK - RUNNING BOND - SEA GREY
GR2	ALUMINUM GUARDRAIL - CLEAR GLAZING - ANODIZED
HB1	HARDIE BOARD - SMOOTH - ARCTIC WHITE WITH ALUMINUM FRY REGLETS AS SHOWN
HB2	HARDIE BOARD - SMOOTH - LIGHT MIST WITH ALUMINUM FRY REGLETS AS SHOWN
HP1	HARDIE LAP SIDING - RUSTICSERIES - RIVER ROCK - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
HP2	HARDIE LAP SIDING - CEDAR MILL - NIGHT GREY - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
MF1	METAL CAP FLASHING - BLACK
RF1	FABRIC CANOPY
WD1	WINDOW - VINYL FRAME - BLACK
WD2	STOREFRONT - METAL FRAME - BLACK


## MATERIAL LEGEND




**BR1**  
BRICK - RUNNING BOND  
SEA GREY



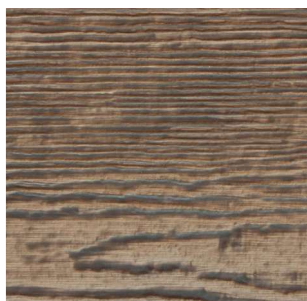
**CR1 CR2**  
EXPOSED CONCRETE  
SANDBLASTED




**HB1**  
HARDIE BOARD - SMOOTH  
ARCTIC WHITE  
ALUMINUM FRY REGLETS  
TO MATCH BOARD COLOR



**HB2**  
HARDIE BOARD - SMOOTH  
LIGHT MIST  
ALUMINUM FRY REGLETS  
TO MATCH BOARD COLOR



**HP1**  
JAMES HARDIE LAP SIDING  
RUSTICSERIES - RIVER ROCK  
6.25" PLANKS - 5" EXPOSURE



**HP2**  
JAMES HARDIE LAP SIDING  
RUSTICSERIES - PEPPERY ASH  
6.25" PLANKS - 5" EXPOSURE

\*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/05/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date



EXTERIOR KEY NOTES

TAG	MATERIAL - COLOR
BR1	BRICK - RUNNING BOND - SEA GREY
GR1	ALUMINUM GUARDRAIL - CLEAR GLAZING - ANODIZED
GR2	ALUMINUM GUARDRAIL - FROSTED GLAZING - ANODIZED
HB1	HARDIE BOARD - SMOOTH - ARCTIC WHITE WITH ALUMINUM FRY REGLETS AS SHOWN
HB2	HARDIE BOARD - SMOOTH - LIGHT MIST WITH ALUMINUM FRY REGLETS AS SHOWN
HP1	HARDIE LAP SIDING - RUSTICSERIES - RIVER ROCK - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
HP2	HARDIE LAP SIDING - CEDAR MILL - NIGHT GREY - 6.25" PLANKS 5" EXPOSURE - SOFFIT TO MATCH
MF1	METAL CAP FLASHING - BLACK
RF1	FABRIC CANOPY
WD1	WINDOW - VINYL FRAME - BLACK
WD2	STOREFRONT - METAL FRAME - BLACK

MATERIAL LEGEND



BR1  
BRICK - RUNNING BOND  
SEA GREY



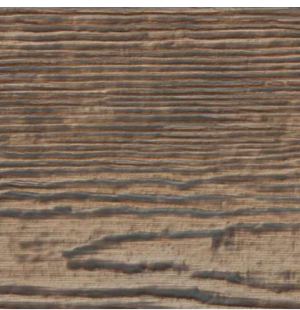
CR1 CR2  
EXPOSED CONCRETE  
SANDBLASTED



HB1  
HARDIE BOARD - SMOOTH  
ARCTIC WHITE  
ALUMINUM FRY REGLETS  
TO MATCH BOARD COLOR



HB2  
HARDIE BOARD - SMOOTH  
LIGHT MIST  
ALUMINUM FRY REGLETS  
TO MATCH BOARD COLOR

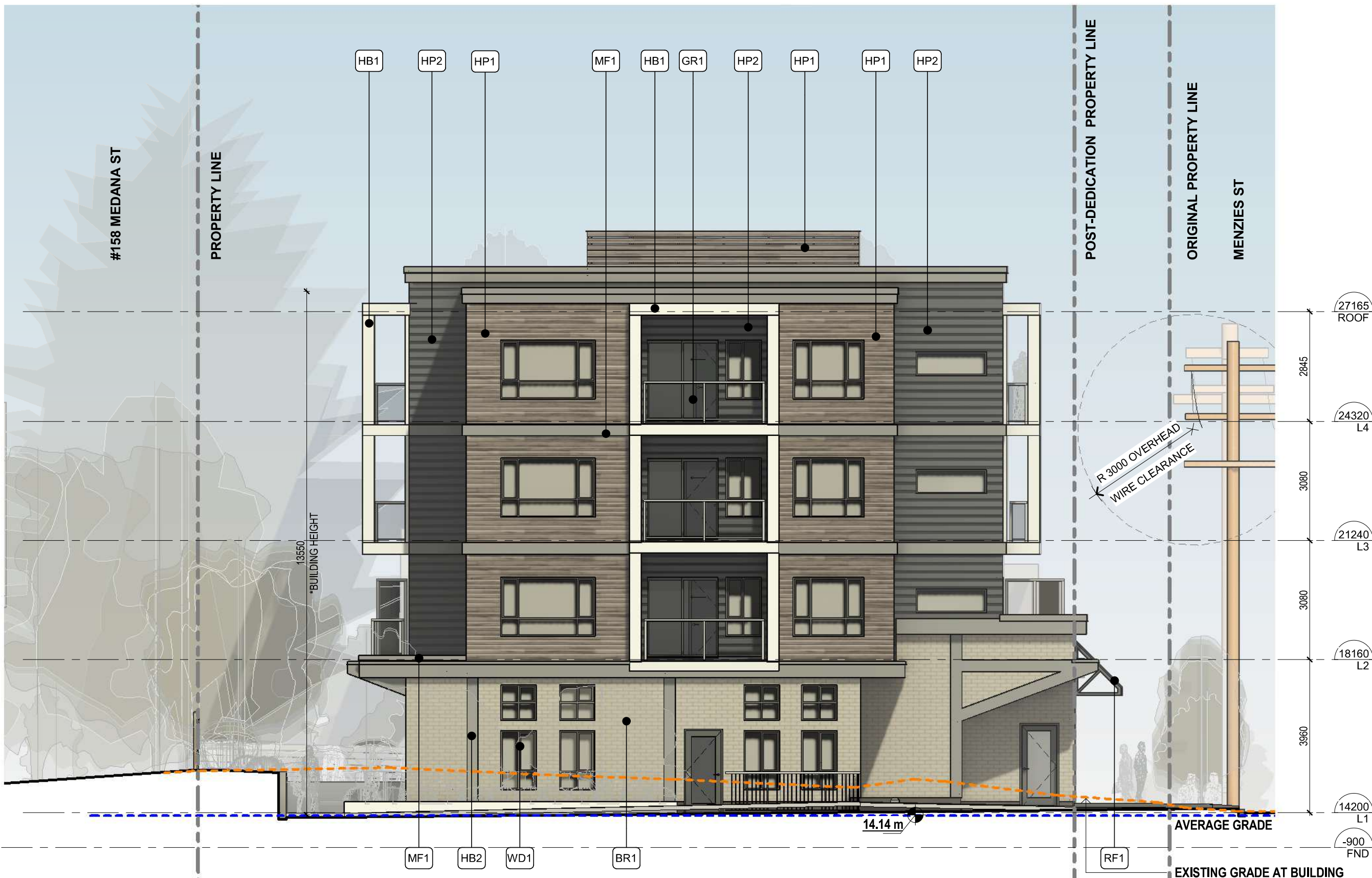


HP1  
JAMES HARDIE LAP SIDING  
RUSTICSERIES - RIVER ROCK  
6.25" PLANKS - 5" EXPOSURE



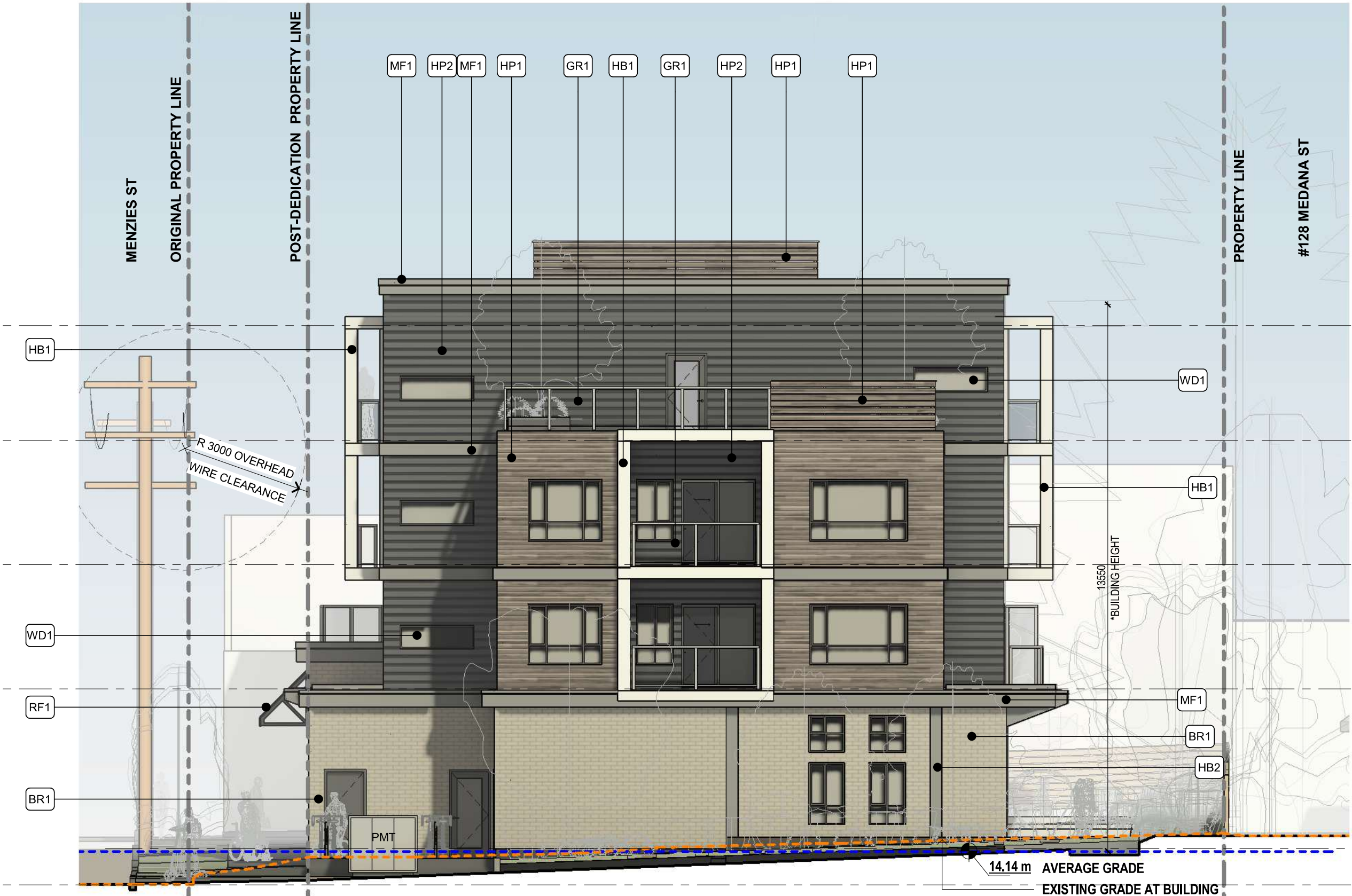
HP2  
JAMES HARDIE LAP SIDING  
SMOOTH - PEPPERY ASH  
6.25" PLANKS - 5" EXPOSURE

