

**GENERAL NOTES**

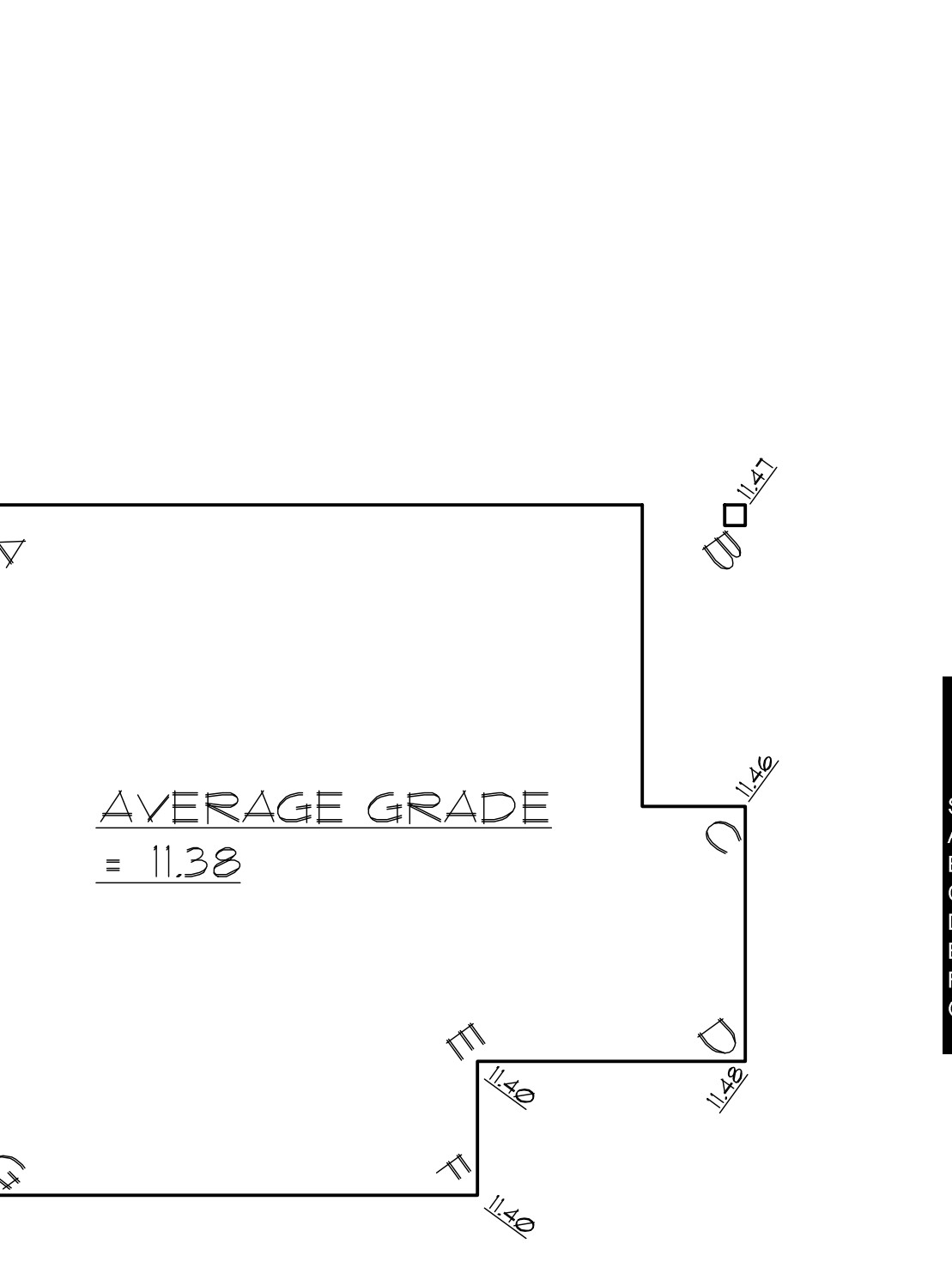
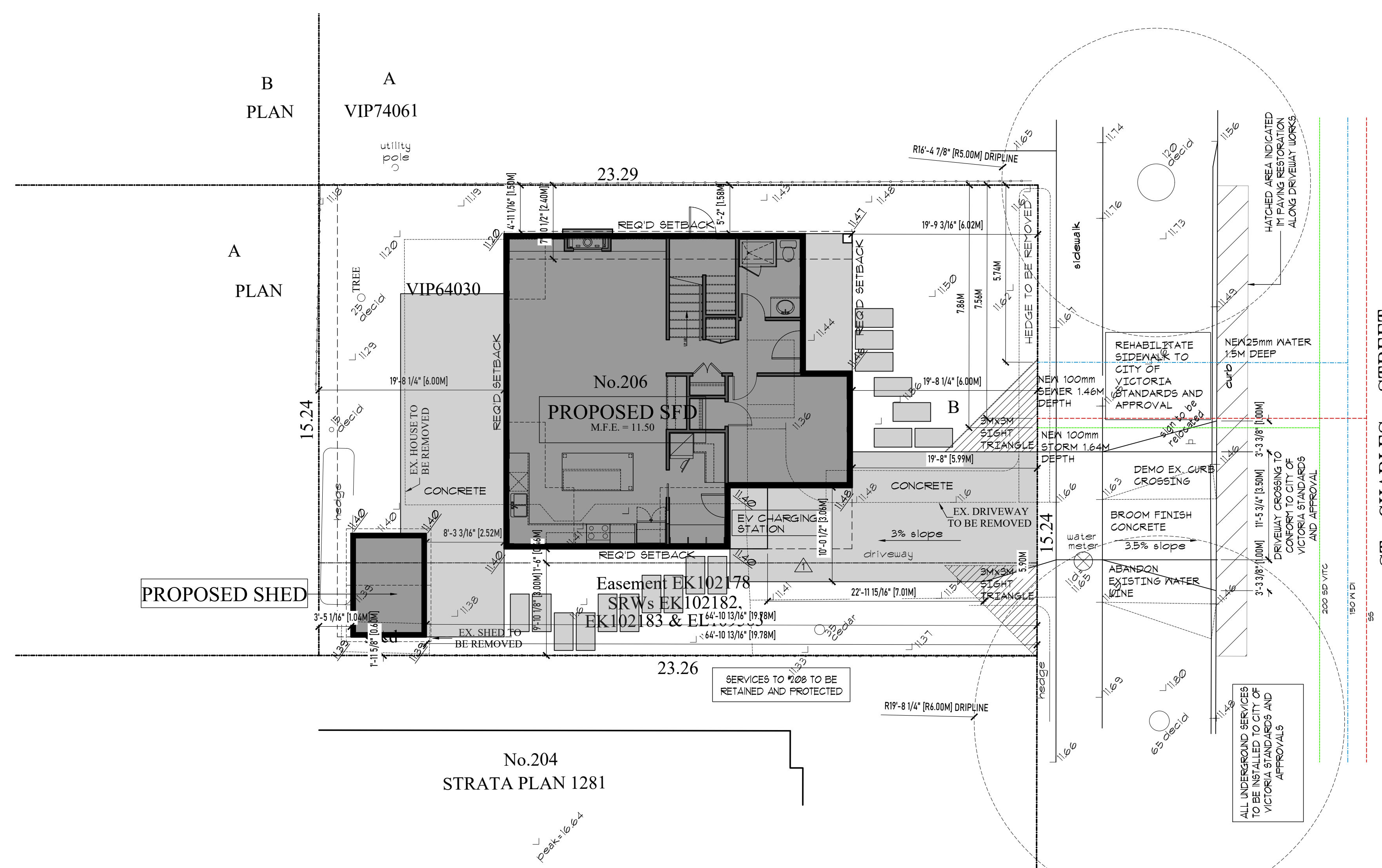
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES.
- NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
- EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/SHEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION.
- WHERE NOTED BY 'ENG.' OR 'ENGINEERED', ALL STRUCTURE SHALL BE ENGINEERED BY CERTIFIED STRUCTURAL ENGINEER INCLUDING, BUT NOT LIMITED TO: SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS 'ENGINEERED'. ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE AND SHALL CONFORM TO CURRENT RESIDENTIAL STANDARDS AND THE BRITISH COLUMBIA BUILDING CODE 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED, AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING.
- PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.
- ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C. 2018 AND GOOD CONSTRUCTION PRACTICE.
- PROVIDE MINIMUM OF 8' (200mm) CLEARANCE FROM GRADE TO WOOD CLADDING MATERIALS. EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6" (150mm) ABOVE ADJACENT GRADE.
- ALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2018 PART 9 WHERE SUPPORTING FLOOR OR ROOF LOADS.
- INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.10.9. - INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 9.32.4.2.
- ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL FLATES MUST BE PRESSURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.
- ALL NOTED 'ENGINEERED' COMPONENTS SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
- SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW CRITERION FOR AIRTIGHTNESS, WATER/TIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (security). ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-F-RATINGS FOR ALL WINDOWS WITHIN 2 METRES OF GRADE. THE RELEVANT STANDARD REQUIRES THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO BE ENGINEERED WITH SEALED DRAWINGS AND LETTERS OF ASSURANCE. WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE.
- INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" (865mm) MIN. TO 38" (965mm) MAX. ABOVE NOSING.
- INSTALL GUARDRAIL AT ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42" (1070mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE, OTHERWISE 36" (915mm) GUARDRAIL ALLOWED. CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SHOE TO RESIST LATERAL LOADS PER B.C.B.C. 2018. OTHER GLAZED RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED W/ SEALED DWGS. AND LETTERS OF ASSURANCE.
- INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT WALLBOARD (min 6" x 150mm) ON FRAMING AS SUBSTRATE AROUND ALL WALL & CEILING AREAS OF STEAM/SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL UET AREAS TO MIN 6'-0" (182m) HIGH.
- PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING CODE AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION.
- PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND CERTIFIED CONTRACTOR. RECEPTACLES AND APPLIANCE LOCATIONS TO BE APPROVED BY OWNER.
- ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER.
- FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF THE B.C.B.C. 2012 PART 9.
- VERIFY EXISTING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, & COMPACT ACCORDING TO BUILDING ELEVATIONS.
- ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES, AND MILLWORK TO OWNER'S APPROVAL.
- STAIR TREADS TO BE CONSTRUCTED OF FLYWOOD OR OTHER ENGINEERED PRODUCT, FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE.
- ALL FLOOR SHEATHINGS MUST BE SECURED WITH 1.5" (40mm) GALVANIZED OR COATED FLOOR SCREWS ON 6" O.C. (150mm).
- SOLID EAVE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHAKE ROOFS.
- TEMPORARY HEAT AND/OR FANS REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN THE DRYING OF INTERIOR FRAMEWORK.
- MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 18% PRIOR TO APPLICATION OF VAPOR BARRIER AND DRYWALL.
- TWO CONTINUOUS LAYERS OF 30MIN BUILDING PAPER MUST BE APPLIED TO EXTERIOR SHEATHING EITHER SHUFFLED - OR INSTALLED WITH 22" (550mm) OVERLAP SEAMS HALFLAPPED TO THE 2nd MID-LINE OF THE BUILDING PAPER.
- POSITIVE SLOPE FLASHINGS MUST BE INSTALLED ABOVE ALL WINDOWS, DOORS, SILLS, VENTS AND MATERIAL TRANSITIONS. ALL FLASHINGS MUST BE INSTALLED BEHIND BUILDING PAPER, WITH MECHANICALLY SEALED END DAMS. ALL FLASHINGS MUST EXTEND A MINIMUM OF 1' (25mm) BEYOND BOUNDARY OF THE OPENING TO WHICH THEY ARE APPLIED.
- BUILDING PAPER & FELT PRE-STRIPPING, ONLY, TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT WOOD SURFACES.
- ALL RAINSCREEN CAVITIES TO BE VENTED TOP & BOTTOM WITH INSECT PROOF VENT STRIPS.
- PROVIDE STEPPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST PENETRATION DEPTH ON COMPETENT BEARING.
- 4:20 Mpa CONCRETE FOUNDATION WALL 8" (200mm) THICK MAY BE A MAXIMUM OF 4' (12 m) HIGH FROM GRADE TO 1/2 FLOOR IF LATERALLY UNSUPPORTED AT THE TOP. REFER TO B.C.B.C. 2018, 9.3.4. - ALL OTHER CONCRETE WALLS TO BE ENGINEERED.
- PLUMBING PERMIT REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM AND DRAINAGE SYSTEM FOR THE BUILDING. ENSURE ALL FIXTURES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS.
- ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY THE MANUFACTURER PRIOR TO ORDERING.
- WHERE ALLOWED BY MUNICIPAL AUTHORITY HAVING JURISDICTION, APPROVED HOUSE WRAP, SUCH AS 'TYVEC' OR 'TYPAR' MAY BE USED, IF APPLIED AS SPECIFIED BY THE MANUFACTURER.
- DESIGNER/DRAFTSPERSON DOES NOT ASSUME LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS UNLESS ADVISED IN WRITING BEFORE PROCEEDING WITH CONSTRUCTION.

**SITE DATA**

LOCATION:	206 ST. CHARLES STREET - VICTORIA		
BUILDING TYPE:	NEW SFD		
ZONING:	R1-S2		
ZONING REQUIREMENTS	REQUIRED	PROPOSED	COMMENTS
LOT AREA	260 M <sup>2</sup>	354.82 M <sup>2</sup>	3819.30 FT <sup>2</sup>
LOT WIDTH	10 M MINIMUM	15.24 M	50.00 FT
LOT DEPTH	NA	76.36 M	23.27 FT
SETBACKS	REQUIRED	PROPOSED	COMMENTS
FRONT	6.00 M	6.00 M	19.68 FT
REAR	6.00 M	6.00 M	19.68 FT
SIDE NORTH	1.50 M (2.4 TO HABITABLE)	1.58 M	5.18 FT
SIDE SOUTH	1.50 M (2.4 TO HABITABLE)	3.46 M	11.35 FT
AVERAGE GRADE	NA	11.38 M	37.33 FT
BUILDING HEIGHT	7.50 M (TWO STOREYS MAX)	7.12 M	23.35 FT
BUILDING AREA			
UPPER FLOOR AREA	NA	89.45 M <sup>2</sup>	962.92 FT <sup>2</sup>
MAIN FLOOR AREA	NA	100.50 M <sup>2</sup>	1081.87 FT <sup>2</sup>
TOTAL FLOOR AREA	190 M <sup>2</sup>	189.95 M <sup>2</sup>	2044.79 FT <sup>2</sup>
MAXIMUM F.A.R.	0.60	0.535	
BUILDING FOOTPRINT	NA	107.30 M <sup>2</sup>	1155.00 FT <sup>2</sup>
MAXIMUM LOT COVERAGE	40%	30.24%	
SITE IMPERVIOUS AREA	NA	200.21 M <sup>2</sup>	2155.06 FT <sup>2</sup>
SITE PERMEABLE AREA	NA	154.61 M <sup>2</sup>	1664.24 FT <sup>2</sup>
RAINWATER MANAGEMENT AREA	NA	0 M <sup>2</sup>	0 FT <sup>2</sup>
TREES TO BE REMOVED	NA	0	