\*NOTE: BUILDING HEIGHT INCLUDES TOLERANCE FOR POTENTIAL CHANGES TO CONSTRUCTION MATERIALS & METHODOLOGIES



1 NORTH ELEVATION

1 : 100



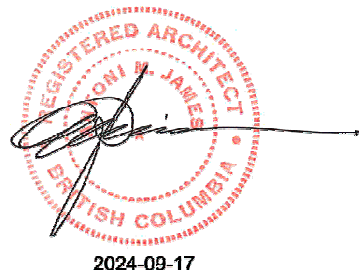
2 SOUTH ELEVATION

1 : 100

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7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
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4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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2024-09-17

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BUILDING ELEVATIONS

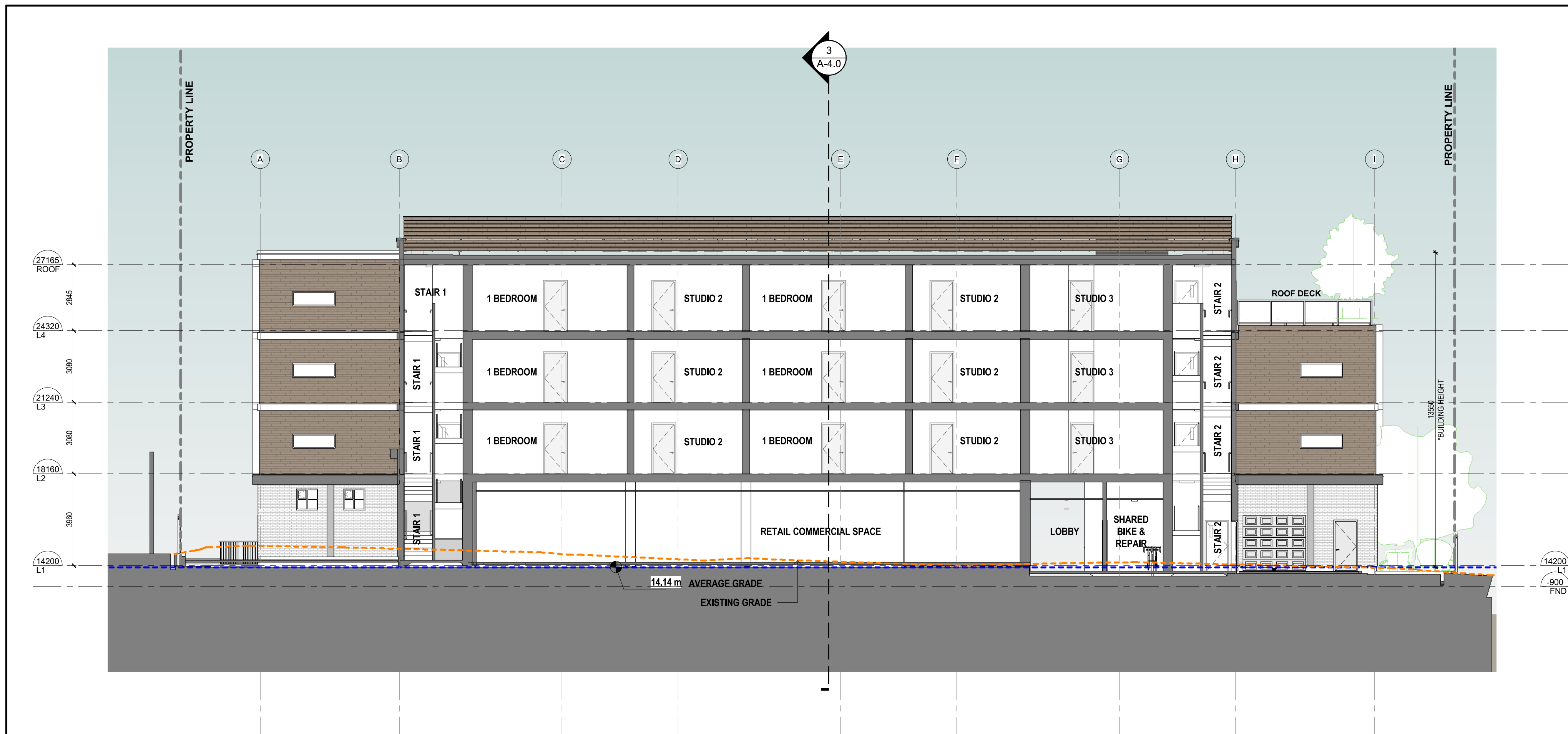
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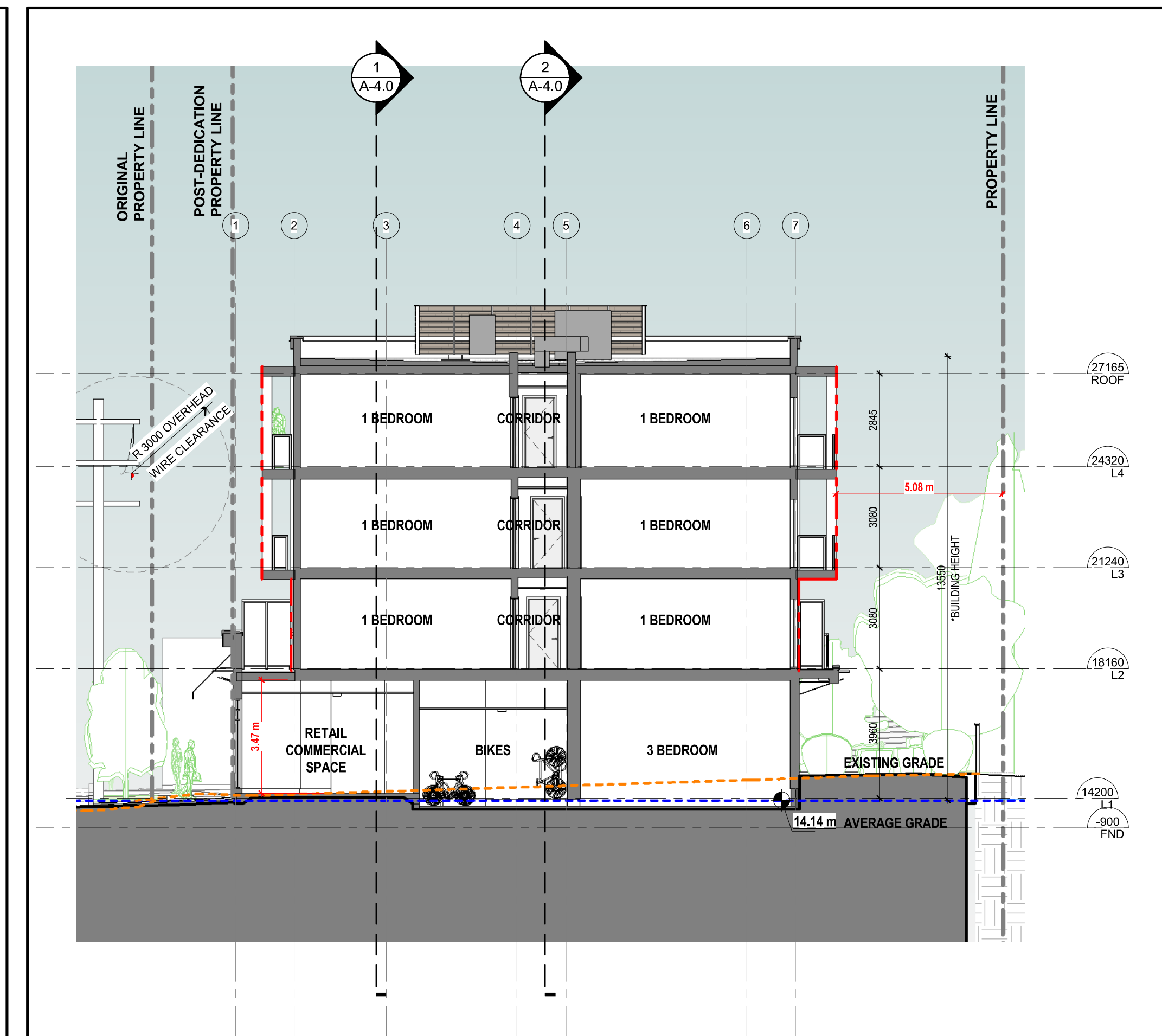
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DATE: 01/25/23