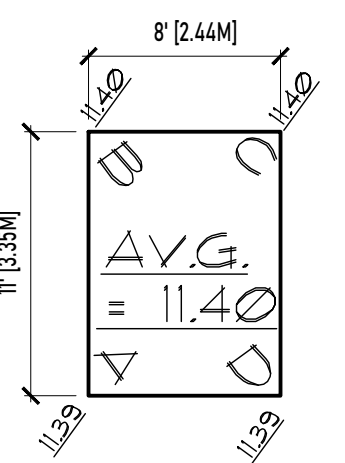
**SITE DATA - ACCESSORY BUILDING**

LOCATION:	206 ST. CHARLES STREET - VICTORIA		
BUILDING TYPE:	ACCESSORY BUILDING (SHED)		
ZONING:	R1-S2		
ZONING REQUIREMENTS	REQUIRED	PROPOSED	COMMENTS
FRONT SETBACK	18.00 M	19.78 M	64.89 FT
REAR SETBACK	0.60 M	1.04 M	3.41 FT
SIDE NORTH SETBACK	0.60 M	11.29 M	37.04 FT
SIDE SOUTH SETBACK	0.60 M	0.60 M	1.96 FT
FROM BUILDING	2.40 M	2.52 M	8.26 FT
AVERAGE GRADE	NA	11.40 M	37.40 FT
BUILDING HEIGHT	4.00 M	3.74 M	12.27 FT
BUILDING AREA			
TOTAL FLOOR AREA ACCESSORY BLDG	NA	8.91 M <sup>2</sup>	96.00 FT <sup>2</sup>
TOTAL FLOOR AREA ALL ACCESSORY BLDG	37.00 M <sup>2</sup>	8.91 M <sup>2</sup>	96.00 FT <sup>2</sup>
BUILDING FOOTPRINT HOUSE	NA	107.30 M <sup>2</sup>	1155.00 FT <sup>2</sup>
BUILDING FOOTPRINT ACCESSORY BLDG	NA	8.91 M <sup>2</sup>	96.00 FT <sup>2</sup>
TOTAL BUILDING FOOTPRINT	NA	116.21 M <sup>2</sup>	1251.00 FT <sup>2</sup>
MAXIMUM LOT COVERAGE	40.00%	32.75%	
REAR YARD AREA	NA	91.45 M <sup>2</sup>	984.44 FT <sup>2</sup>
MAXIMUM LOT COVERAGE ACCESSORY	30.00%	9.74%	



**206 ST. CHARLES STREET - Average Grade Calculation**

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	11.20	11.47	11.34	11.28	127.86	488.93	42.98	11.376
BC	11.47	11.46	11.47	4.46	51.13			
CD	11.46	11.48	11.47	3.77	43.24			
DE	11.48	11.40	11.44	3.96	45.30			
EF	11.40	11.40	11.40	1.98	22.57			
FG	11.40	11.40	11.40	7.32	83.45			
GA	11.40	11.20	11.30	10.21	115.37			
<b>TOTAL</b>					<b>42.98</b>	<b>488.93</b>		<b>11.38</b>



**206 ST. CHARLES STREET - Average Grade Calculation-SHED**

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	11.39	11.40	11.40	3.35	38.17	131.95	11.58	11.395
BC	11.40	11.40	11.40	2.44	27.82			
CD	11.40	11.39	11.40	3.35	38.17			
DA	11.39	11.39	11.39	2.44	27.79			
<b>TOTAL</b>					<b>11.58</b>	<b>131.95</b>		<b>11.40</b>

**2 AVERAGE GRADE CALCULATION**  
SCALE: 1/8"=1'-0"

**3 AVERAGE GRADE CALCULATION-SHED**  
SCALE: 1/8"=1'-0"

**ABBREVIATIONS**

A/A ATTIC ACCESS - MIN 24"x36"	PREF. PREFINISHED
AFF ABOVE FINISHED FLOOR	P.L. POINT LOAD ABOVE
BFFE BASEMENT FLOOR ELEVATION	R45 ROD & SHELF
BU BUILT UP	SFF SPRUCE/PINE/FIR #2
CONT CONTINUOUS	T&G TONGUE & GROOVE
DP DROPPED BEAM	T.O.S. TOP OF SLAB
EC ENGINEERED CONNECTION	UFE UPPER FLOOR ELEVATION
ENG. ENGINEERED	UNO UNLESS NOTED OTHERWISE
ENG. ENGINEERED	V.O.S. VERIFY ON SITE
FL FLUSH BEAM	
H.H. HEAD HEIGHT	
MFE MAIN FLOOR ELEVATION	
O.C. ON CENTRE	

**Revisions**  
Received Date: December 22, 2022

**DRAWING LIST**

- A1 SITE PLAN, AND SITE DATA
- A2 FLOOR PLANS
- A3 EXTERIOR ELEVATIONS
- A4 BUILDING SECTIONS
- A5 DETAILS
- A6 SHED DRAWINGS

RE-ISSUED FOR BP NOVEMBER 30, 2022

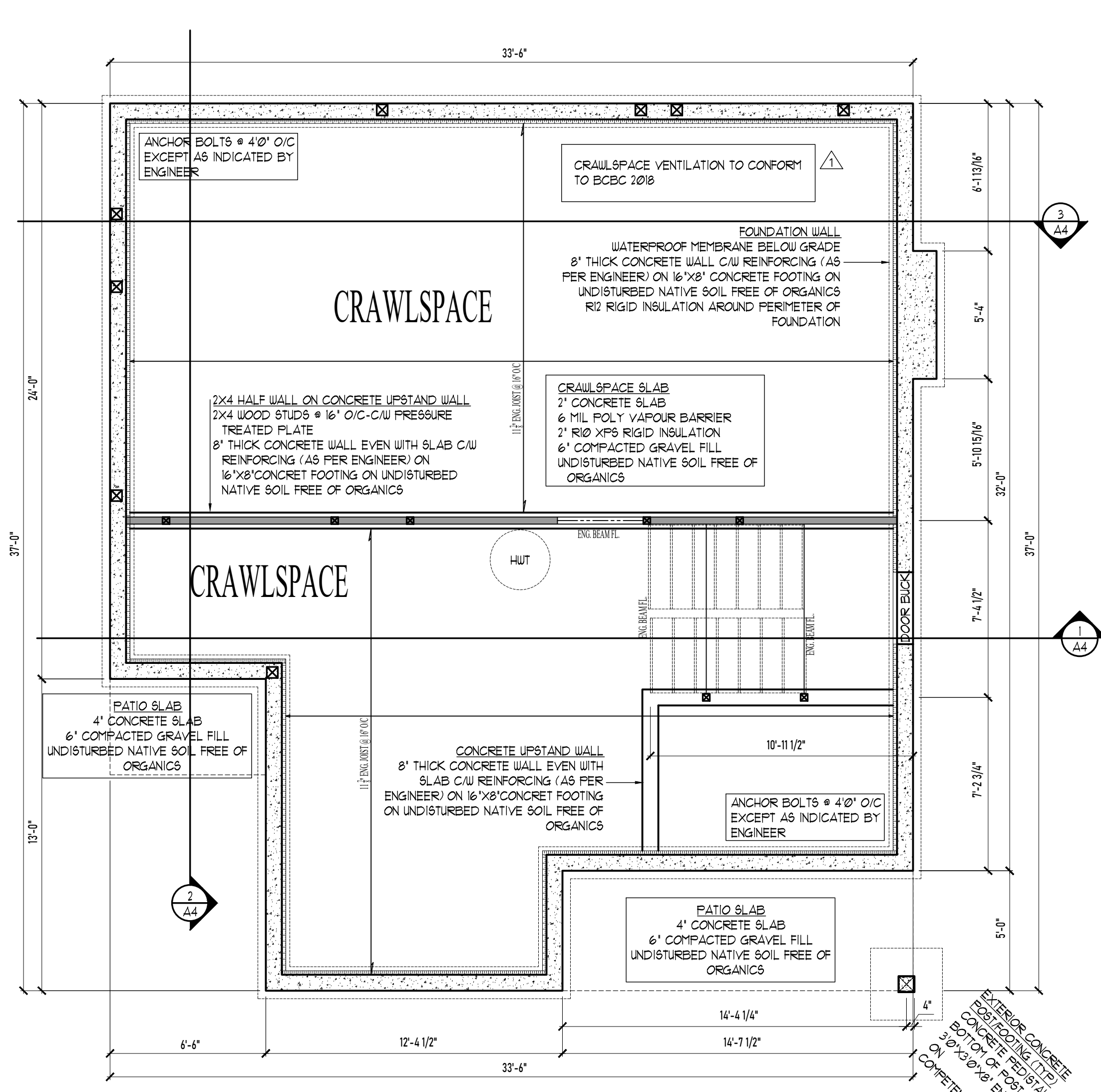


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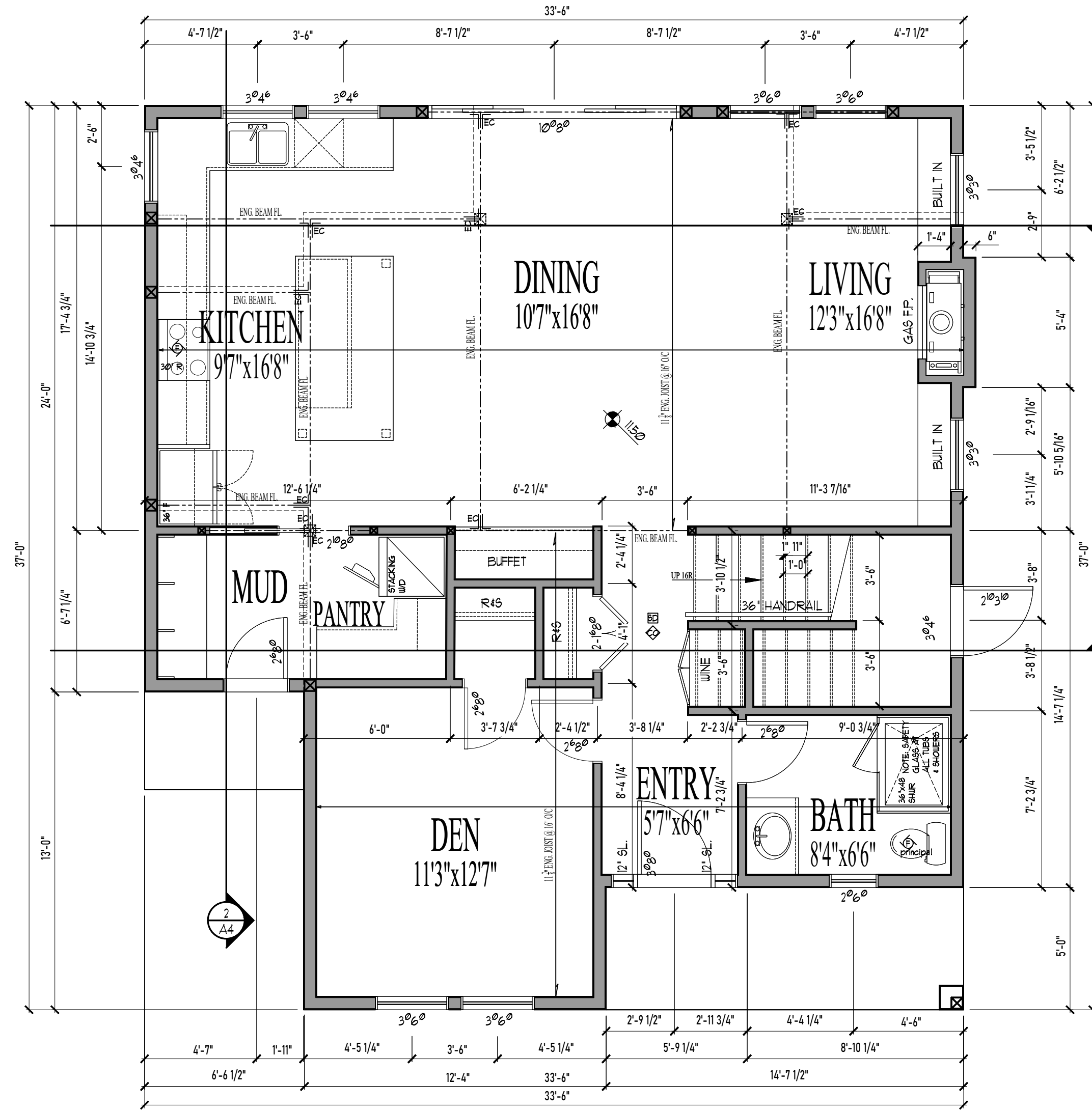
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Date: APRIL 27, 2022  
Scale: AS NOTED  
Project: NEW SFD @ 206 ST. CHARLES STREET

Title: SITE PLAN

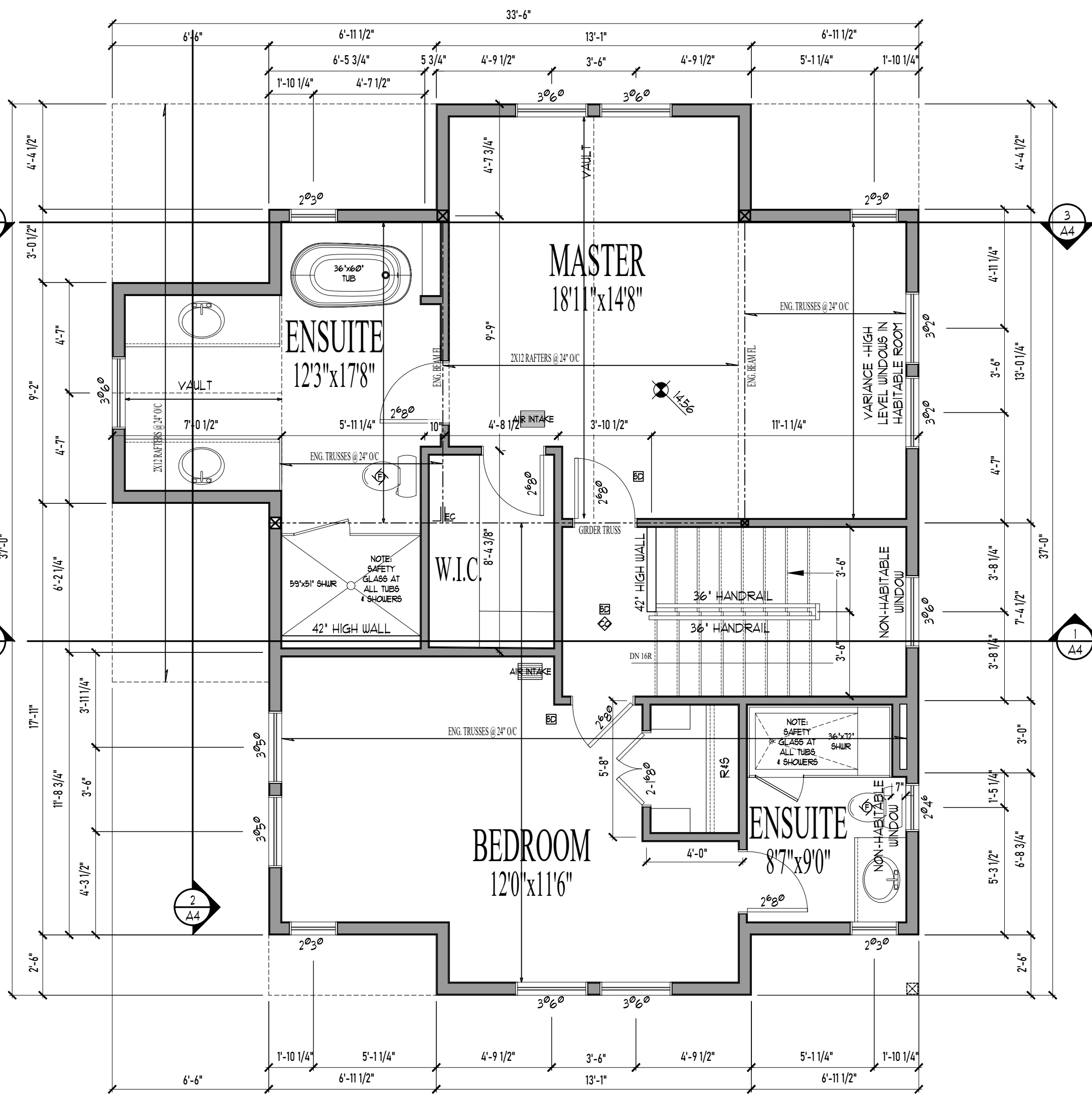
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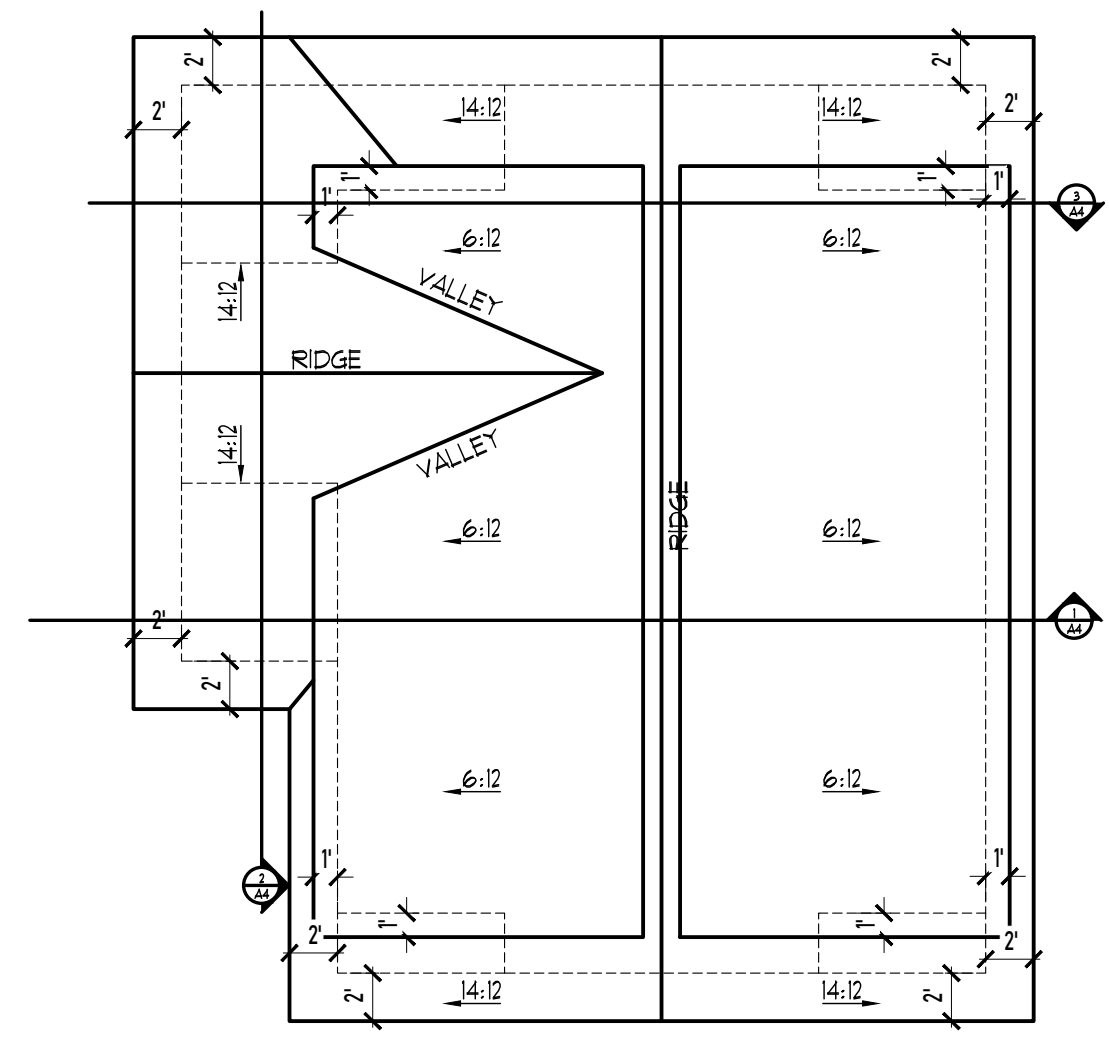
1 FOUNDATION PLAN  
SCALE: 1/4"=1'-0"



2 MAIN FLOOR PLAN  
SCALE: 1/4"=1'-0"



3 UPPER FLOOR PLAN  
SCALE: 1/4"=1'-0"



4 ROOF PLAN  
SCALE: 1/8"=1'-0"

**SYMBOL LEGEND**

- FAN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR-INTERCONNECTED ON ALL FLOORS
- FLUE
- PROPOSED FINISH GEO. ELEVATION
- ENGINEERED CONNECTION
- COLUMN - POINT LOAD ABOVE
- SHEAR WALL
- CENTER LINE
- AIR INTAKE VENT

RE-ISSUED FOR BP  
OCTOBER 4, 2022

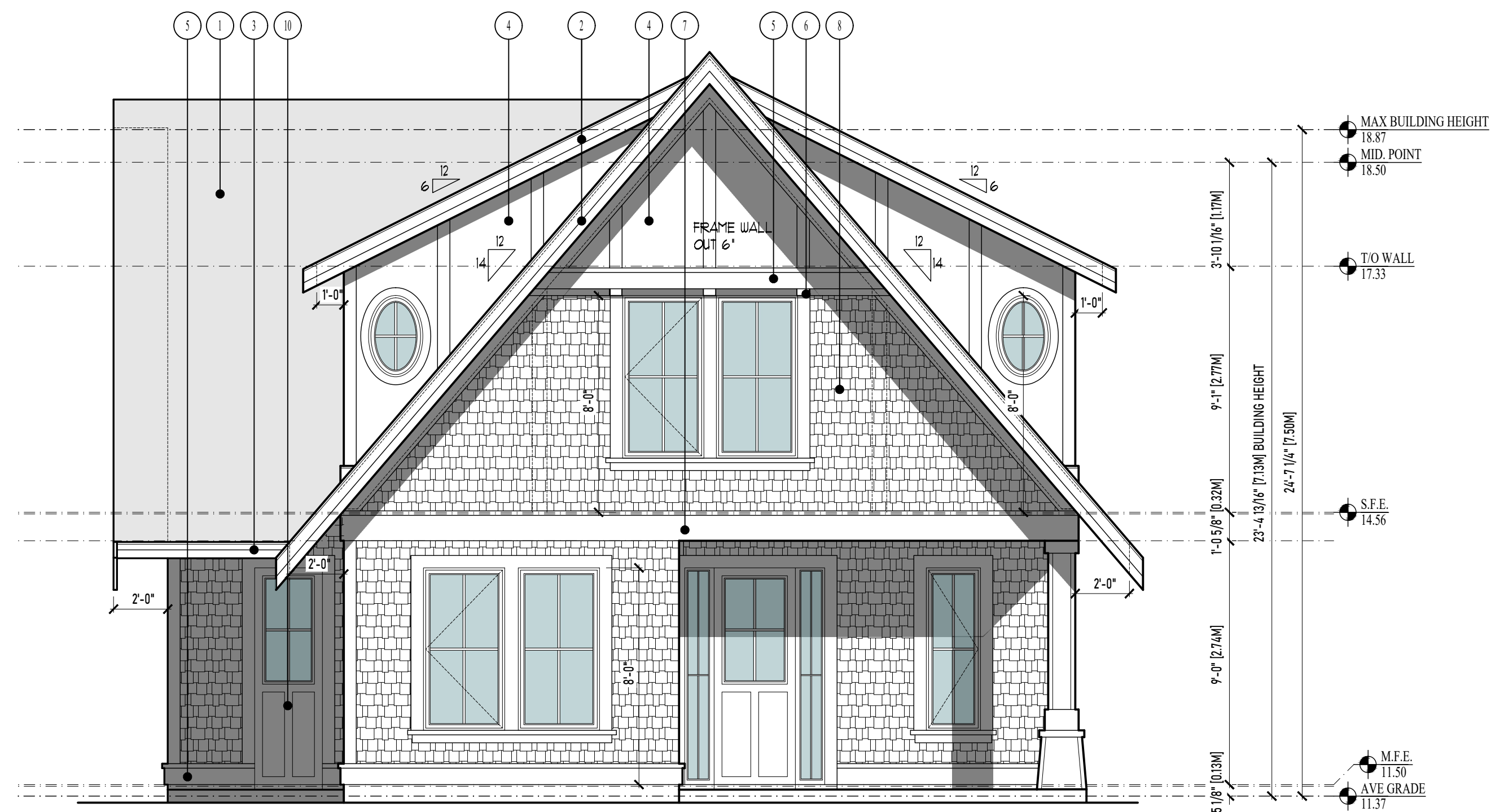


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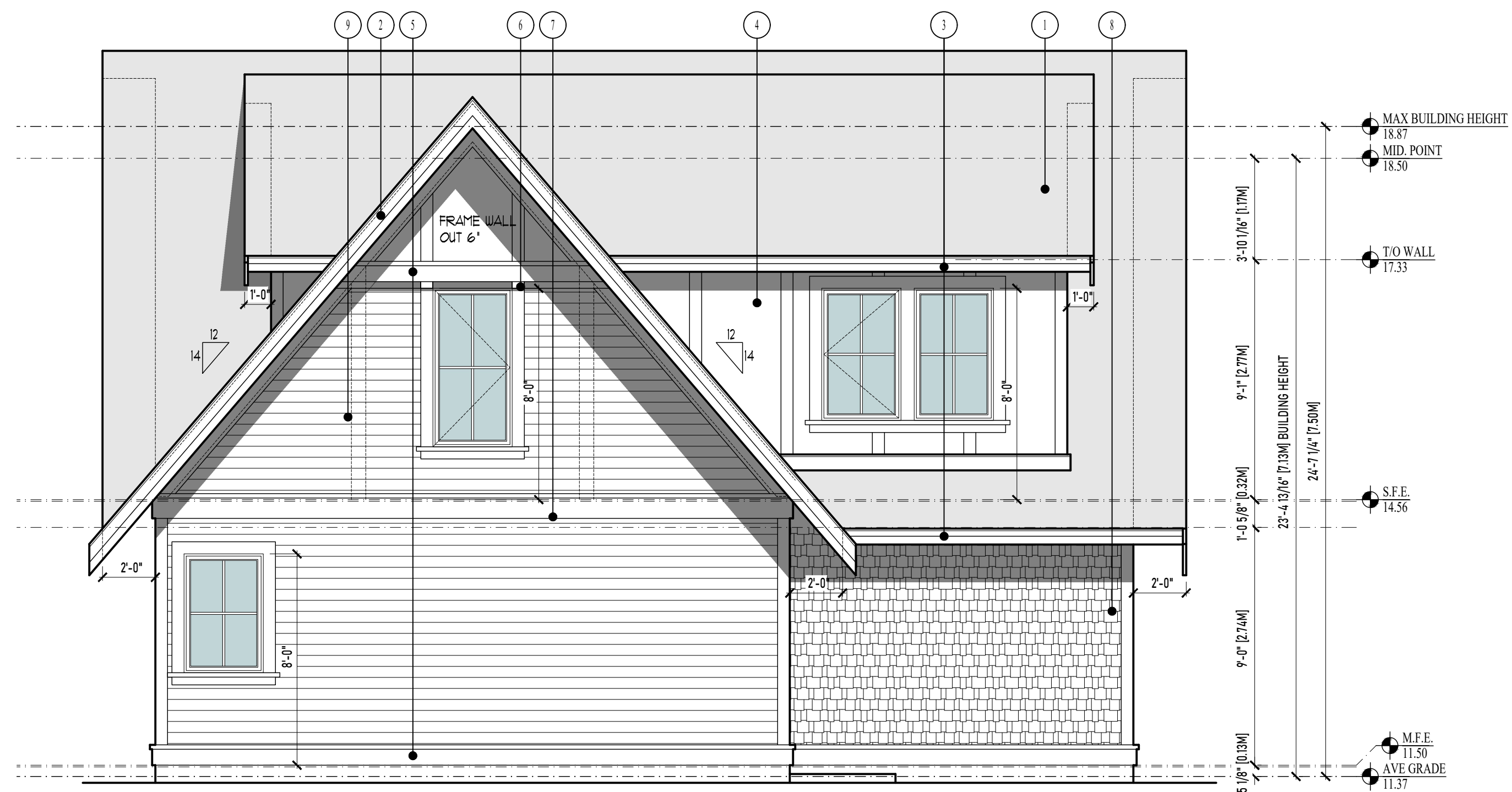
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NEW SFD @ 206  
ST.CHARLES STREET

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PLANS

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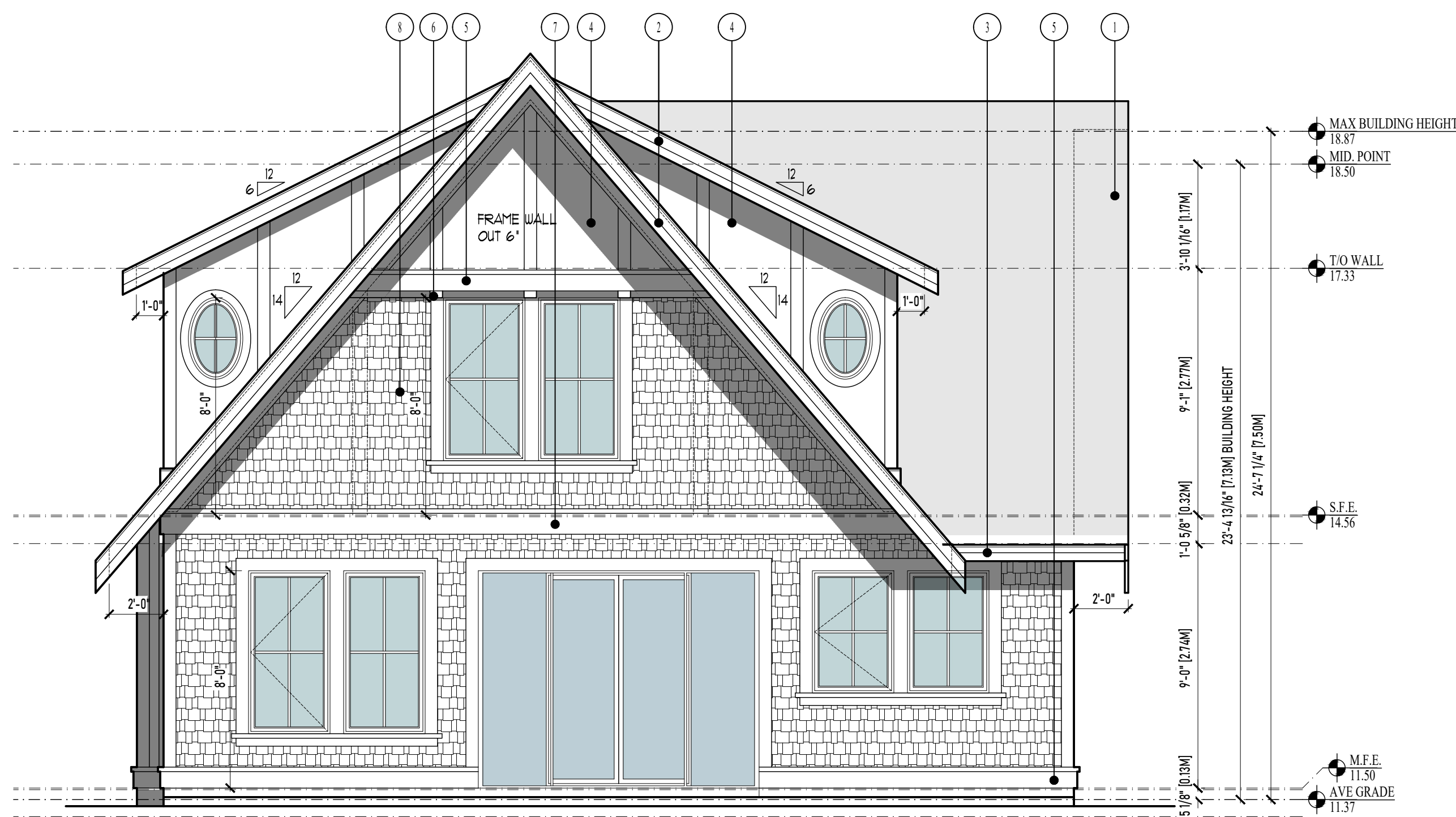