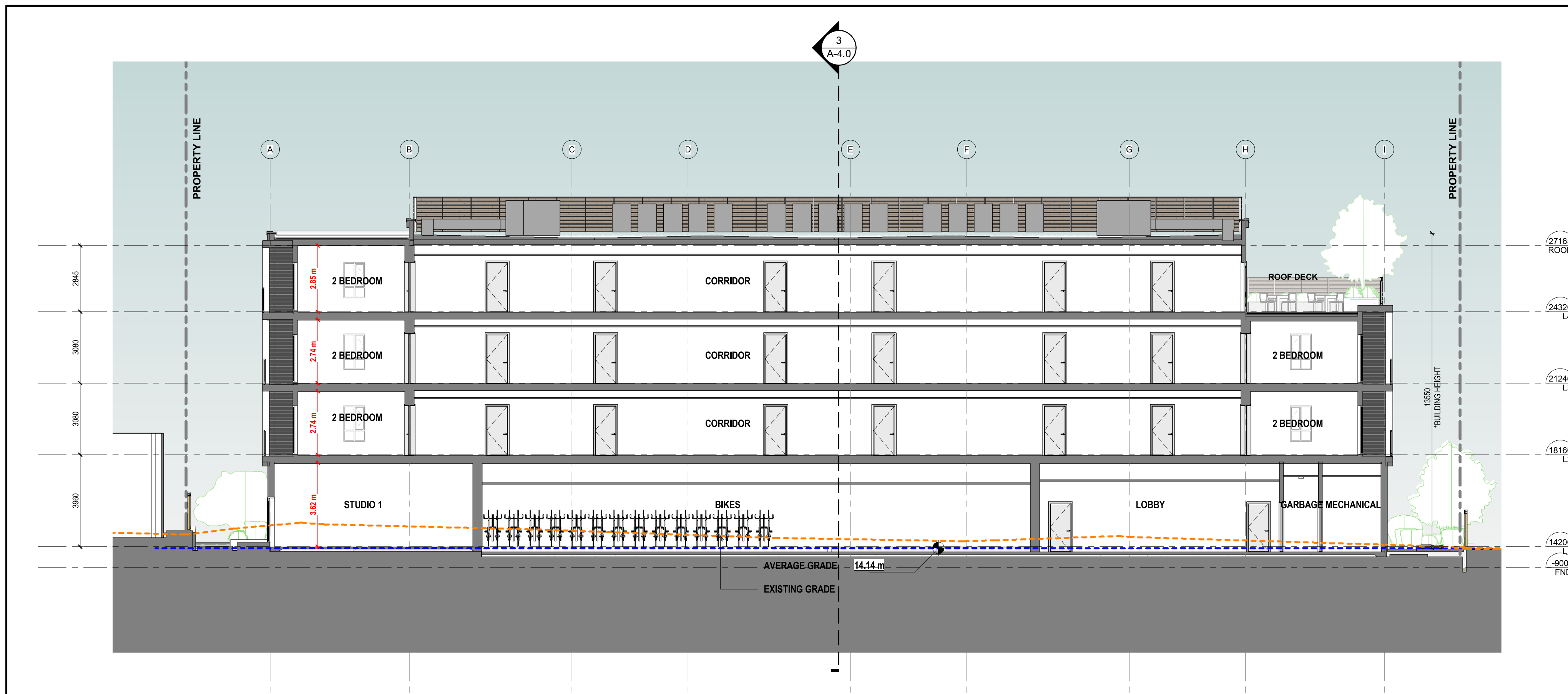




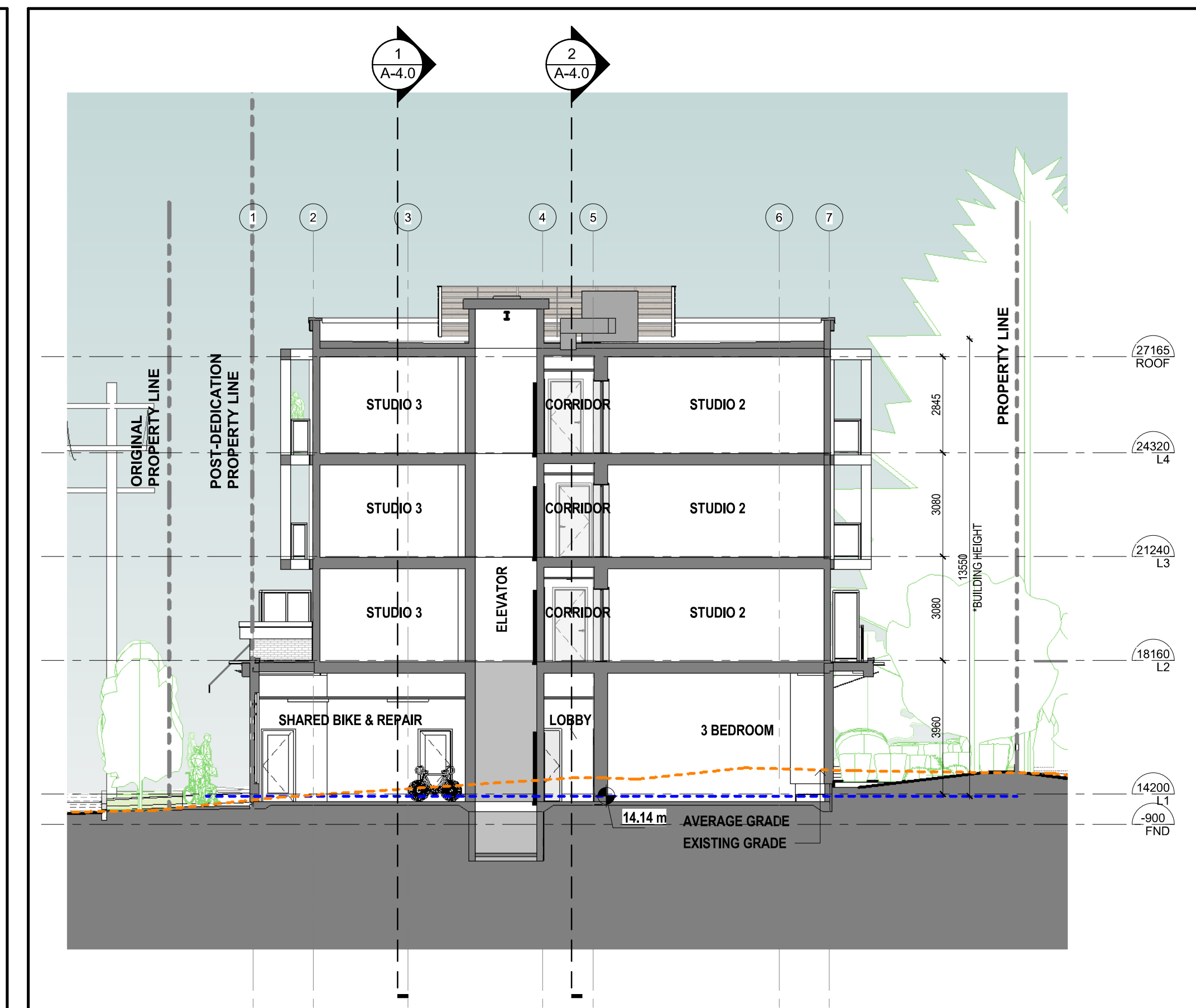
1 | BUILDING SECTION  
1 : 125



3 | BUILDING SECTION  
1 : 125



2 | BUILDING SECTION  
1 : 125



4 | BUILDING SECTION  
1 : 125

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
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5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	05/09/23
2	ISSUED FOR DP AMENDMENT	02/05/22
1	ISSUED FOR DP AMENDMENT	02/05/22

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1 | EXTERIOR 3D VIEW NORTH-WEST  
1:1



2 | EXTERIOR 3D VIEW SOUTH-WEST  
1:1



3 | EXTERIOR 3D VIEW NORTH-EAST  
1:1



4 | EXTERIOR 3D VIEW SOUTH-EAST  
1:1

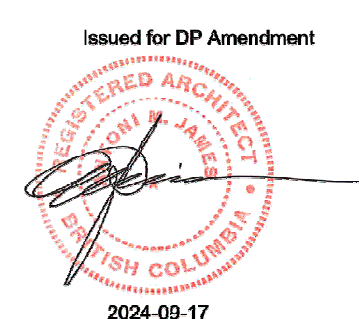
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ARCHITECTURE

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**MIKE GERIC**  
CONSTRUCTION

8	ISSUED FOR DP AMENDMENT	09/12/24
7	ISSUED FOR DP AMENDMENT	08/22/24
6	ISSUED FOR DP AMENDMENT	06/05/24
5	ISSUED FOR DP AMENDMENT	04/05/24
4	ISSUED FOR DP AMENDMENT	12/01/23
3	ISSUED FOR DP AMENDMENT	08/10/23
2	ISSUED FOR DP AMENDMENT	05/09/23
1	ISSUED FOR DP	02/05/22
No.	Description	Date

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**3D STREET VIEWS**

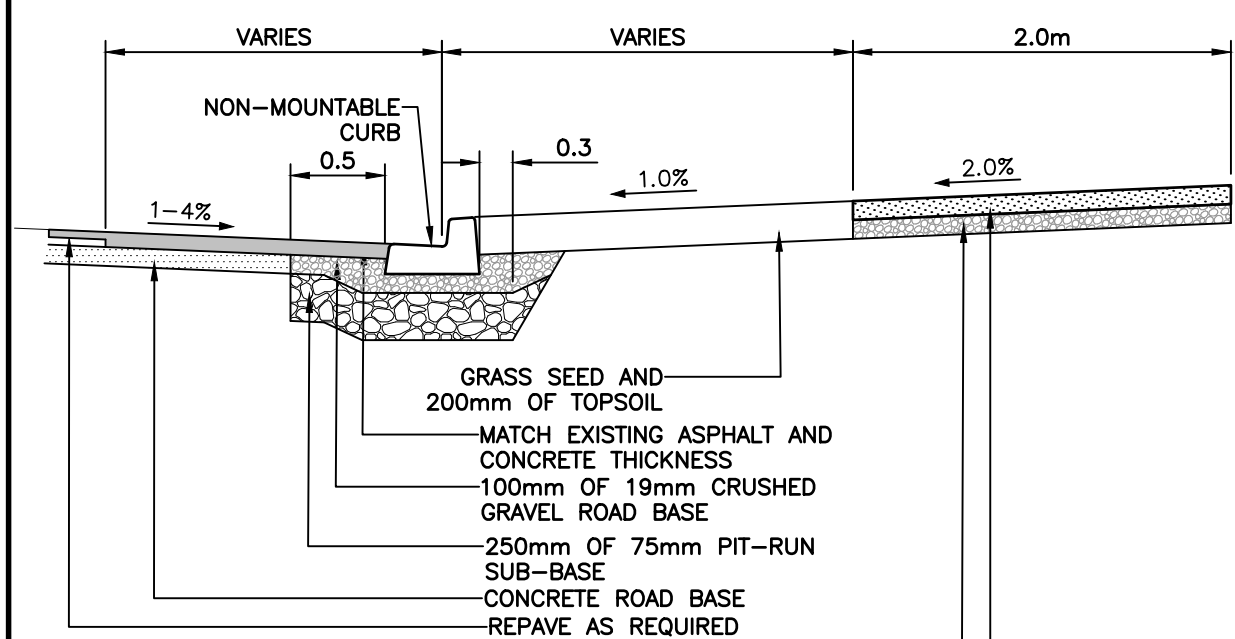
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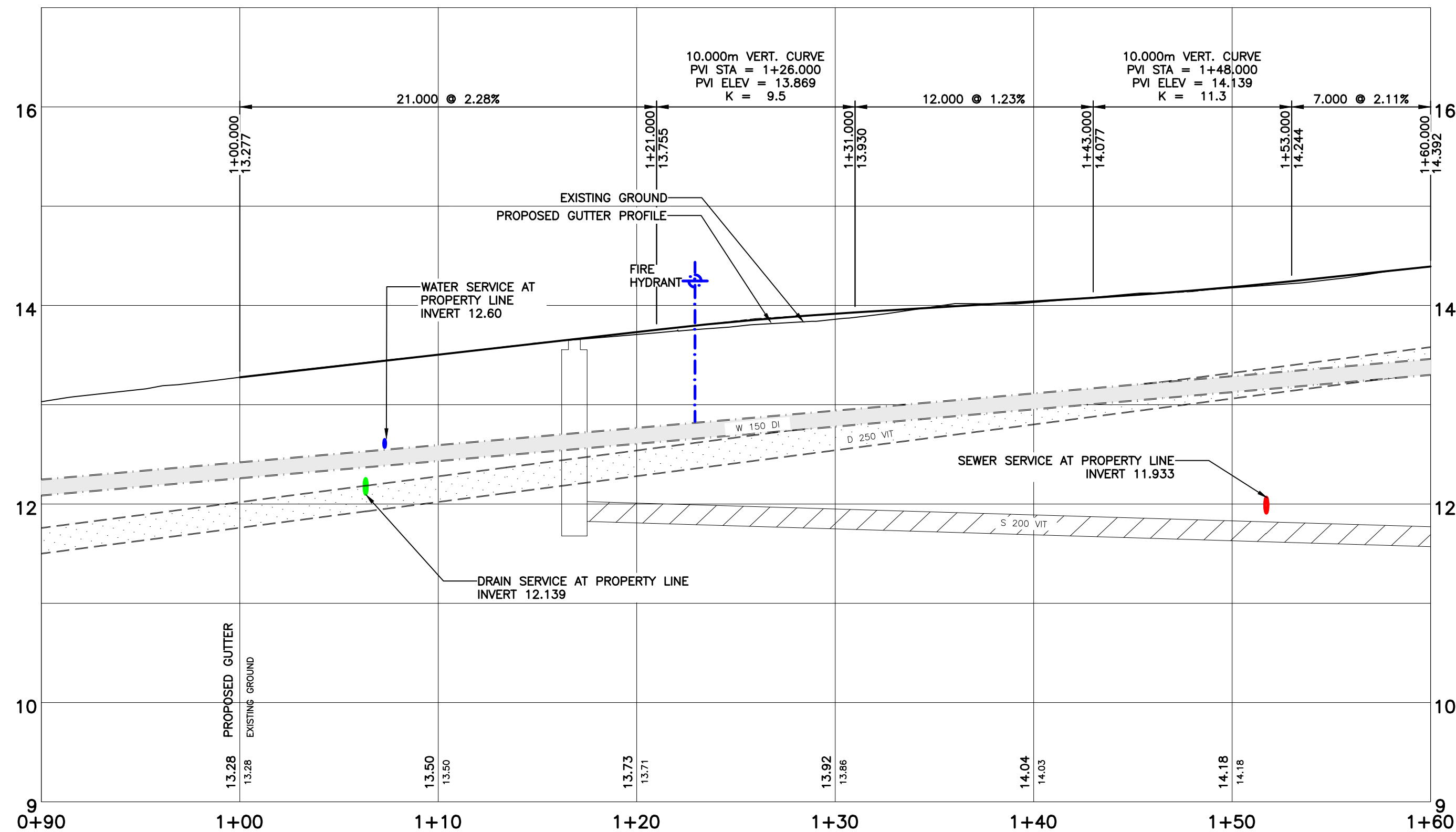
**A-5.0**