1 FRONT ELEVATION  
SCALE: 1/4"=1'-0"

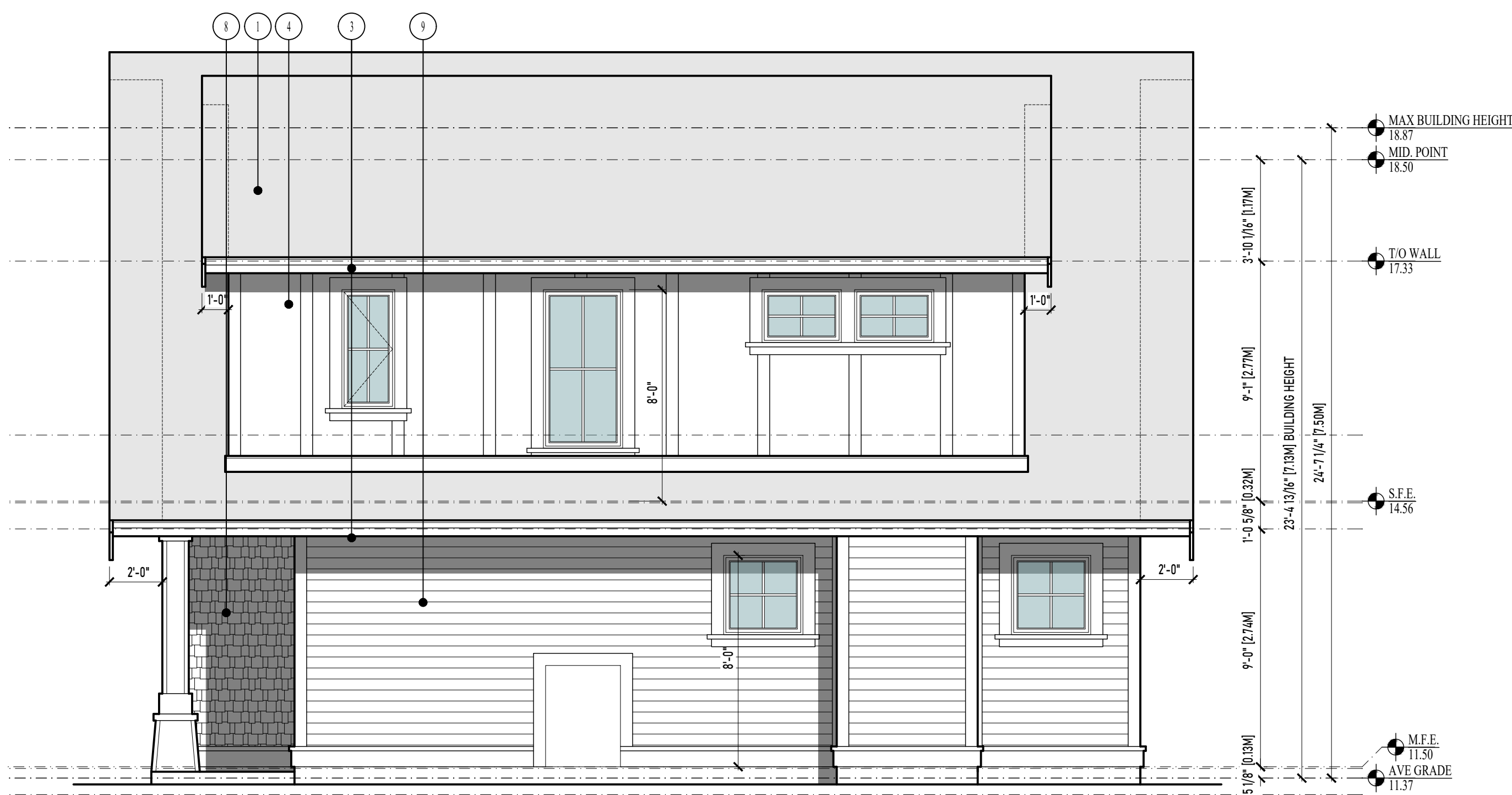


2 SOUTH ELEVATION  
SCALE: 1/4"=1'-0"

MAXIMUM GLAZING CALCULATION - SOUTH ELEVATION	
DISTANCE TO PROPERTY LINE	3.45 M (11.31')
EXPOSED BUILDING FACE AREA	65.11 M <sup>2</sup> (702.01 SF)
GLAZING AREA	4.30 M <sup>2</sup> (46.34 SF)
PERCENTAGE	6.54% (ALLOWED 15.53%)



3 REAR ELEVATION  
SCALE: 1/4"=1'-0"



4 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

MAXIMUM GLAZING CALCULATION - NORTH ELEVATION	
DISTANCE TO PROPERTY LINE	1.58 M (5.18')
EXPOSED BUILDING FACE AREA	65.11 M <sup>2</sup> (702.01 SF)
GLAZING AREA	3.69 M <sup>2</sup> (39.75 SF)
PERCENTAGE	5.6% (ALLOWED 8.16%)

FINISH SCHEDULE

- 1 ASPHALT SHINGLES  
COLOUR: -  
MANUFACTURER: -
  - 2 2X6 OVER 2X10 FASCIA BOARDS - PAINT  
COLOUR: -  
MANUFACTURER: -
  - 3 2X4 OVER 2X8 FASCIA BOARDS - PAINT  
COLOUR: -  
MANUFACTURER: -
  - 4 CEMENTITIOUS PANEL C/W 5.5" BATTONS - PAINT  
COLOUR: -  
MANUFACTURER: -
  - 5 2X8 BATTON C/W 2" WATERTABLE - PAINT  
COLOUR: -  
MANUFACTURER: -
  - 6 5.5"X3" DENTAL MOULDING - PAINT  
COLOUR: -  
MANUFACTURER: -
  - 7 2X12 BATTON C/W 2" WATERTABLE - PAINT  
COLOUR: -  
MANUFACTURER: -
  - 8 CEMENTITIOUS SHAKES - PAINTED  
COLOUR: -  
MANUFACTURER: -
  - 9 CEMENTITIOUS SIDING - PAINT  
COLOUR: -  
MANUFACTURER: -
  - 10 WOOD DOORS - STAINED  
COLOUR: -  
MANUFACTURER: -
- WINDOWS TO HAVE 5.5" TRIM C/W 2" WATERTABLE AND 3.5" BASE TRIM - PAINT  
- DOORS TO BE TRIMMED WITH 5.5" BOARDS - PAINT

- GENERAL NOTES:
- WINDOW OPERATION SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS
  - FLASH OVER ALL MATERIAL TRANSITIONS, AND DOOR & WINDOW HEADS
  - NO COMBED-FACED TRIM
  - ALL COLOURS BY DESIGNED AND OWNER

RE-ISSUED FOR BP  
OCTOBER 4, 2022



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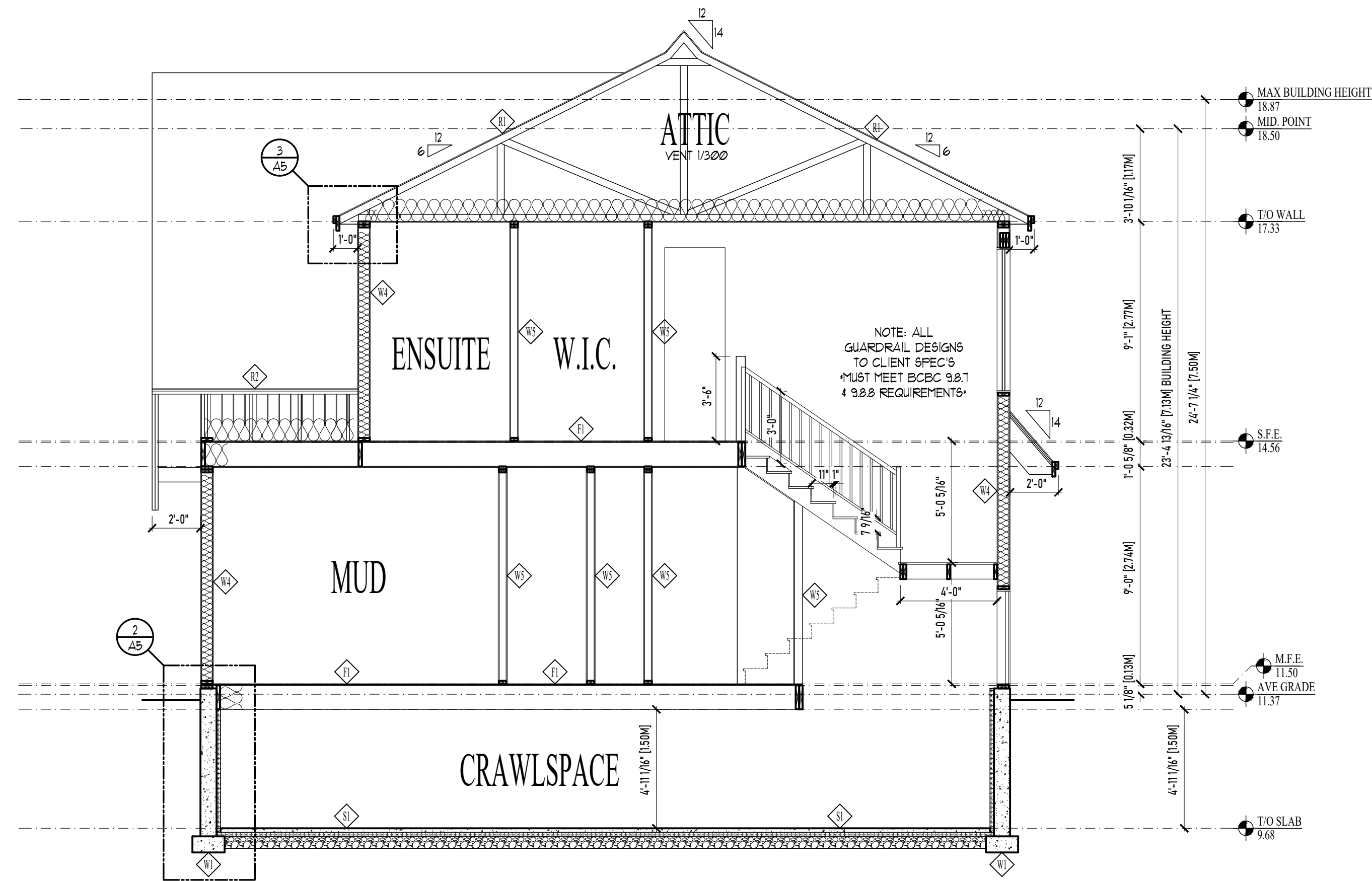
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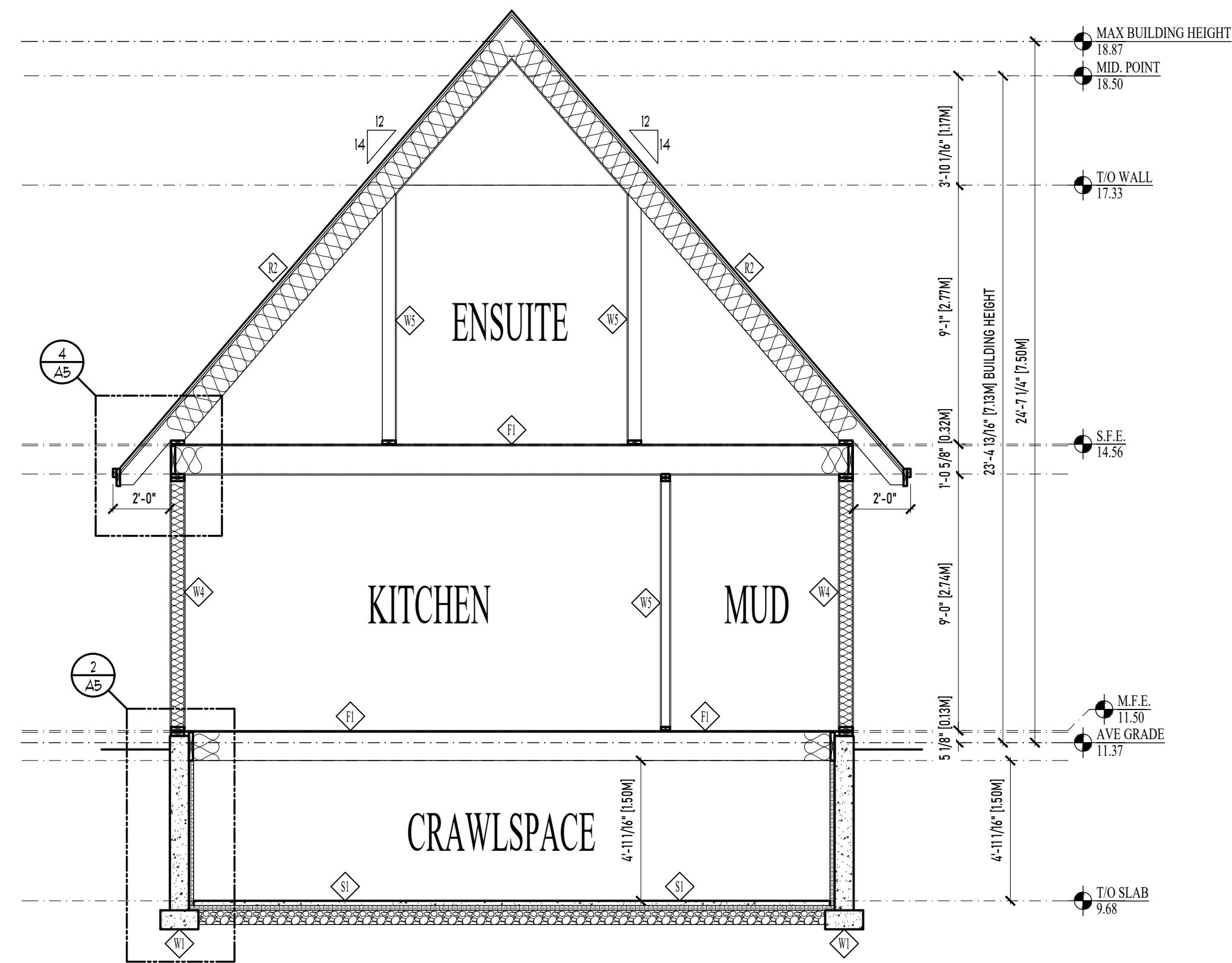
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ELEVATIONS

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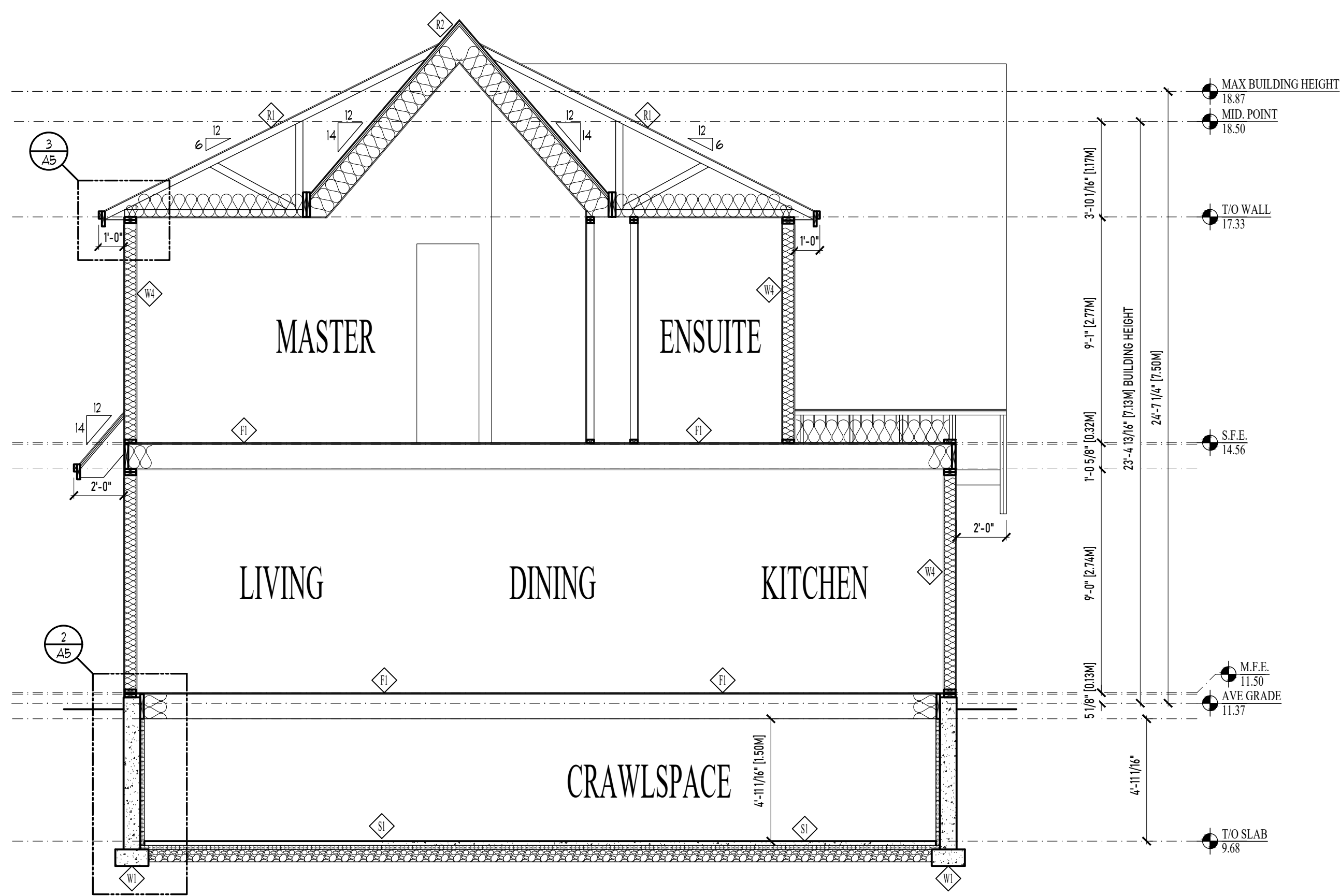
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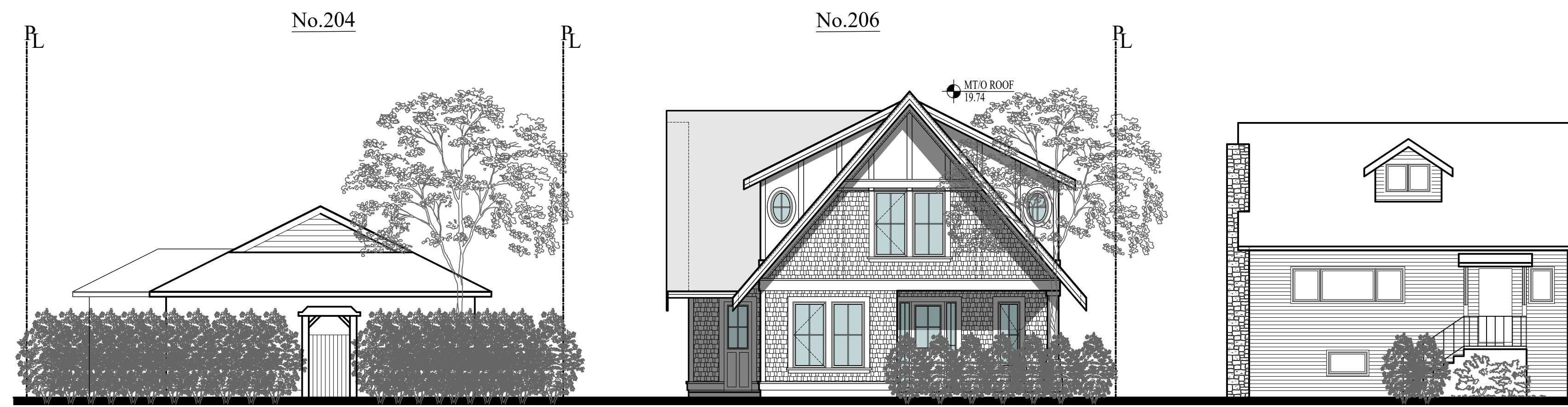
1 BUILDING SECTION  
SCALE: 1/4"=1'-0"



2 BUILDING SECTION  
SCALE: 1/4"=1'-0"



3 BUILDING SECTION  
SCALE: 1/4"=1'-0"



4 STREETSCAPE  
SCALE: 1/8"=1'-0"

CONSTRUCTION SCHEDULE

ROOF TYPES	WALL TYPES
<ul style="list-style-type: none"> <li>SLOPED ROOF-ENG. TRUSSES</li> <li>ROOF FINISH AS PER ELEVATIONS</li> <li>UNDERLAYMENTS</li> <li>1/2" PLYWOOD SHEATHING C/W 1" CLIPS</li> <li>FREENGINEERED TRUSSES @ 24" O/C</li> <li>R40 LOOSE FILL INSULATION</li> <li>6 MIL POLY VAPOUR BARRIER</li> <li>1/2" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT</li> </ul>	<ul style="list-style-type: none"> <li>FOUNDATION WALL</li> <li>WATERPROOF MEMBRANE BELOW GRADE</li> <li>8" THICK CONCRETE WALL C/W REINFORCING (AS PER ENGINEER) ON 16" X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS</li> <li>2" RIGID INSULATION AROUND INTERIOR OF CRAWLSPACE</li> </ul>
<ul style="list-style-type: none"> <li>SLOPED ROOF-2X12 RAFTERS</li> <li>ROOF FINISH AS PER ELEVATIONS</li> <li>UNDERLAYMENTS</li> <li>1/2" PLYWOOD SHEATHING C/W 1" CLIPS</li> <li>4X STRAPPING @ 24" O/C</li> <li>2X3 FURLINGS @ 24" O/C</li> <li>2X12 RAFTERS @ 24" O/C</li> <li>R40 GLASS FIBER BATT INSULATION</li> <li>6 MIL POLY VAPOUR BARRIER</li> <li>1/2" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT</li> </ul>	<ul style="list-style-type: none"> <li>CONCRETE UPSTAND WALL</li> <li>8" THICK CONCRETE WALL EVEN WITH SLAB C/W REINFORCING (AS PER ENGINEER) ON 16" X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS</li> <li>2X4 HALF WALL ON CONCRETE UPSTAND WALL</li> <li>2X4 WOOD STUDS @ 16" O/C-C/W PRESURE TREATED PLATE</li> <li>8" THICK CONCRETE WALL EVEN WITH SLAB C/W REINFORCING (AS PER ENGINEER) ON 16" X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS</li> </ul>
<p>EXTERIOR SOFFITS</p> <ul style="list-style-type: none"> <li>1X4 T&amp;G V-GROOVE CEDAR</li> <li>SOFFIT C/W 1" WIDE INSECT/VENT SCREEN</li> </ul>	<ul style="list-style-type: none"> <li>EXTERIOR WALL ASSEMBLY</li> <li>EXTERIOR FINISH AS PER ELEVATIONS</li> <li>3/4" (19mm) CAPILLARY BREAK MAT</li> <li>AIR BARRIER</li> <li>1/2" PLYWOOD SHEATHING</li> <li>2X6 WOOD STUDS @ 16"</li> <li>R20 GLASS FIBER BATT INSULATION</li> <li>6 MIL POLY VAPOUR BARRIER</li> <li>1/2" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT</li> </ul>
<p>FLOOR TYPES</p> <ul style="list-style-type: none"> <li>FLOOR ASSEMBLY-II 1/2" ENG. JOIST</li> <li>FLOOR FINISH</li> <li>1/2" T&amp;G PLYWOOD SUBFLOOR -NAILED, GLUED AND SCREWED</li> <li>11/2" FREENGINEERED JOISTS @ 16" O/C</li> <li>SOUND INSULATION AS INDICATED BY OWNER</li> <li>1/2" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT</li> </ul>	<ul style="list-style-type: none"> <li>INTERIOR WALL ASSEMBLY</li> <li>1/2" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT</li> <li>2X4 OR 2X6 WOOD STUDS @ 24"</li> <li>SOUND INSULATION AS DIRECTED BY OWNER</li> <li>1/2" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT</li> </ul>
<p>SLAB TYPES</p> <ul style="list-style-type: none"> <li>CRAWLSPACE SLAB</li> <li>2" CONCRETE SLAB</li> <li>6 MIL POLY VAPOUR BARRIER</li> <li>2" RIGID INSULATION</li> <li>6" COMPACTED GRAVEL FILL</li> <li>UNDISTURBED NATIVE SOIL FREE OF ORGANICS</li> </ul>	

RE-ISSUED FOR BP  
OCTOBER 4, 2022



1161 NEWPORT AVE  
Victoria, B.C. V8S 5E6  
Phone: (250) 360-2144  
Fax: (250) 360-2115

Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

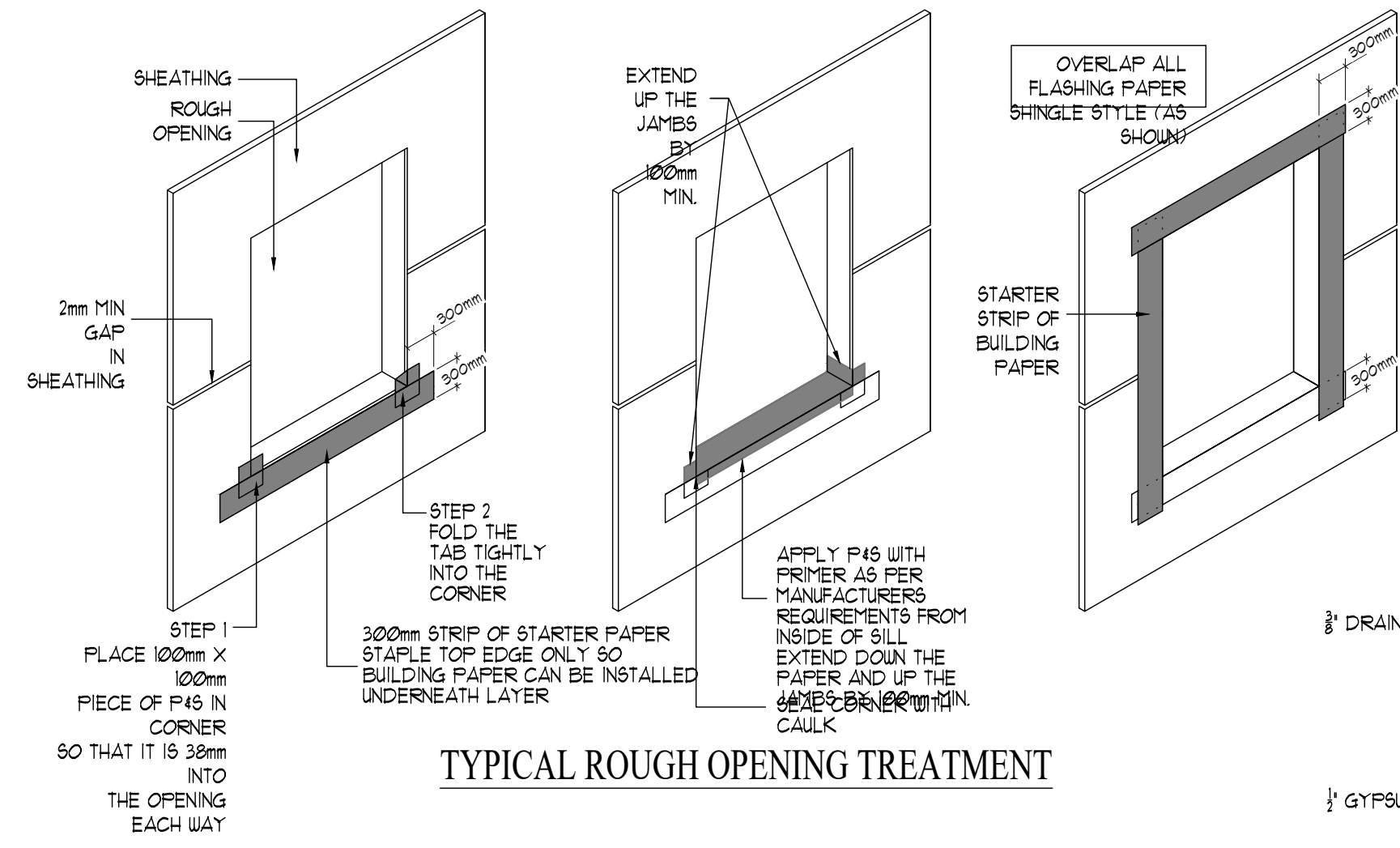
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Project:  
NEW SFD @ 206  
ST. CHARLES STREET

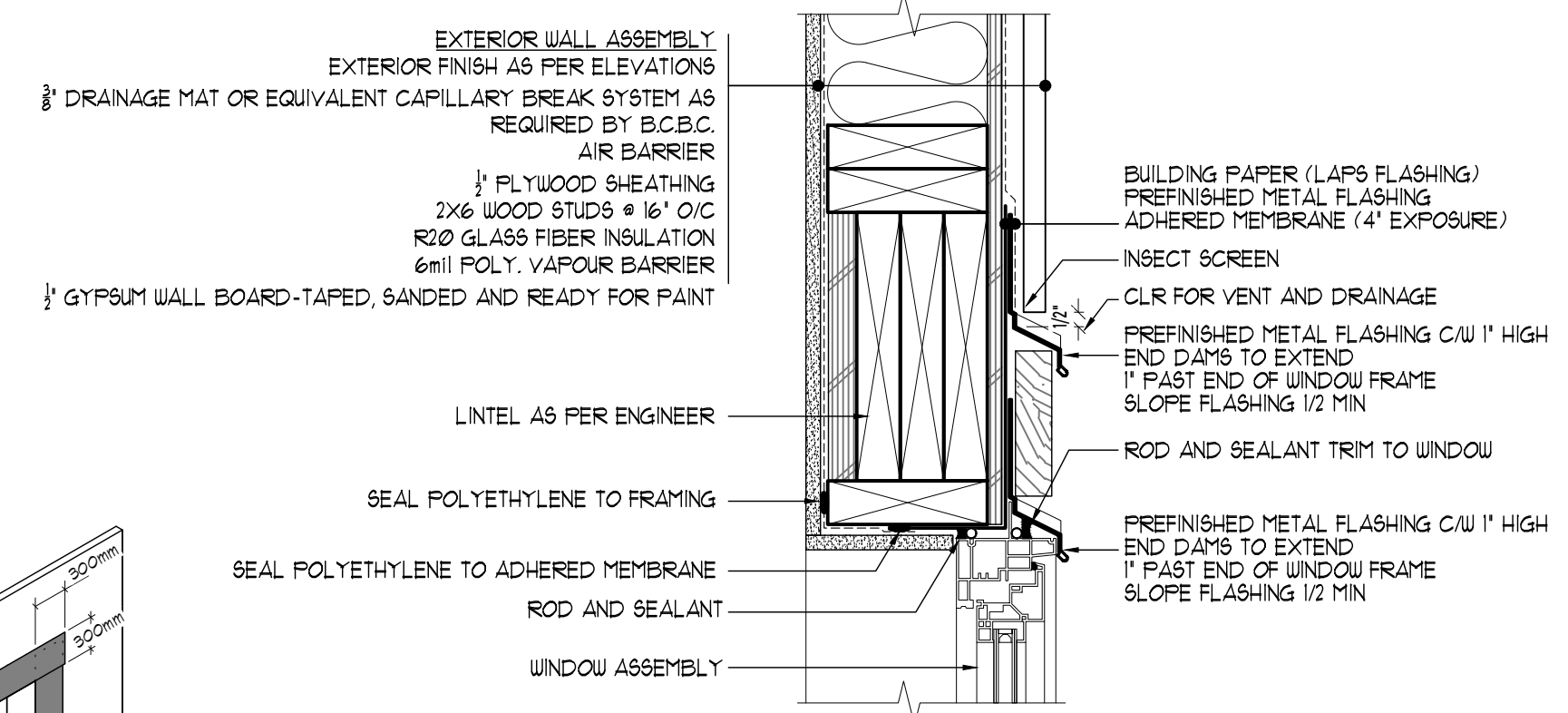
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SECTIONS AND  
STREETSCAPE