DATE: 2024/03/12

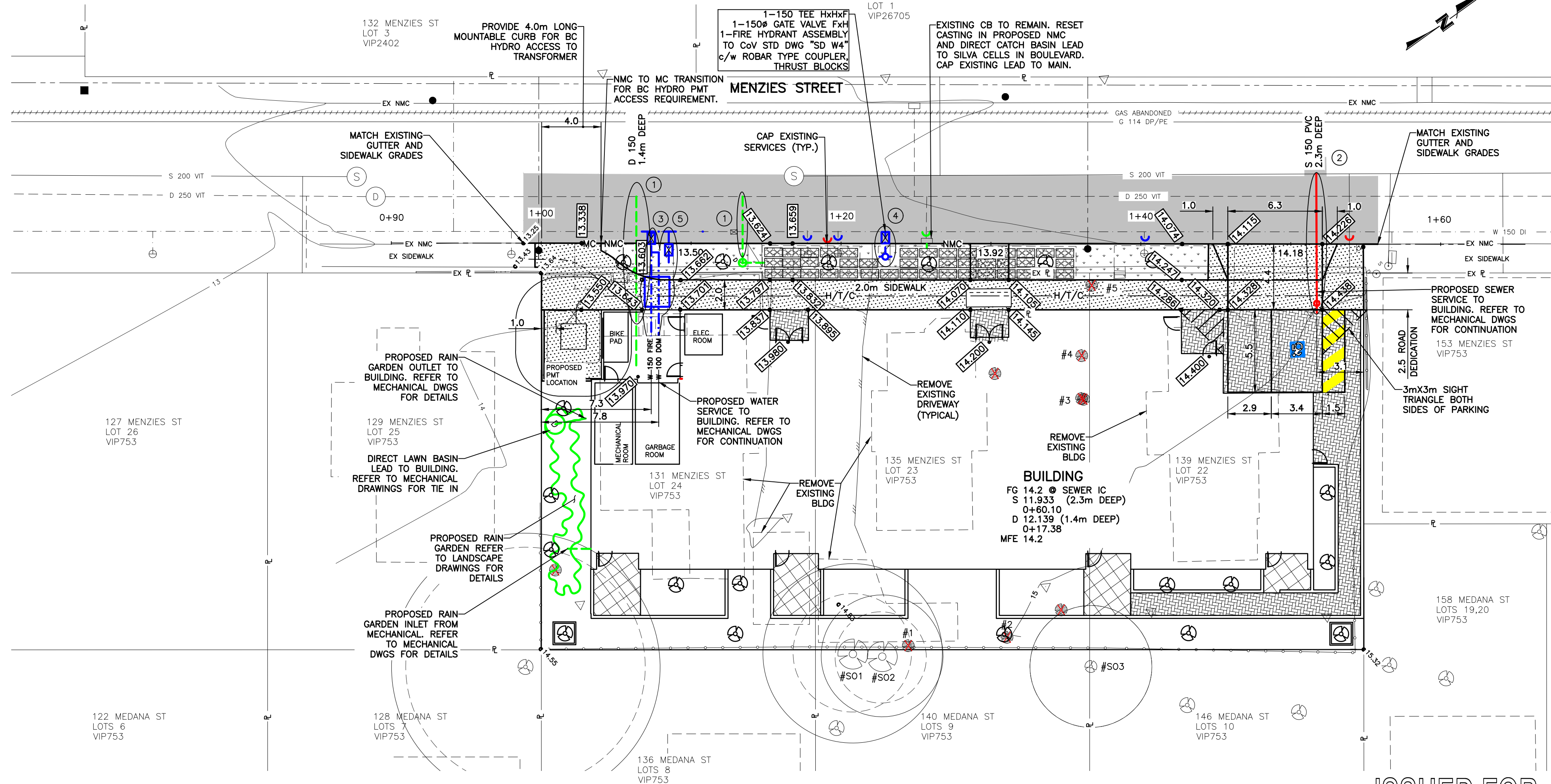




MENTZIES ST.  
TYPICAL SECTION  
N.T.S.



MENTZIES GUTTER PROFILE  
H 1:200 V 1:40



#### GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
- WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
- OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS THREE WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
- EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
- BED ALL PIPE USING CLASS "B" BEDDING.
- WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
- DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG MENZIES ST DURING CONSTRUCTION. PROVIDE 1.5m WIDE TEMPORARY SIDEWALK BUILT OUT OF PLYWOOD OR ASPHALT IF CITY SIDEWALK CAN NOT BE MAINTAINED (IF COVERED, CLEAR SPACE TO BE 2.1m HIGH C/W LIGHTING).
- COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
- CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.
- TEN (10) WORKING DAYS PRIOR TO START OF PROPOSED WORK, APPLICANT SHALL CONTACT THE TRANSPORTATION DEPARTMENT TO DISCUSS ALL WORKS IMPACTING CITY OF VICTORIA RIGHT OF WAY INCLUDING STREET OCCUPANCY PERMIT REQUIREMENTS.
- SOIL TESTING AS PER THE PROVINCE OF BRITISH COLUMBIA ENVIRONMENTAL MANAGEMENT ACT, CONTAMINATED SITES REGULATION, OR RECEIVING SITE REQUIREMENTS.

#### SEWER AND DRAIN

- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 150# PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 150# PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
- SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
- CITY OF VICTORIA SHALL PROVIDE A 150# DRAIN SERVICE TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
- CITY OF VICTORIA SHALL PROVIDE A 150# SEWER SERVICE TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
- CITY OF VICTORIA SHALL CAP SEWER SERVICE AT DEVELOPER'S EXPENSE.

#### WATER

- WATER MAIN PIPE TO BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0m MINIMUM COVER.
- CITY OF VICTORIA FORCES SHALL CAP THE EXISTING SERVICE AND REMOVE THE WATER METERS AT THE DEVELOPER'S EXPENSE.
- WATER SERVICES SHALL BE 150# TIED TO EXISTING MAIN AND SPLIT SERVICE TO 100# FIRE LINE AND 100# DOMESTIC TO PROPERTY LINE. WATER METERS SHALL BE 50# INSTALLED BY THE CITY OF VICTORIA, AS PER COV DETAIL "SD W2".
- CITY OF VICTORIA SHALL INSTALL A FIRE HYDRANT ASSEMBLY AT

#### DEVELOPER'S EXPENSE

- CITY OF VICTORIA SHALL PROVIDE 25# IRRIGATION SERVICE C/W METER AT DEVELOPER'S EXPENSE

#### ROAD

- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
- CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.

#### PARKS

- OBTAIN A PARKS PERMIT FROM THE CITY OF VICTORIA PARKS DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION.
- PROTECT ALL TREES EXCEPT THOSE TO BE REMOVED FROM DAMAGE DURING CONSTRUCTION.
- HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
- OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
- THE PROJECT ARBORIST TO BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING AT APPROPRIATE LOCATIONS.
- THE ARBORIST TO DIRECT THE REMOVAL OF TREES WITHIN THE SEWER AND DRAIN EASEMENTS AND RIGHT OF WAYS AND TO PRUNE ROOTS ENCOUNTERED DURING TRENCHING TO ENSURE THE PRESERVATION OF THE OAK TREES.
- THE ARBORIST TO DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ON SITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.
- ALL NEW BOULEVARD TREES TO BE IRRIGATED ON A SEPARATE SYSTEM FROM THE PRIVATE PROPERTY IRRIGATION SYSTEM AND A SEPARATE WATER POINT OF CONNECTION.
- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEPING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT). CALL PARKS AT 250-361-0600 AT LEAST 2 DAYS IN ADVANCE TO ARRANGE FOR IRRIGATION INSPECTIONS.

#### HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS

- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 AND "DIGSHAW" AT 1-866-344-7429 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- LOT TO BE SERVICED UNDERGROUND.
- BC HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
- CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
- IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL. FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.

#### WORKS AND SERVICES CHECK TABLE

PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	COMPANY NAME	SIGNATURE	
UTILITY	HYDRO ELECTRIC CO.		
	TELEPHONE CO.		
	GAS CO.		
	CABLE CO.		
MUNICIPAL	FIBRE OPTIC CO.		
	UNDERGROUND UTILITIES		
	TRANSPORTATION DESIGN & INFRASTRUCTURE		
	LAND DEVELOPMENT		

#### LEGEND:

- APPROXIMATE LIMITS OF REPAVING
- BROOM FINISHED CONCRETE SIDEWALK, 100mm THICK (150mm THICK AT DRIVEWAY CROSSING)
- LANDSCAPED BLVD (SEE LANDSCAPE PLANS FOR DETAILS)
- PERMEABLE PAVERS (SEE LANDSCAPE / ARCHITECT PLANS FOR DETAILS)
- PROPOSED TREE. REFER TO LANDSCAPE DRAWINGS FOR DETAILS
- EXISTING TREE. (TO REMAIN)
- TREE CANOPY CRITICAL ROOT ZONE
- EXISTING TREE. (TO BE REMOVED)
- EXISTING GROUND ELEVATIONS
- PROPOSED FINISHED GROUND ELEVATIONS



#### LOCATION PLAN

N.T.S.

PROPOSED DEVELOPMENT OF LOTS 22,23,24 SECTION 11, BECKLEY FARM, VICTORIA CITY, PLAN 753

ISSUED FOR DEVELOPMENT PERMIT

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND			
WATER	W	GAS	G
SEWER	S	CURB	C
DRAIN	D	EDGE PAVE.	
DITCH		BUSHLINE	
CULVERT		TREE	
HEADWALL			
EXISTING U/G UTL.		PROPOSED U/G UTL.	
MANHOLE		CLEANOUT	
LOT PIN		LEAD PLUG	
ANCHOR		REDUCER	
VALVE			

SEAL

#### REVISIONS

No.	DESCRIPTION	DATE	SIGN
11	RE-ISSUED FOR DEVELOPMENT PERMIT	24.09.23	PC
10	ISSUED FOR CO-ORDINATION	24.09.13	PC
9	ADD PROPOSED BUS STOP DRAWING	24.06.10	PC
8	REVISED AS PER LANDSCAPE COMMENTS	24.04.03	PC
7	REVISED AS PER COV COMMENTS	24.03.27	JS
No.	DESCRIPTION	DATE	SIGN

ENGINEER

TK/MW

DESIGNER

CHECKED

DATE

B.M.

MON 8-60

ELEV.

SCALE

Horz. 1:200

Vert. 1:40

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3

Telephone: 250-391-8592

Facsimile: 250-391-8593

PROJECT

131,135,139 MENTZIES ST

MIKE GERIC CONSTRUCTION LTD

SERVICING PLAN AND PROFILE

GENERAL NOTES

LOCATION PLAN

WESTBROOK PROJECT No.

3757

GOVERNING AUTHORITY FILE No.