Revision: Sheet:

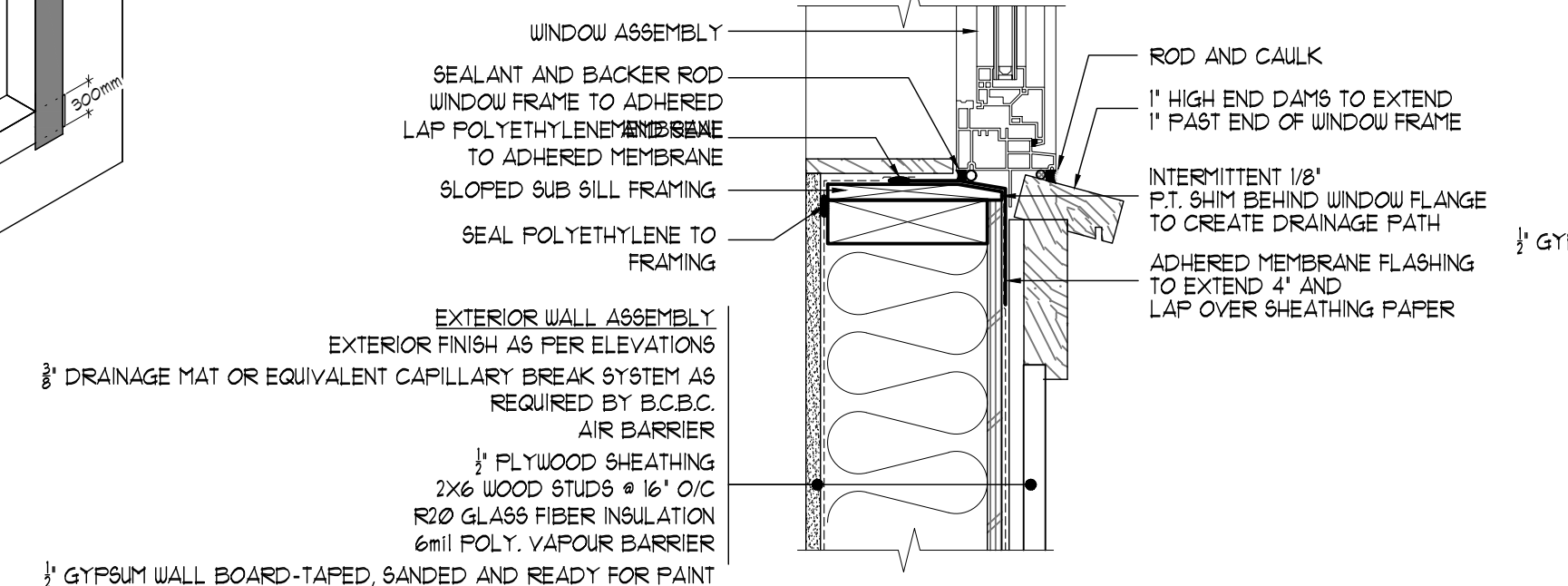
R3 A4  
Proj.No. 2484



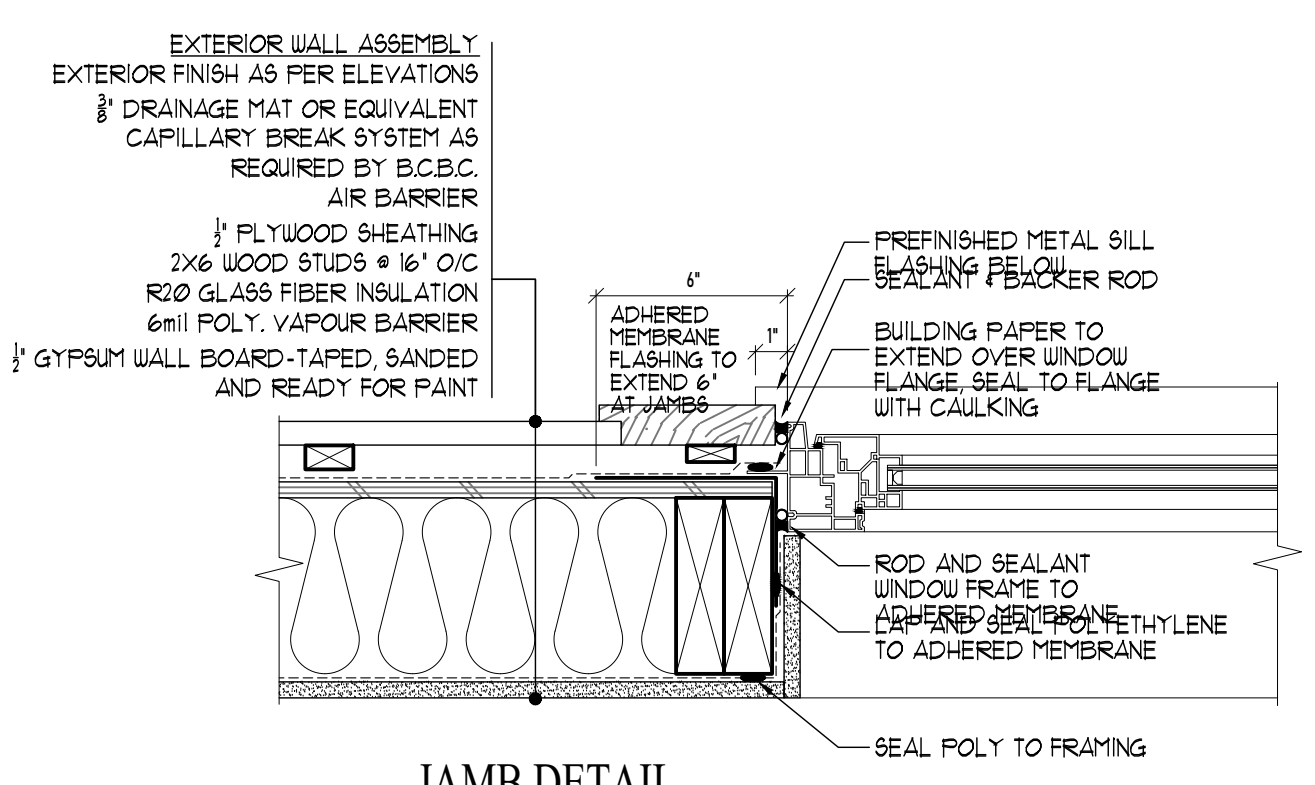
TYPICAL ROUGH OPENING TREATMENT



HEAD DETAIL

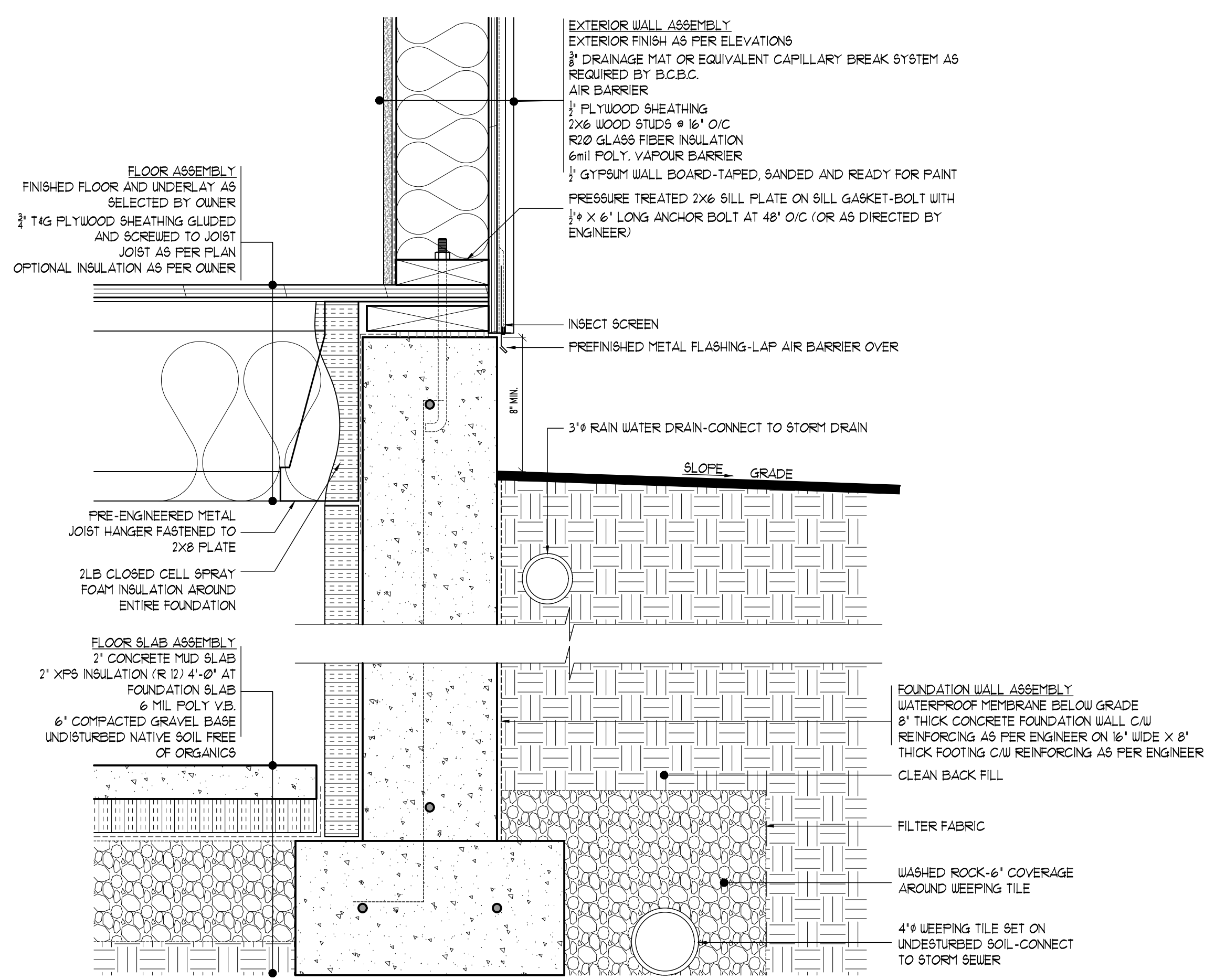


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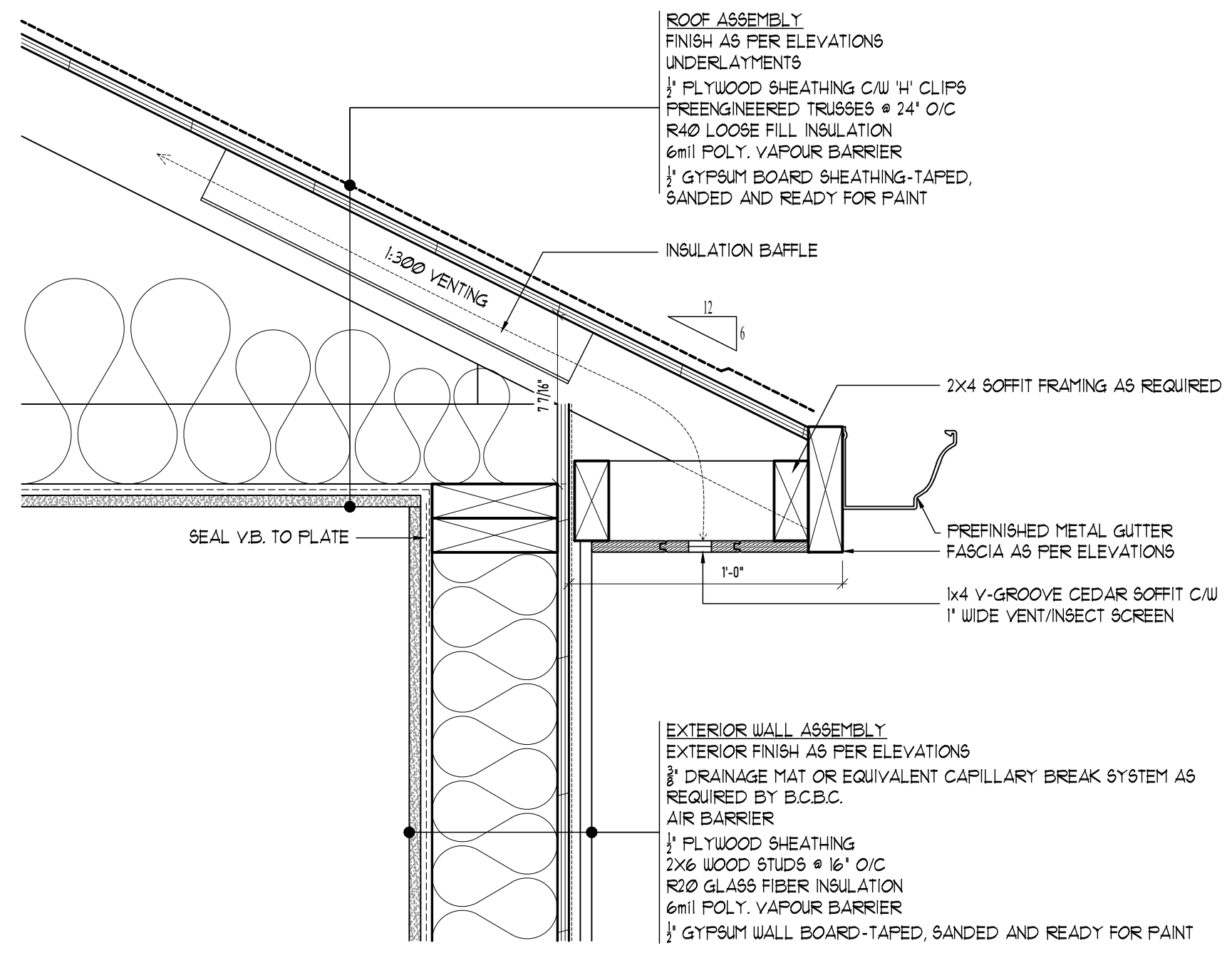