SHEET

OF

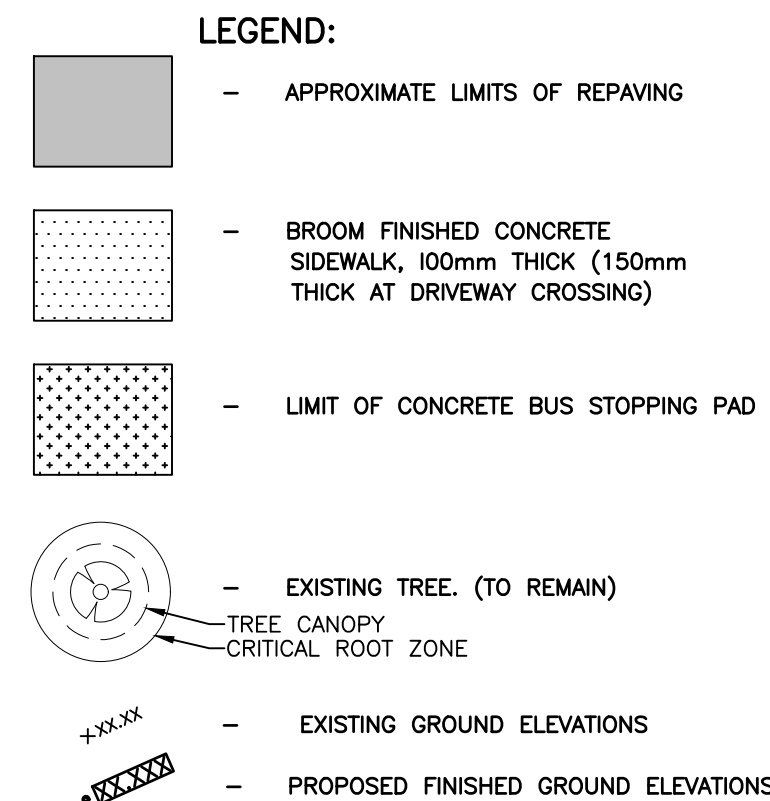
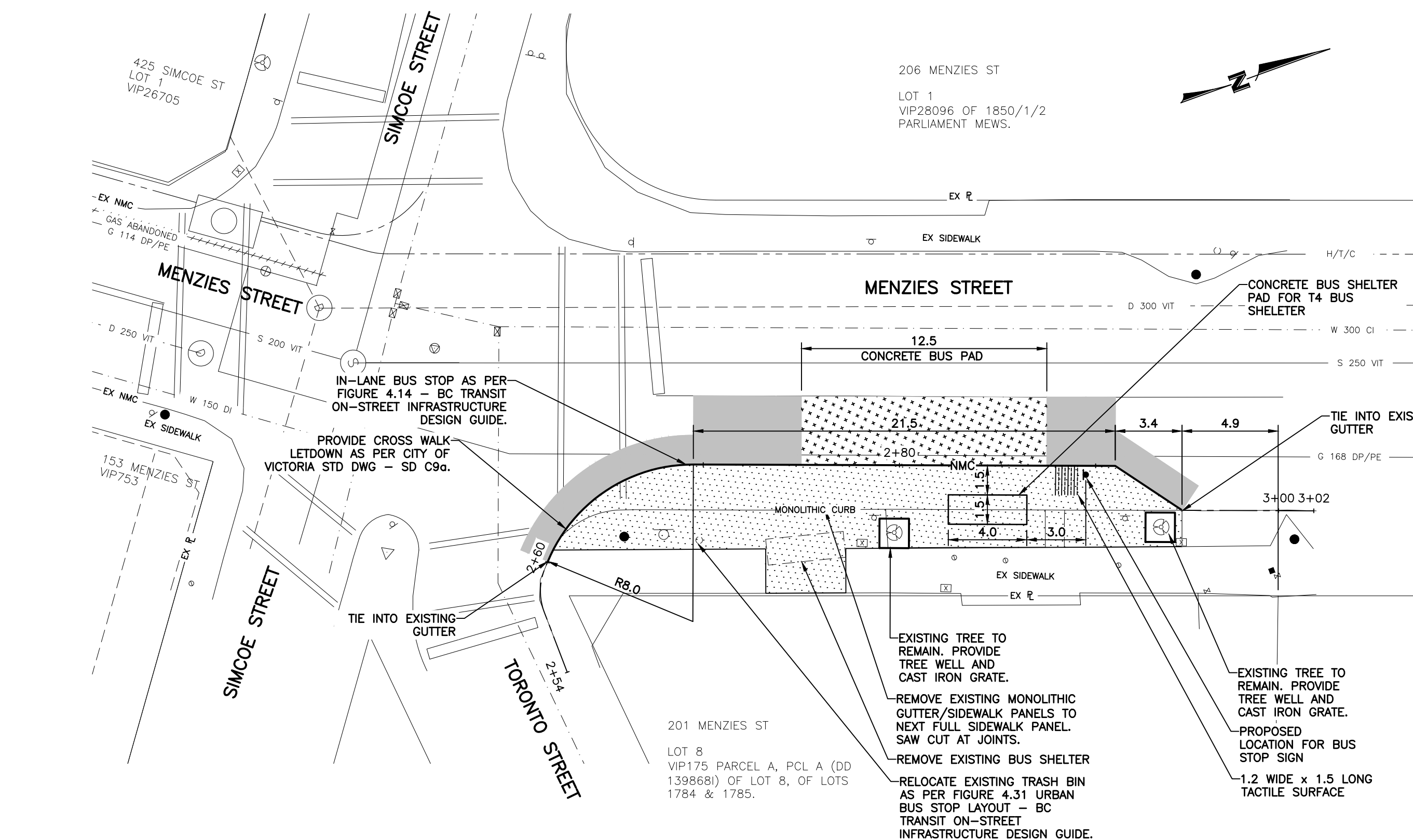
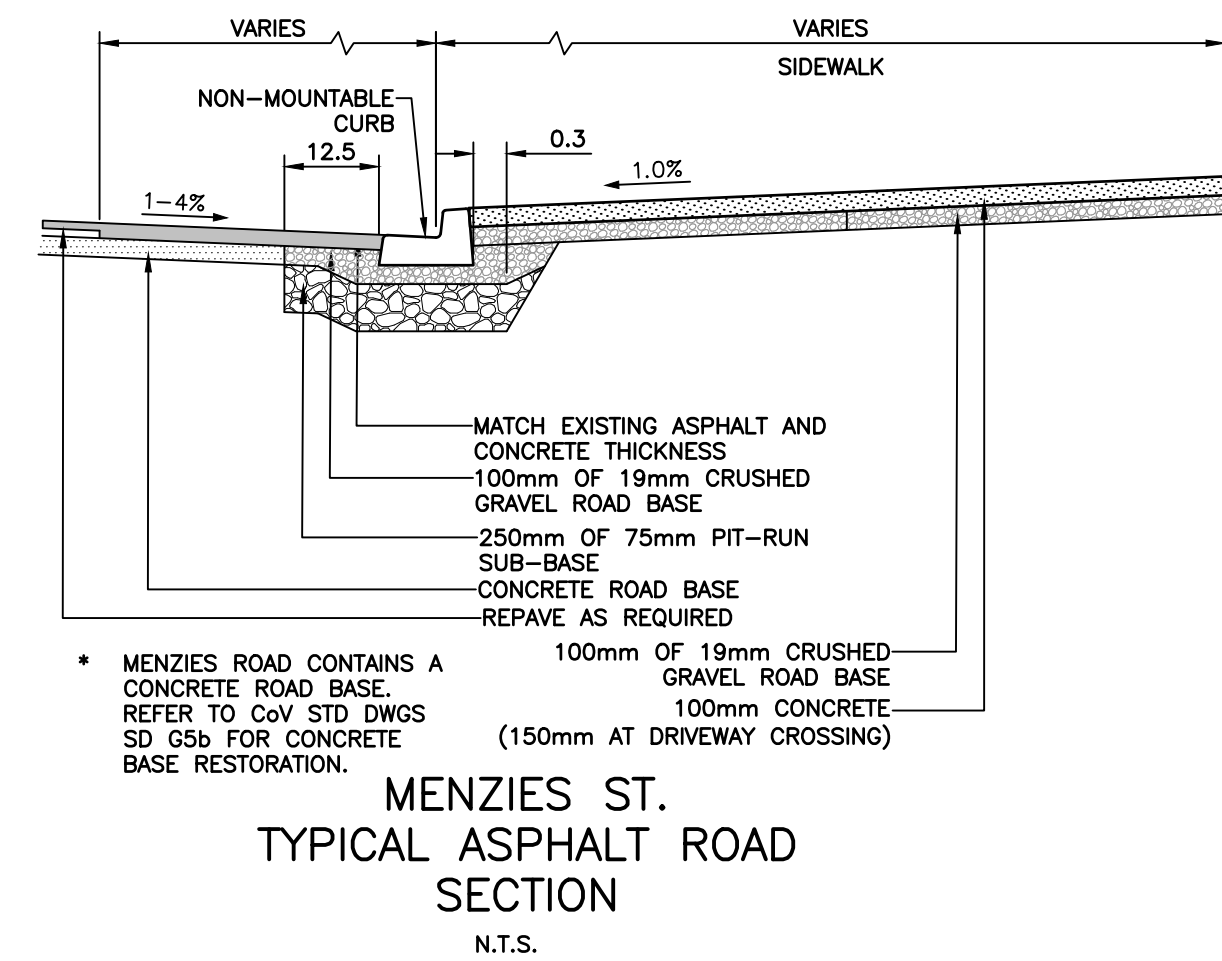
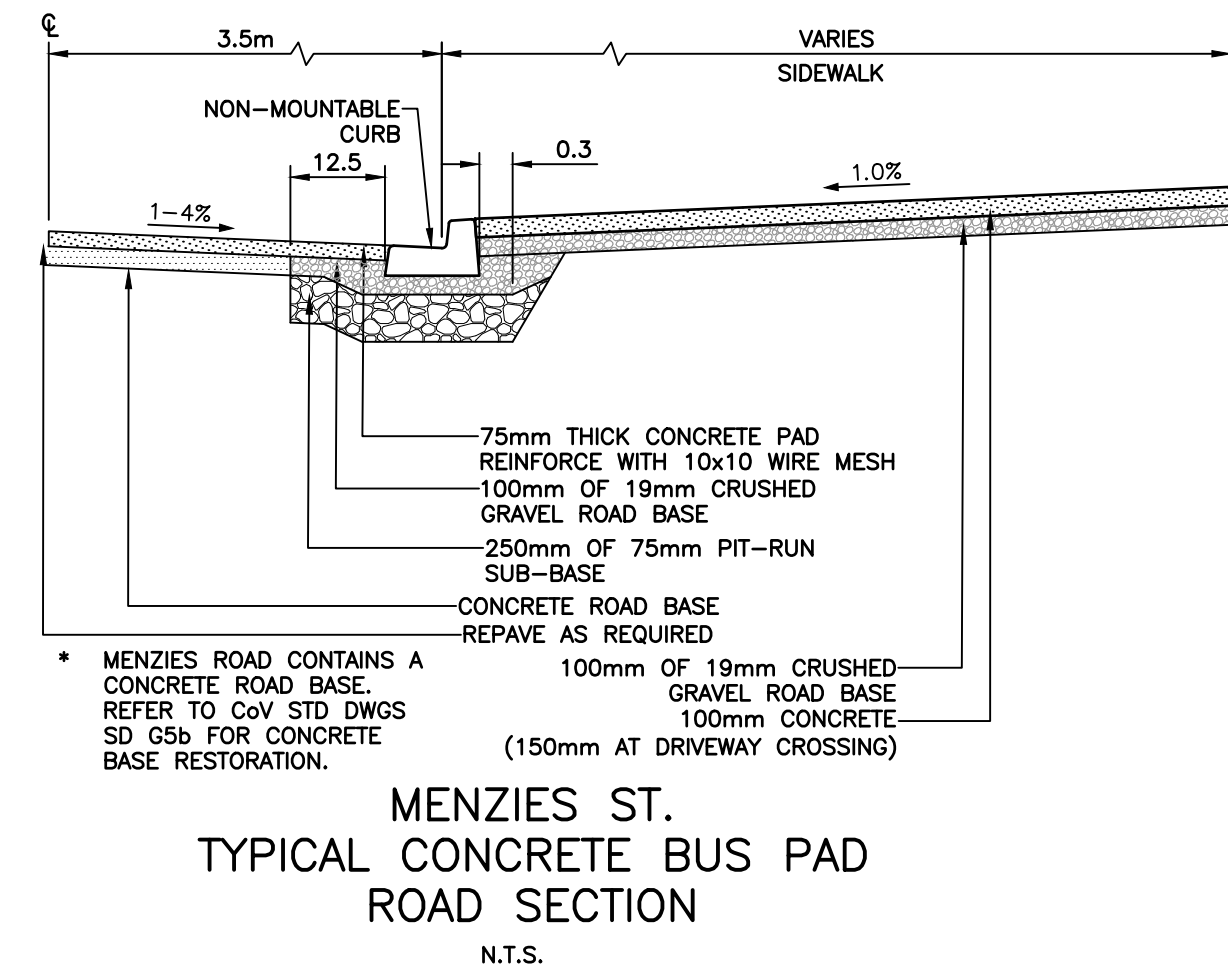
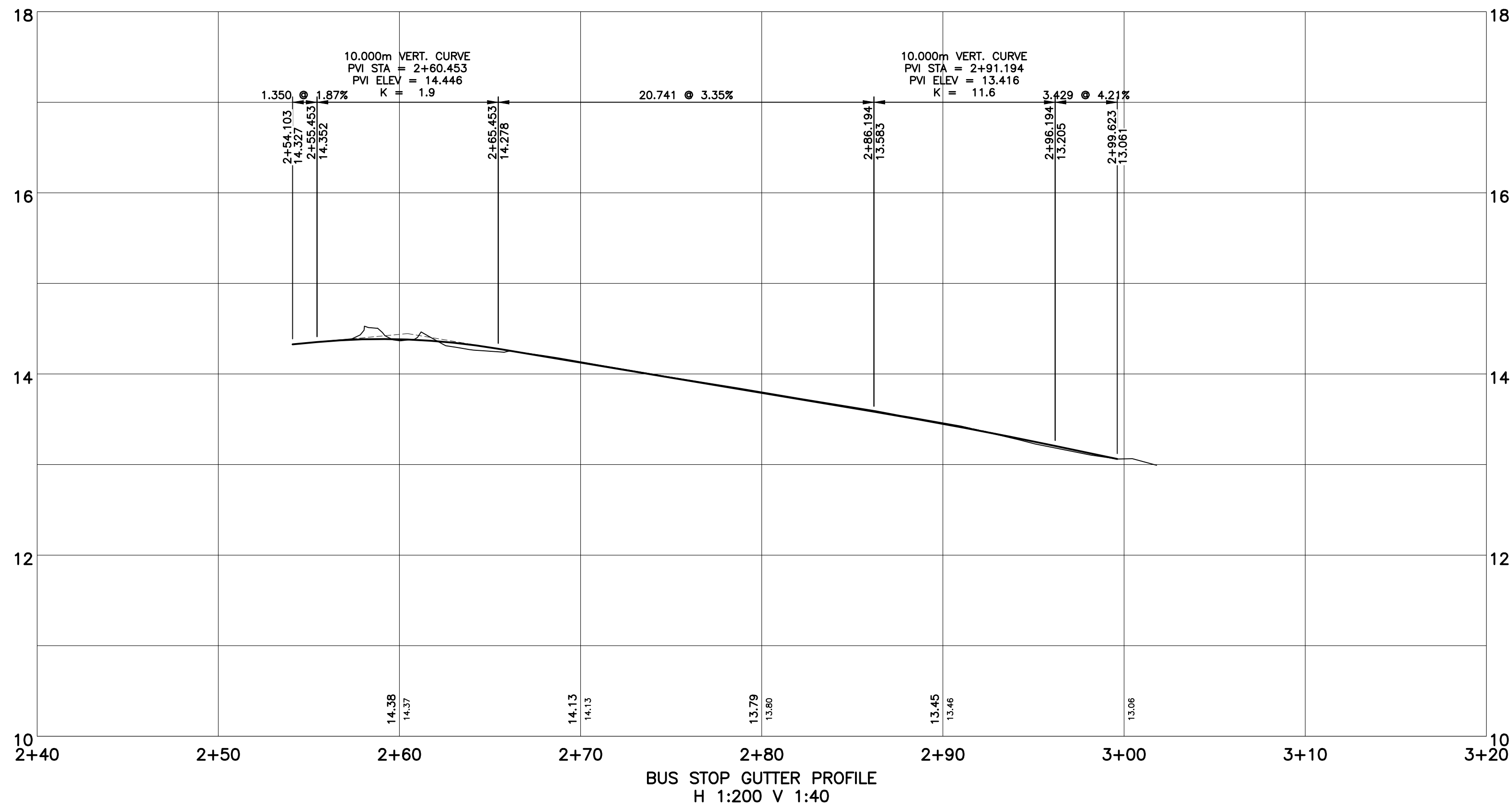
REV.