JAMB DETAIL

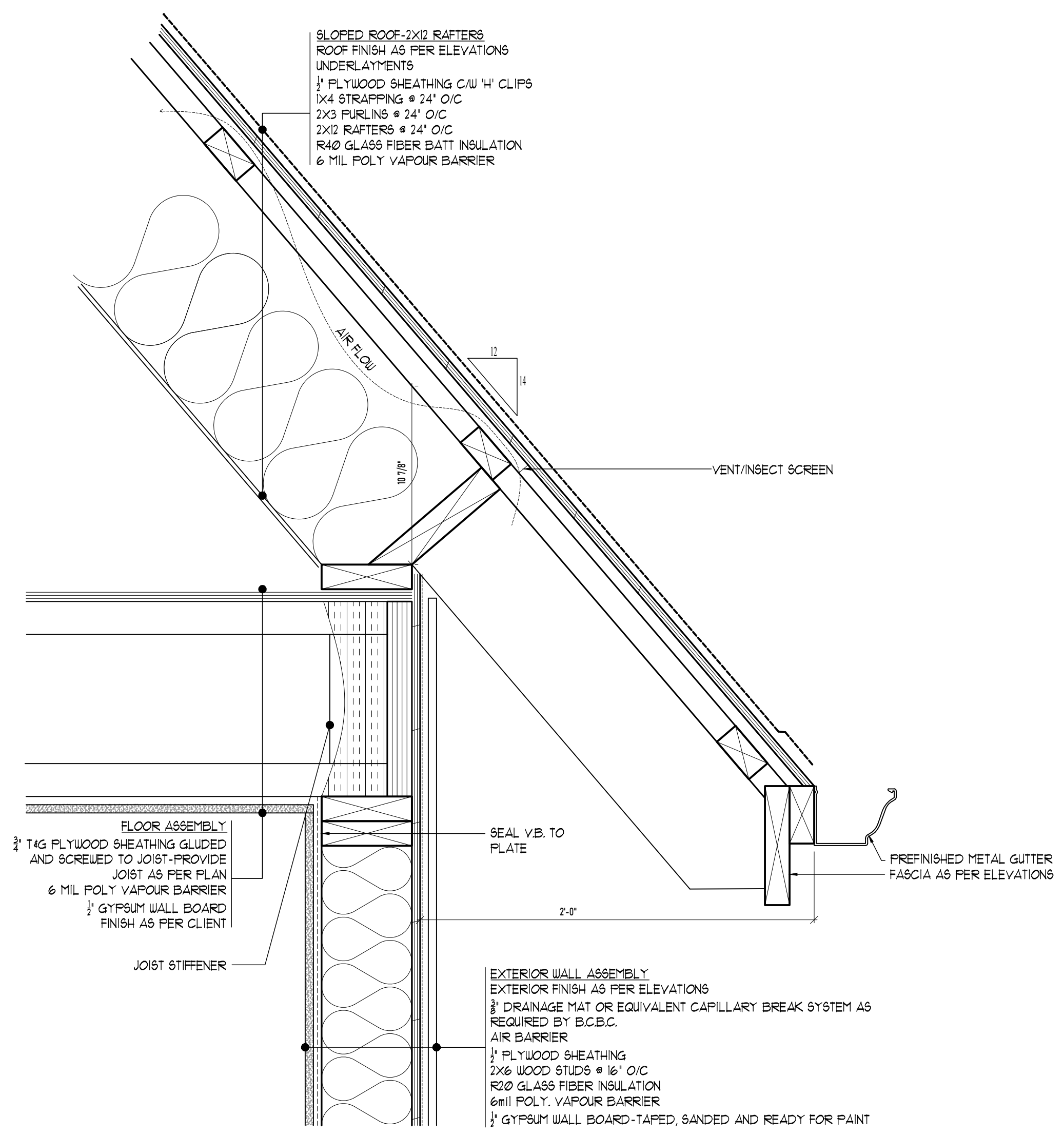
1 WINDOW DETAILS  
SCALE: 1/2"=1'-0"



2 FOUNDATION DETAIL  
SCALE: 1/2"=1'-0"



3 EAVE DETAIL  
SCALE: 1/2"=1'-0"



4 EAVE DETAIL  
SCALE: 1/2"=1'-0"

RE-ISSUED FOR BP  
OCTOBER 4, 2022



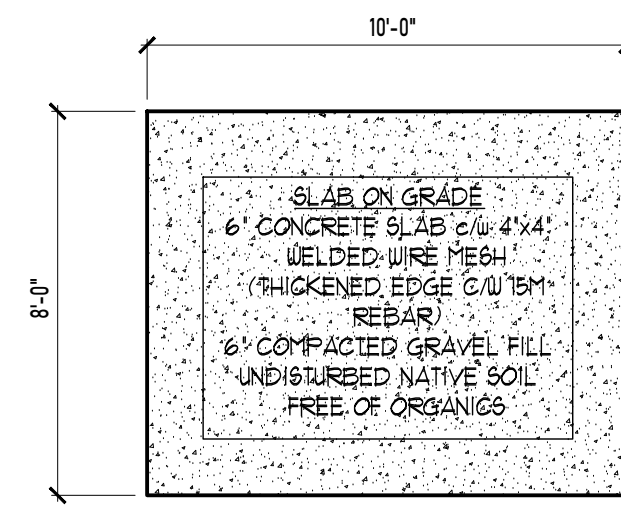
1161 NEWPORT AVE  
Victoria, B.C. V8S 5E6  
Phone: (250) 360-2144  
Fax: (250) 360-2115

Drawn By: LOUIS HORVAT  
Date: APRIL 27, 2022  
Scale: AS NOTED

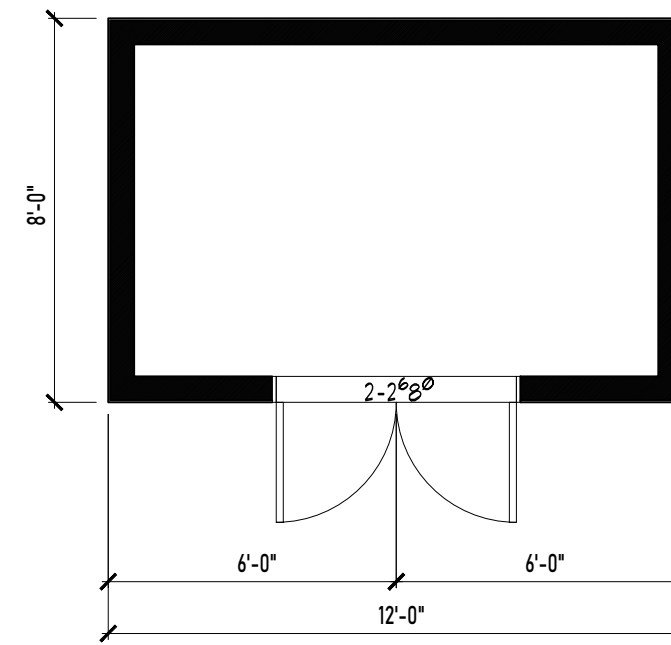
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NEW SFD @ 206  
ST. CHARLES STREET

Title:  
DETAILS

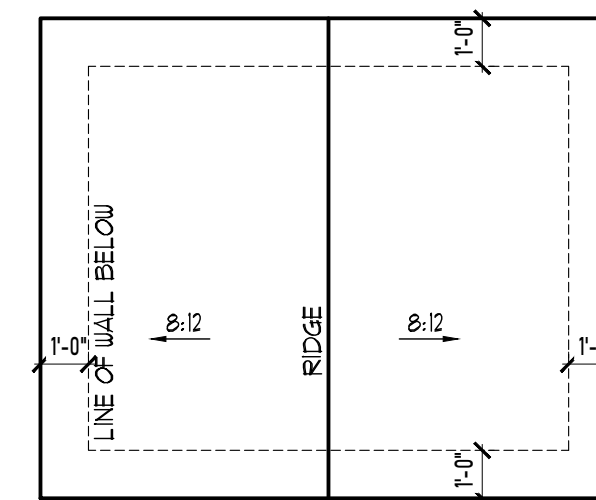
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R3 A5  
Proj.No. 2484



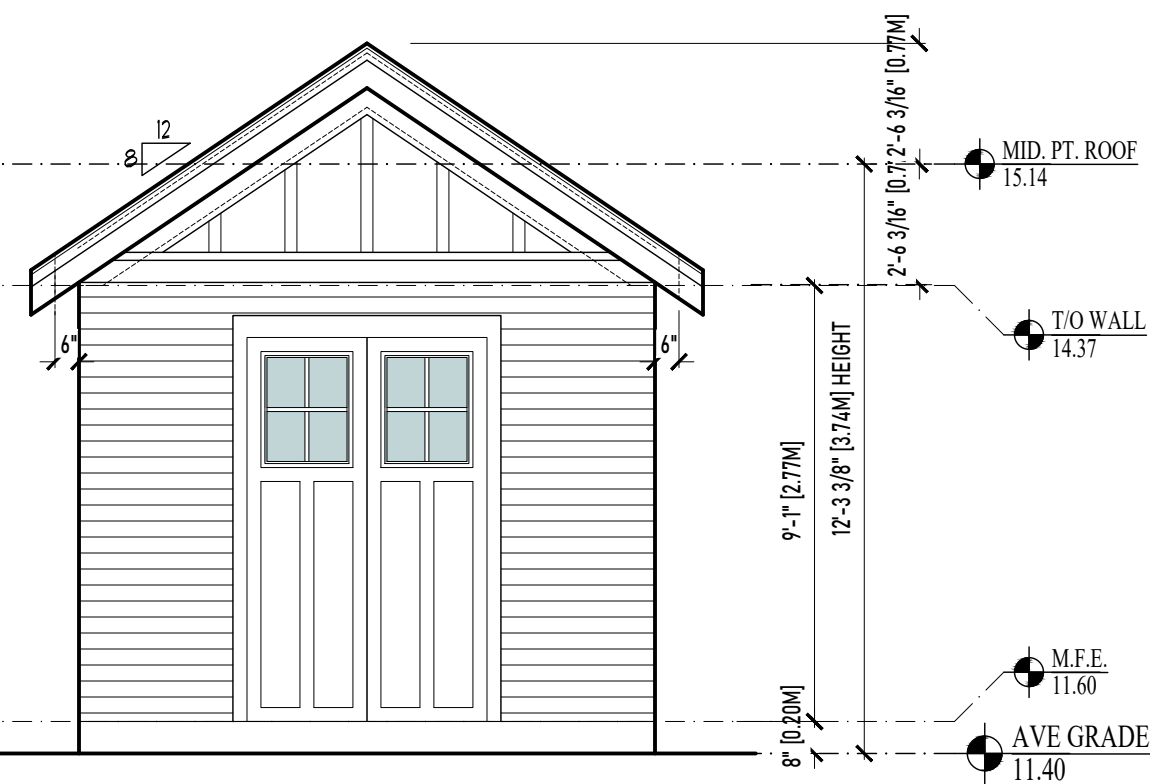
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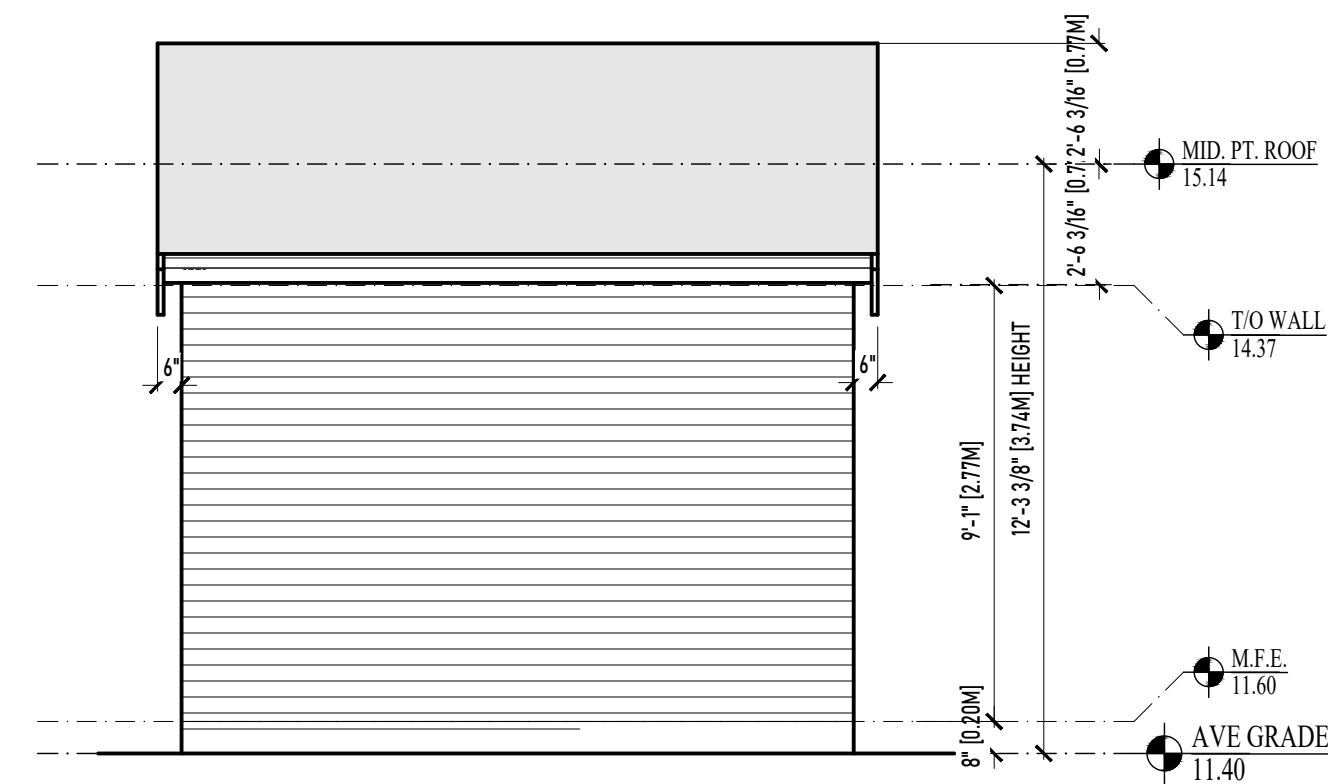
2 FLOOR PLAN  
SCALE: 1/4"=1'-0"