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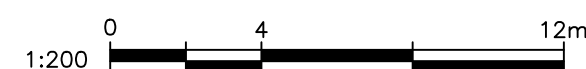
WESTBROOK DRAWING No.

3757-01





ISSUED FOR DEVELOPMENT PERMIT



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND			
WATER	W	GAS	G
SEWER	S	CURB	C
DRAIN	D	SIDEWALK	S/W
DITCH	D	EDGE PAVE.	E/P
CULVERT	C	BUSHLINE	B
HEADWALL	H	TREE	T
EXISTING U/G UTL.	---	PROPOSED U/G UTL.	---
MANHOLE	⊙	CLEANOUT	⊙
LOT PIN	•	LEAD PLUG	■
LIGHT STANDARD	⊙	METER	⊙
POWER POLE	⊙	REDUCER	←
ROAD SIGN	⊙	HYDRANT	⊙
ANCHOR	⊙	VALVE	⊙
MONUMENT	⊙		

SEAL

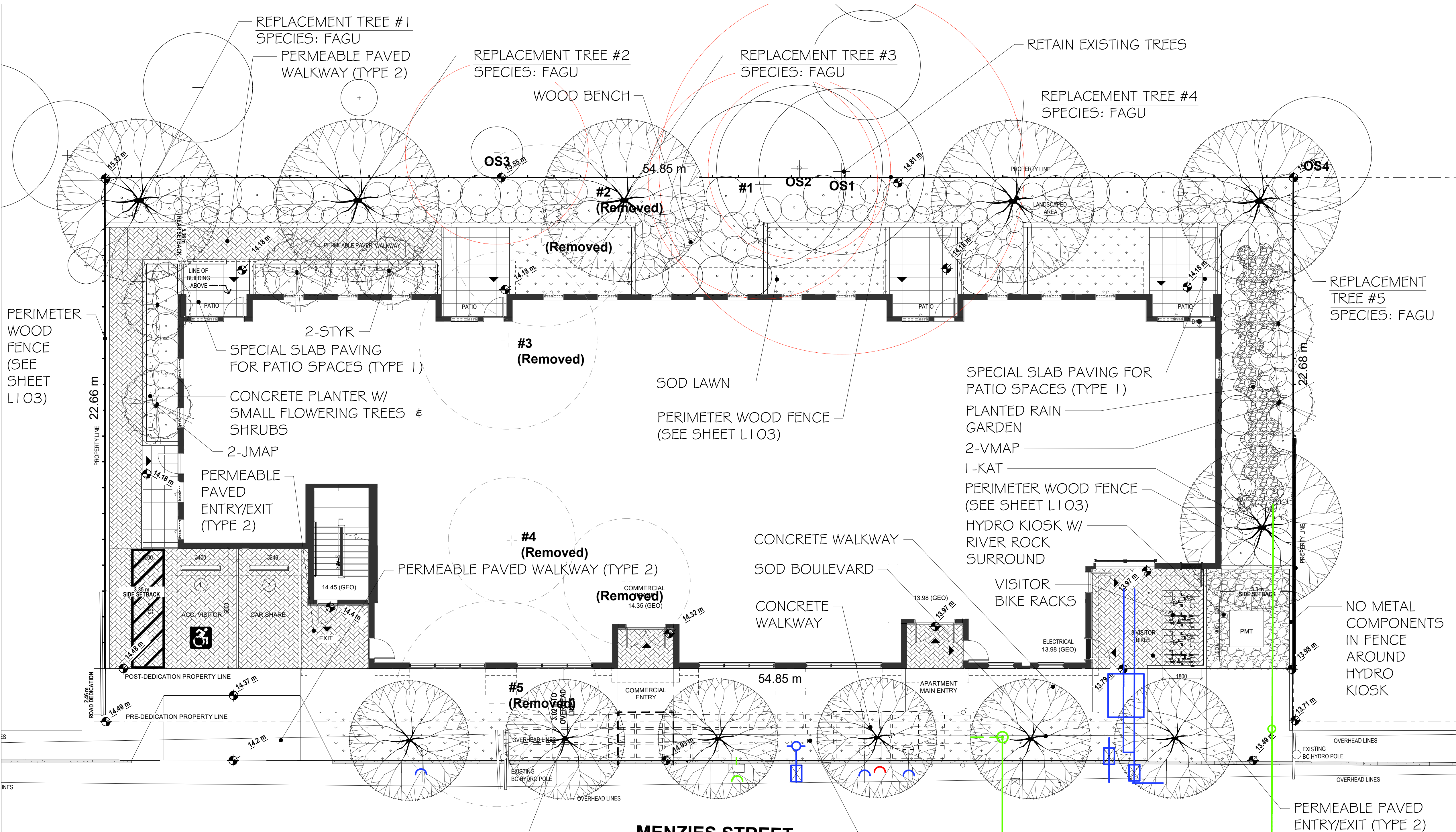
REVISIONS			
11	RE-ISSUED FOR DEVELOPMENT PERMIT	24.09.23	PC
10	ISSUED FOR CO-ORDINATION	24.09.13	PC
9	ADD PROPOSED BUS STOP DRAWING	24.06.10	PC
8	REVISED AS PER LANDSCAPE COMMENTS	24.04.03	PC
7	REVISED AS PER C&V COMMENTS	24.03.27	JS
No.	DESCRIPTION	DATE	SIGN

ENGINEER TK/MW  
DESIGNER PC  
CHECKED  
DATE JAN 2022  
B.M. MON 8-60  
ELEV. 14.402  
SCALE Horz. 1:200  
Vert. 1:40

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3  
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT		WESTBROOK PROJECT No. 3757	
131,135,139 MENZIES ST		GOVERNING AUTHORITY FILE No.	
MIKE GERIC CONSTRUCTION LTD		SHEET 2 OF 2	
BUS STOP PLAN AND PROFILE		REV. 11	
		WESTBROOK DRAWING No. 3757-02	





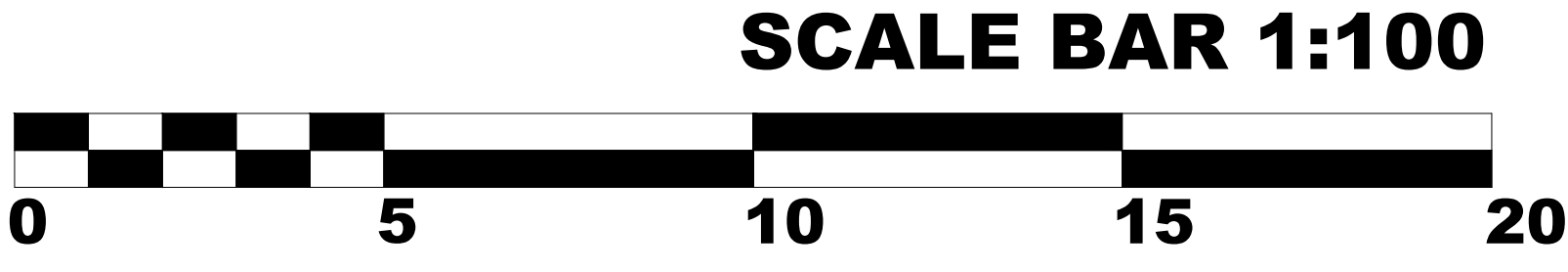
BOULEVARD STREET TREES (MEDIUM SIZED) TO BE DETERMINED BY PARKS DEPARTMENT AT BUILDING PERMIT STAGE

NOTE:  
REFER TO SHEET L101 FOR SOIL VOLUMES CALCULATIONS

TREE REPLACEMENT NOTES:  
ON-SITE TREES REMOVED: 6  
PROPOSED REPLACEMENT TREES: 5

ROW #	TREE SIZE	MIN . SOIL VOLUME (m <sup>2</sup> )	SHARED OR IRRIGATED SOIL VOLUME (m <sup>3</sup> )
1	SMALL TREE (Schedule "E", Part 2)	8.0	6.0
2	MEDIUM TREE (Schedule "E", Part 1)	20.0	15.0
3	LARGE TREE (Schedule "E", Part 2)	35.0	30.0

6 STREET TREES WILL HAVE SUFFICIENT VOLUME OF SOIL AS PER CITY OF VICTORIA BYLAW. HOWEVER, SILVA CELLS WILL BE USED TO PROVIDE A STORMWATER DRAINAGE SYSTEM IN THIS LOCATION. REFER TO CIVIL ENGINEERING FOR EXTENT.



SUGGESTED PLANT LIST			
	Key	Common Name	Latin Name
Trees	LMF	Lemon Lime	Microcitrus australasica
	MAC	Macaranga	Macaranga
	STY	Styphelia	Styphelia
	WAT	Water	Water
Large Shrubs	CAU	California	California
	MAC	Macaranga	Macaranga
	STY	Styphelia	Styphelia
	WAT	Water	Water
Medium Shrubs	MAC	Macaranga	Macaranga
	STY	Styphelia	Styphelia
	WAT	Water	Water
	CAU	California	California
Small Shrubs	MAC	Macaranga	Macaranga
	STY	Styphelia	Styphelia
	WAT	Water	Water
	CAU	California	California
Ground Covers	MAC	Macaranga	Macaranga
	STY	Styphelia	Styphelia
	WAT	Water	Water
	CAU	California	California
Perennials	MAC	Macaranga	Macaranga
	STY	Styphelia	Styphelia
	WAT	Water	Water
	CAU	California	California

**PAVER SCHEDULE**

TYPE 1

NAME: DIMENSIONS 18

COLOR: VICTORIAN

SIZE: 18" x 18"

PATTERN: JACK-ON-JACK

LOCATION: PATIOS

NOTES: SLAB PAVER

TYPE 2

NAME: AQUALINE

COLOR: TOSCANA

SIZE: 4 3/4" x 8 3/4" x 3 3/4"

PATTERN: HERRINGBONE

LOCATION: WALKWAYS

NOTES: PERMEABLE PAVER

SUPPLIER: BELGARD PAVERS

TREES TO BE RETAINED - TREE ROOT ZONE

TREES TO BE REMOVED

EXTENT OF U/G SOIL CELLS (@ 1.0M DEPTH). SEE CIVIL FOR MORE INFORMATION.

SOD LAWN

TREE PLANTING INSPECTIONS

EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS

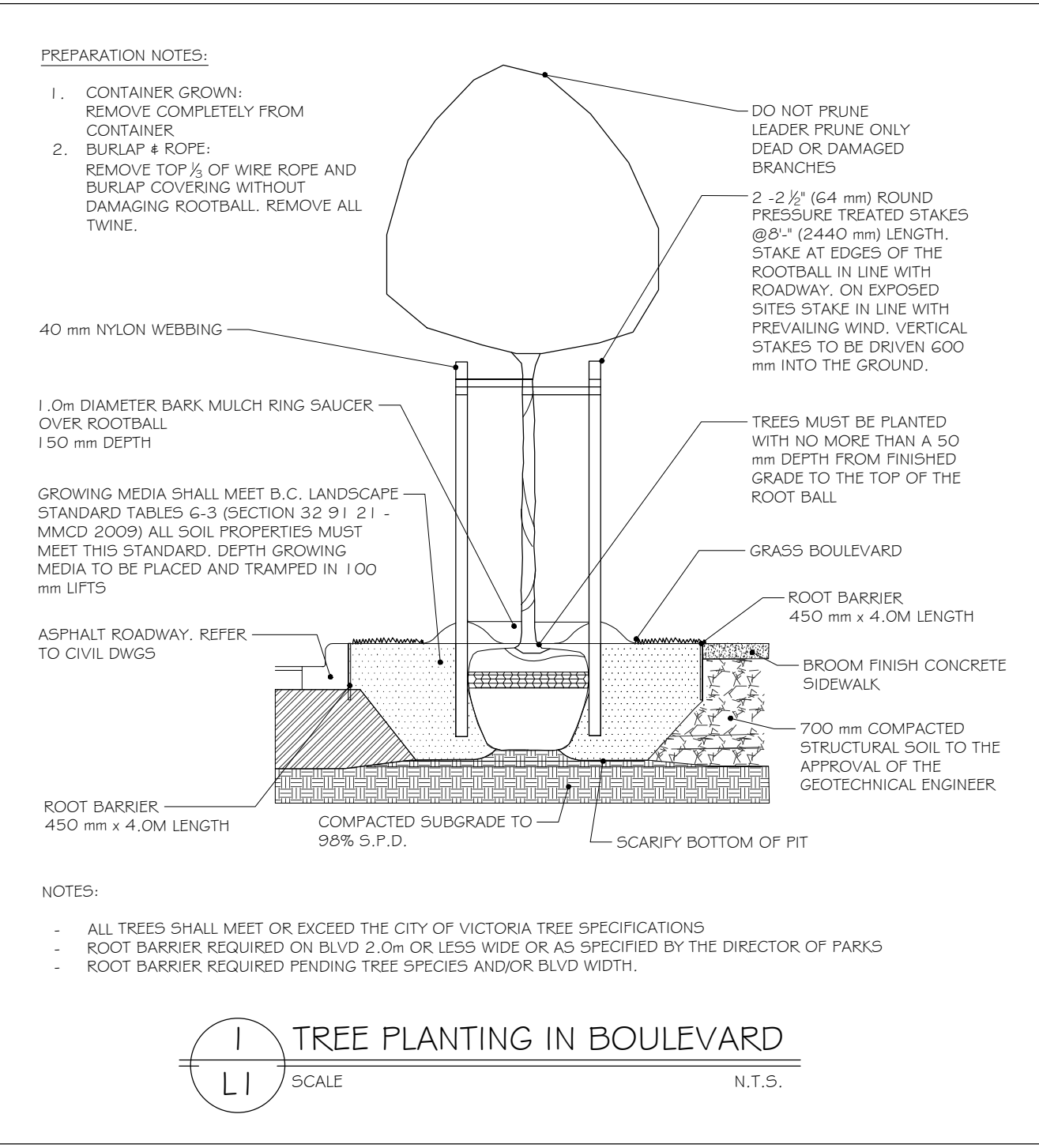
TREES PRIOR TO PLANTING. (PARKS STAFF CAN INSPECT TREES PRIOR TO SHIPPING AT LOCAL NURSERIES. PHOTOS CAN BE PROVIDED FROM UP-ISLAND AND MAINLAND NURSERIES. TREE MUST MEET THE SPEC UPON DELIVERY.)

COMPLETED PLANTING - TREE PLANTING, GRATE/GUARD, STAKES ETC.

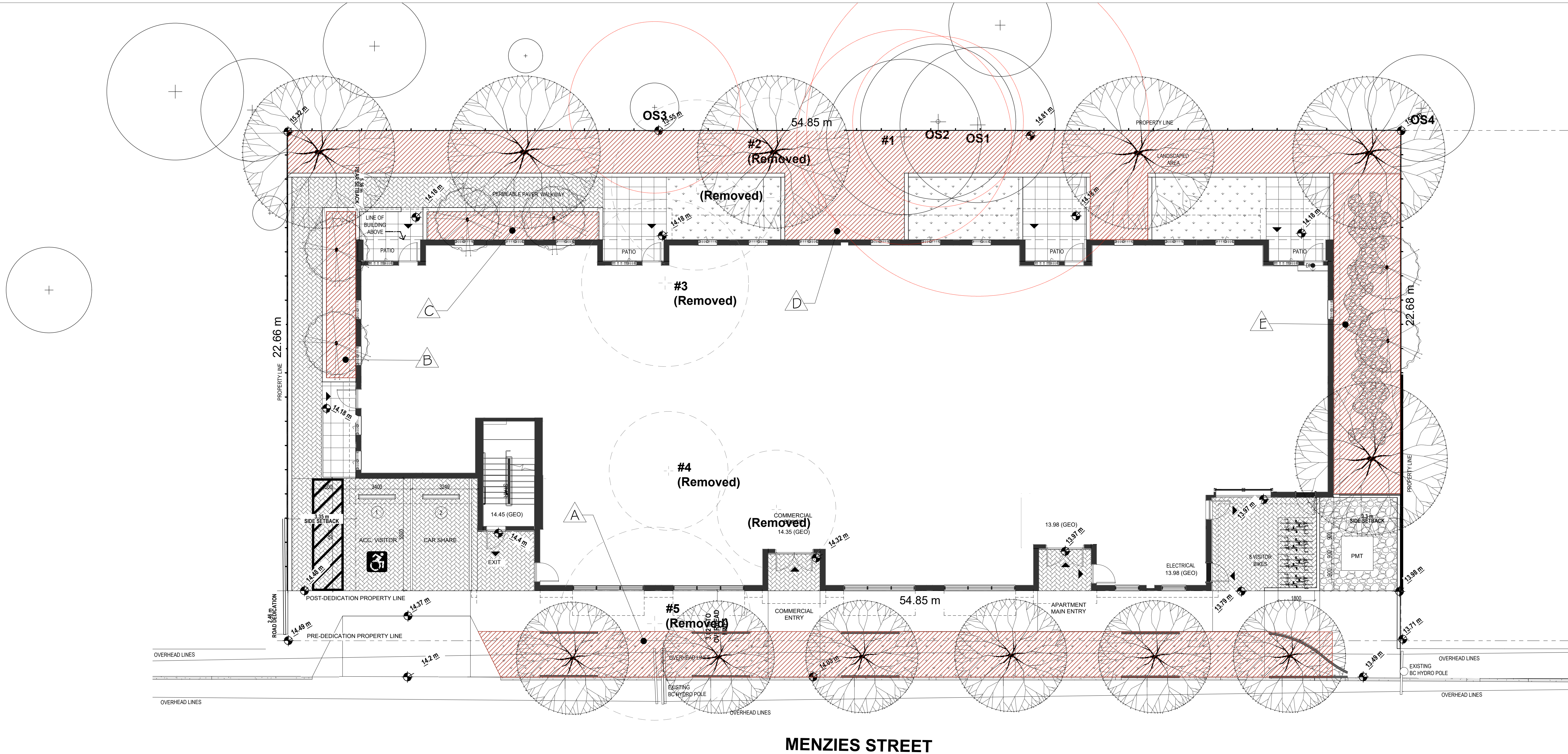
NOTES:

1. IRRIGATION FOR THE BOULEVARD TREES WILL BE FROM A SEPARATE WATER SYSTEM FROM THE CITY.

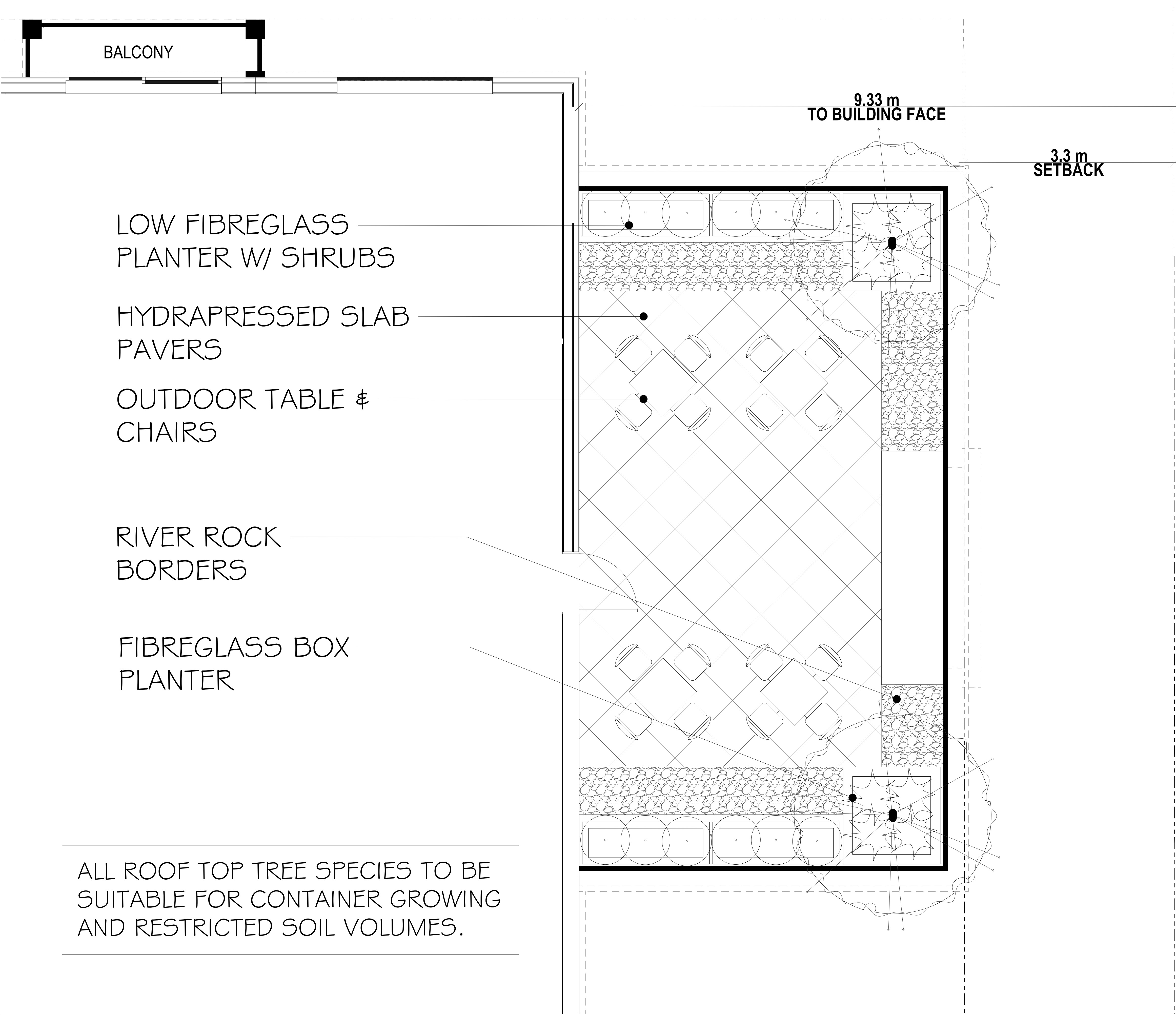
2. PROPOSED STREET TREES MUST COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW AND THE CURRENT VERSION OF THE CANADIAN LANDSCAPE STANDARD. PLANTING DETAILS CAN BE FOUND IN SCHEDULE B3-4 OR ON THE APPROVED LANDSCAPE PLAN. THE FOLLOWING TREE INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT ROB HUGHES, RHUGHES@VICTORIA.CA AND ALSO COPY TREEPERMITS@VICTORIA.CA 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.





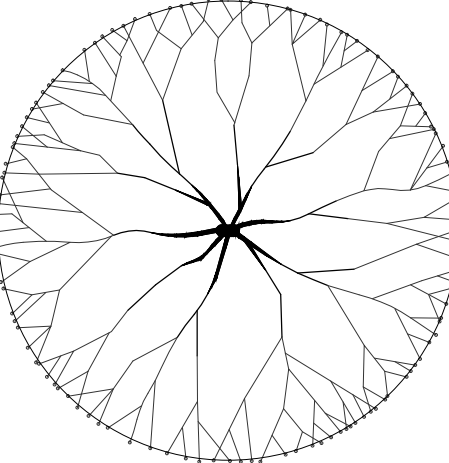




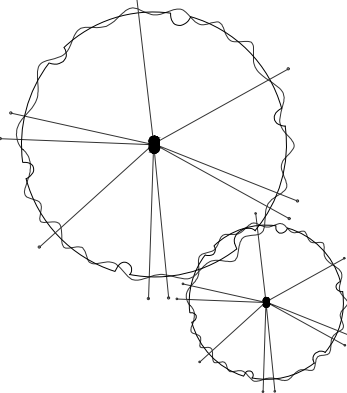


Suggested Plant List				
	Key	Common Name	Latin Name	Size
Small Trees	LAUR	Cherry Lauren (topiary tree form)	Photinia fraserii var. 'Red Robin'	#7 Pot
Medium Shrubs	AZAP	Evergreen Azalea	Azalea japonica var. 'Girard's Fuchsia'	#2 Pot
Small Shrubs	EUOF	Creeping Euonymus	Euonymus fortunei var. 'Emerald Gaiety'	#1 Pot
	ILEX	Japanese False Holly	Ilex crenata convexa	#1 Pot
	NAN	Heavenly Bamboo	Nandina domestica var. 'Plum Passion'	#5 Pot
Ground Covers	COTO	Trailing Cottoneaster	Cottoneaster dammeri	#5P4 Pot
Perennials & Grasses	AUBR	Rock Cress	Aubreta deltoidea var. 'Blue Carpet'	#5P5 Pot
	SEA	Seasonal Annual Flowers	Various	#5P5 Pot
Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification. - All areas to be irrigated with an automatic underground system.				

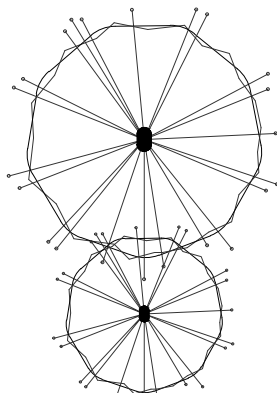
LEGEND




LARGE DECIDUOUS SHADE TREE




SMALL ORNAMENTAL DECIDUOUS TREES



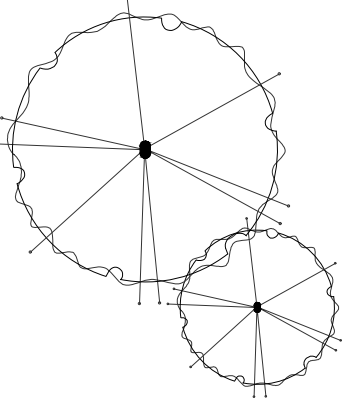
LARGE AND SMALL CONIFEROUS TREES



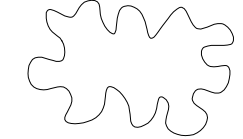
LARGE SHRUB



MEDIUM SHRUB



SMALL SHRUB



GROUND COVER & PERENNIALS



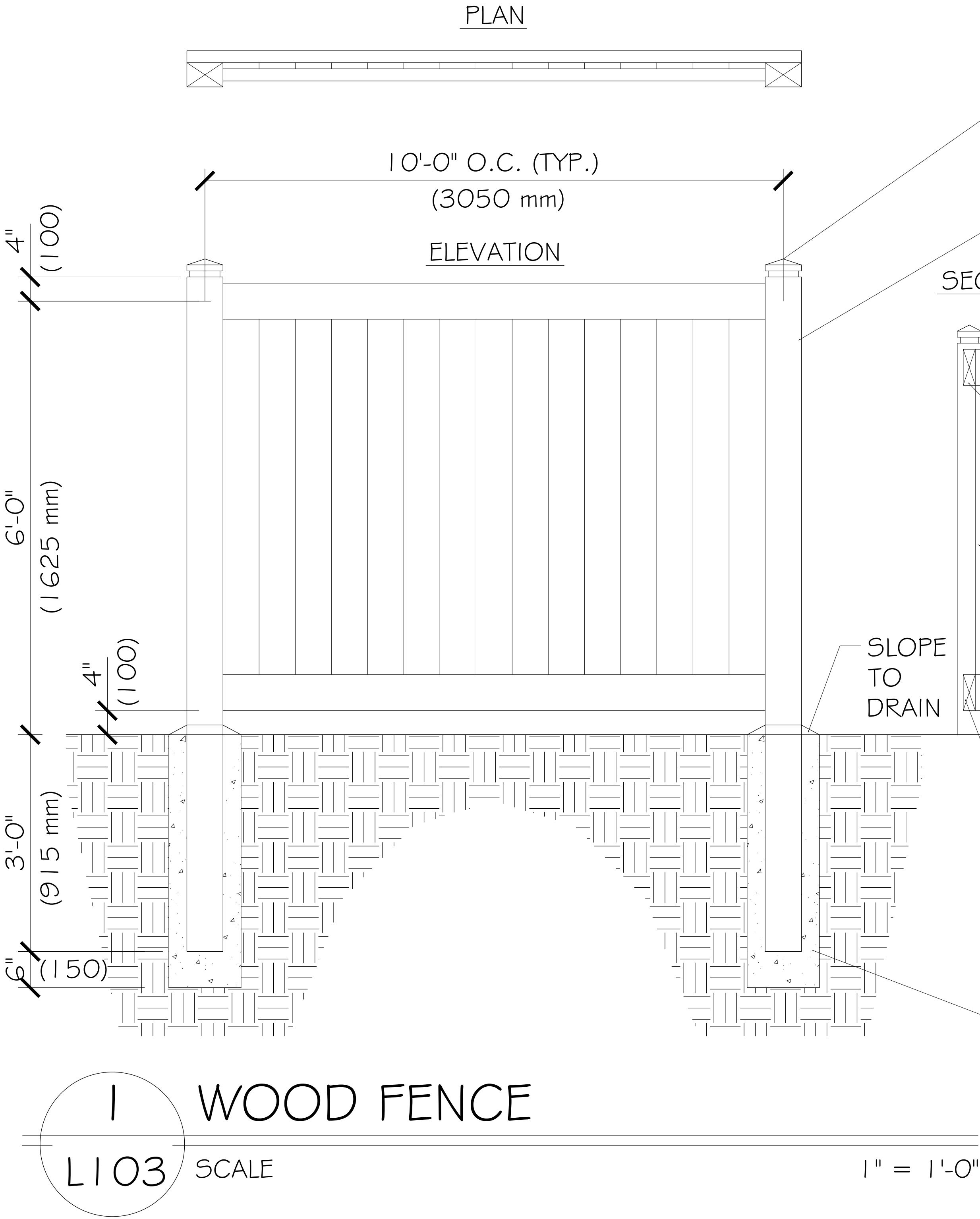
NOTES:

- ALL WOOD MEMBERS TO BE PRE-STAINED WITH 2 COATS STAIN. COLOUR TO BE APPROVED BY OWNER.

- FINAL COVERAGE AND QUALITY OF STAIN TO BE APPROVED BY OWNER. CONTRACTOR SHALL SUBMIT FINISHED PRODUCT SAMPLE FOR APPROVAL PRIOR TO STAINING. CONTRACTORS UNIT PRICE SHALL INCLUDE ALL NECESSARY ADJUSTMENTS AND REVISIONS AS REQUIRED TO OBTAIN OWNER AND CITY APPROVAL.

- ALL CUT MEMBERS TO BE STAINED IN FIELD.

- FENCE TO BE LOCATED WITHIN PROJECT PROPERTY LINES.



REV. DATE	NUMBER	DESCRIPTION
11-29-23	1	LANDSCAPE CONCEPT PLAN
12-06-23	2	LANDSCAPE CONCEPT PLAN - FOR DP
03-21-24	3	FOR COORDINATION
04-01-24	4	RE-ISSUED FOR DP
06-07-24	5	RE-ISSUED FOR DP
08-19-24	6	DETAIL - ISSUED AS ADDENDUM
09-12-24	7	RE-ISSUED FOR DP

DATE	SEPTEMBER 12, 2024
SCALE	1:30
DRAWN BY	BF/RF