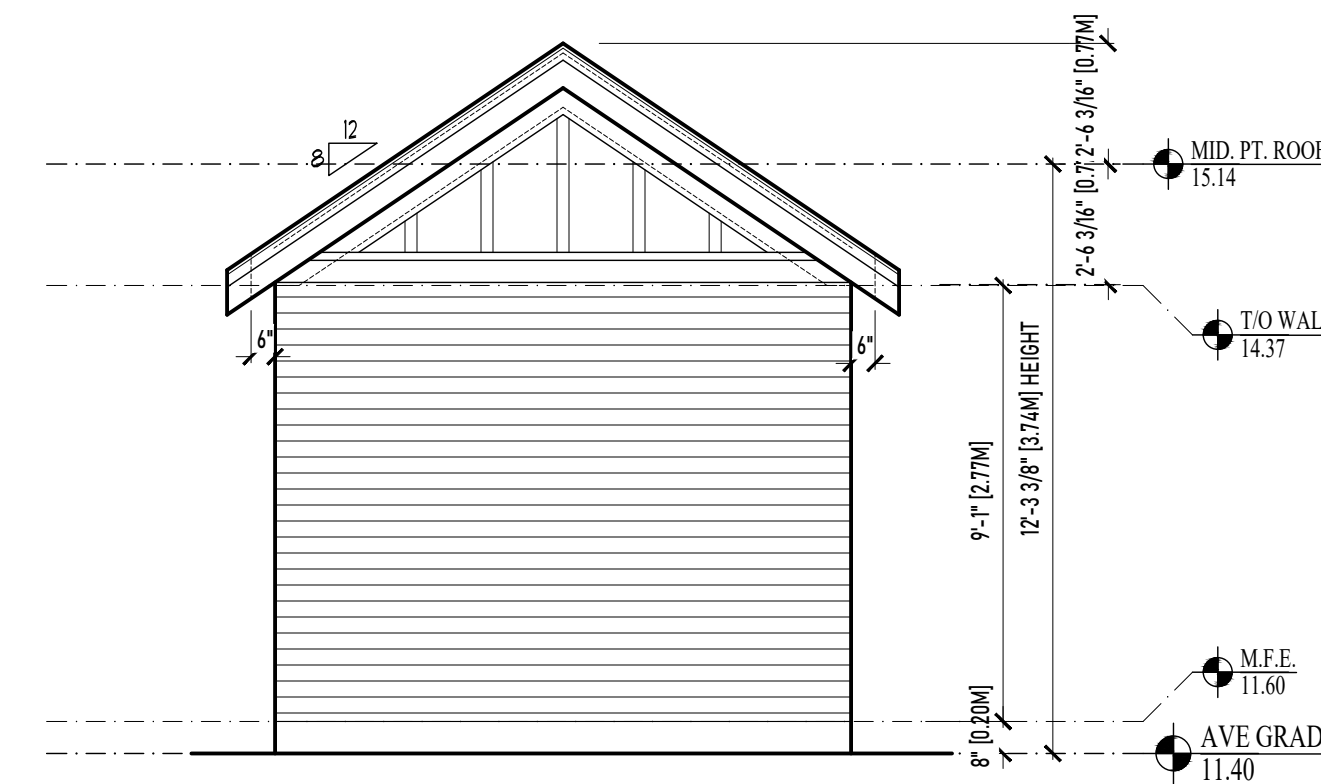
3 ROOF PLAN  
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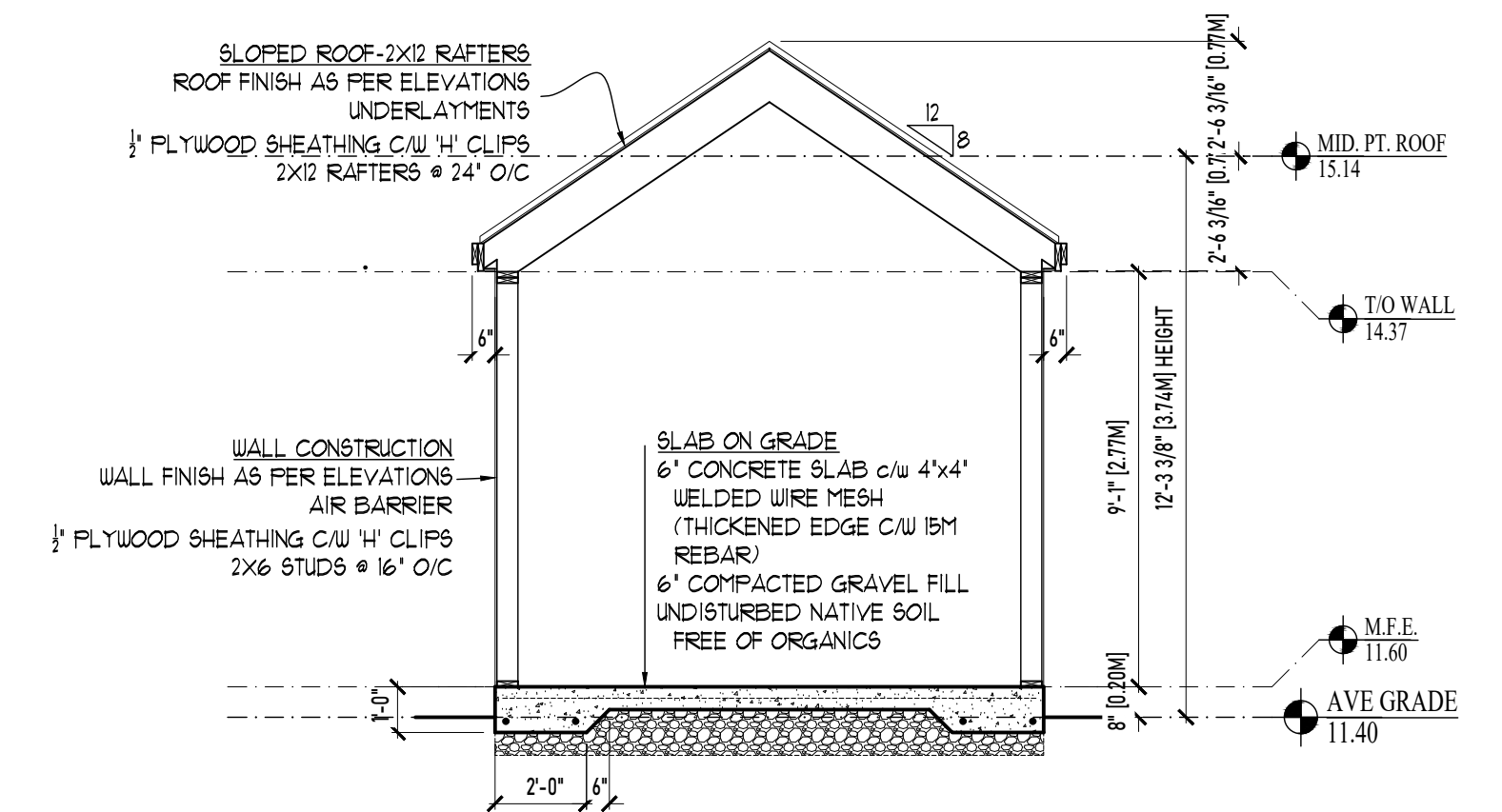
4 FRONT ELEVATION  
SCALE: 1/4"=1'-0"



5 SIDE ELEVATION  
SCALE: 1/4"=1'-0"



6 REAR ELEVATION  
SCALE: 1/4"=1'-0"



7 SECTION  
SCALE: 1/4"=1'-0"

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OCTOBER 4, 2022



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Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

Scale: AS NOTED

Project:  
NEW SFD @ 206  
ST.CHARLES STREET

Title:  
SHED PLANS,  
SECTIONS AND  
ELEVATIONS

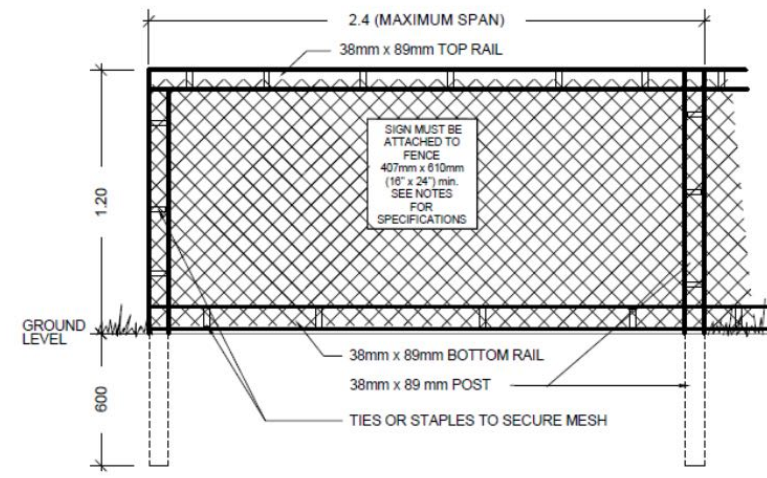
Revision: Sheet:

R3 A6  
Proj.No. 2484



TREE PROTECTION SIGN

\*Arborist to supervise installation of all works and materials to mitigate construction impacts and placement of temporary barrier fencing.



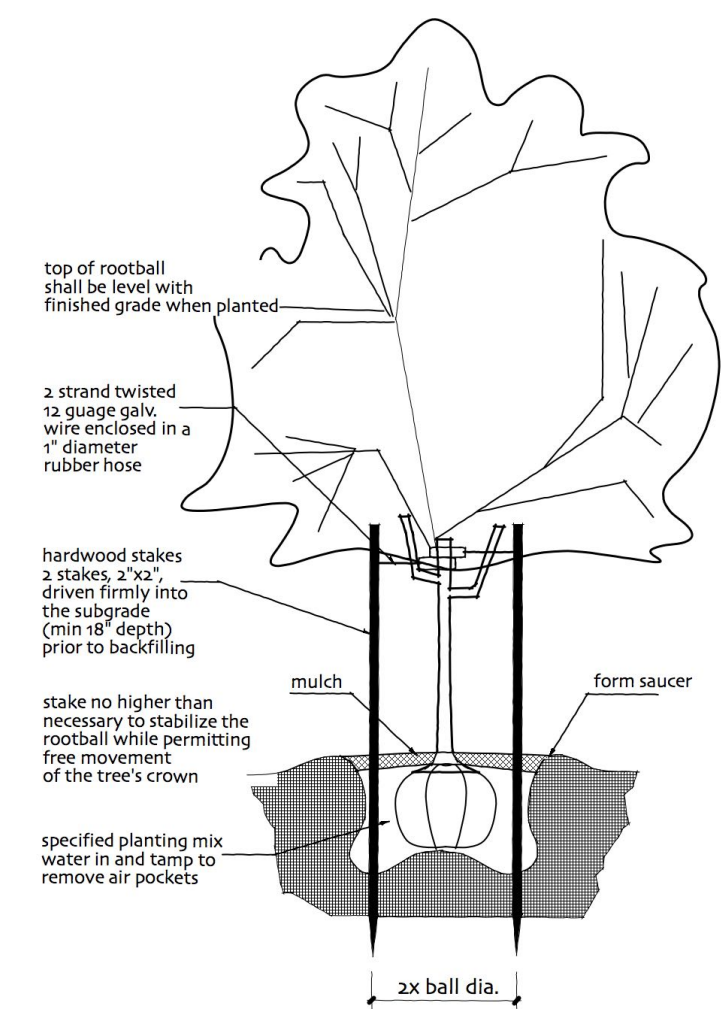
TREE PROTECTION FENCING

\*Specifications for tree protection fencing:  
 1) The fence will be constructed using 38x89mm [2"x4"] wood frame:  
 - Top, bottom and posts  
 - Use orange snow fencing mesh and secure to the wood frame with "zip" ties or galvanized staples.

2) Attach a sign with a minimum size of 407mmx 610mm [16"x24"] with the following wording:  
 A) **DO NOT ENTER** - Tree Protection Zone [for retained trees], or  
 B) **DO NOT ENTER** - Future Tree Planting Zone [for tree planting sites]

This sign must be affixed on every fence face or at least every ten (10) linear metres.

\*In rocky areas, metal posts [T-bar or Rebar] drilled into rock will be accepted.



TREE PLANTING DETAIL  
SCALE: NTS



ROCK BOULDERS & COTTAGE STYLE PLANTINGS



DROUGHT RESISTANT PERENNIALS

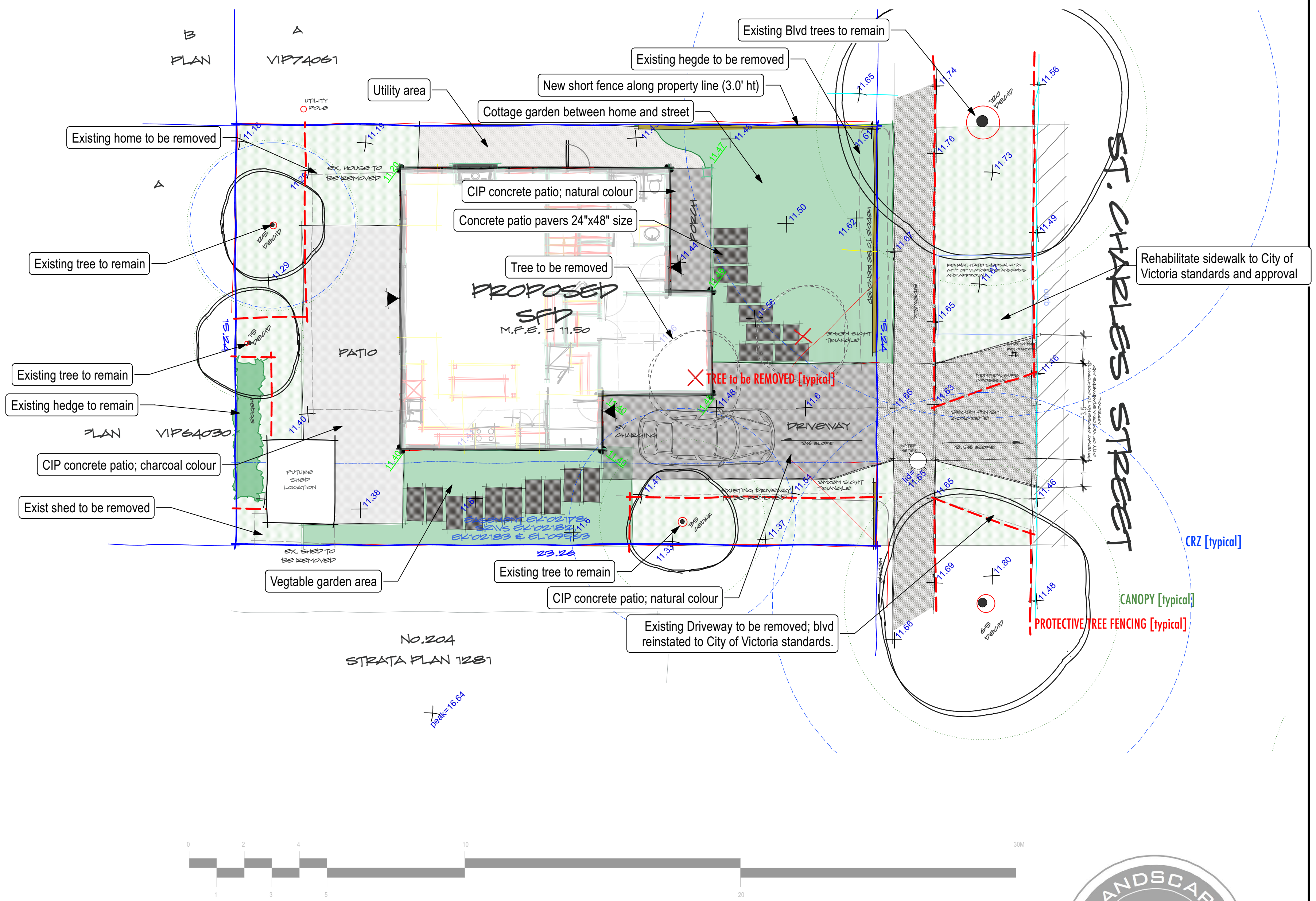


NOTES:

See architectural plans for full site plan and full extent of property.  
 Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition).  
 All growing medium to comply to BCLSA/ BCLNA standard designation "1P - Level-1 Well Groomed Areas".  
 Underground irrigation system to be installed for new garden areas. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IAABC Standards. All irrigation piping under hardsurfaces to be sleeved.  
 Existing fencing to remain. Any new fencing to meet municipal bylaw requirements.  
 All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arborist where necessary. See Arborist report for significant trees on this site. Arborist to be retained for removal of trees and for protection of existing where required. Install tree protection fencing for boulevard or protected tree(s) where necessary. Contractor to locate, identify and have crews be aware of all new and existing services on and into the property.  
 Patio area sizes are approximate and subject to change.  
 Plant recommendations are subject to change depending on owner's selections and preference.  
 Vegetable area is shown for approximate location only. Actual plant material for this area to be determined by the homeowner.

RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE /REMARKS
<b>TREES</b>		
Acer palmatum	Bloodgood Japanese Maple	2.4M ht.
Syrax japonica	Japanese Snowbell	3cm. cal. /B&B
<b>SHRUBS &amp; PERENNIALS</b>		
Alchemilla mollis	Lady's Mantle	#1 Pot
Buxus Microphylla	Winter Gem	#5 Pot
Ceanothus	California Lilac	1.5M. Ht.
Euonymus Alatus	Compacta	#5 Pot
Hamamelis Int.	Jellena	1.5M. Ht.
Hakonechloa macra aureola	Hokone Grass	#1 Pot
Helleborus argutifolius	Corsican Hellebore	#1 Pot
Hosta Hadspen Blue	Hadspen Blue Hosta	#1 Pot
Lavandula Munstead	English Lavender	#1 Pot
Liriope Muscari	Big Blue Lily Turf	#1 Pot
Polystichum munitum	Western Sword Fern	#3 Pot
Ribes Sang. King Edward	Ornamental Currant	#5 Pot
Rosemary Officinalis	Rosemary	#3 Pot
Rudbeckia Fulgida	Orange Coneflower	#1 Pot
Spiraea japonica	Goldflame Spirea	#3 Pot
<b>VINES &amp; GROUND COVER</b>		
Arctostaphylos uva ursi	Kinnickinnick	SP3
Thymus pseudolanuginosus	Wooly Thyme	SP3
Parthenocissus Tricus. Veitchii	Boston Ivy	#2 Pot / Staked
<b>FRUIT TREES &amp; VEGETABLES</b>		
- Multiple types and kinds of Veggies for the vegetable garden area		



SKL.01  
 19.NOV.2022  
 1:100  
 LATEST REVISION: 30.NOV.22

206 ST. CHARLES STREET  
 LANDSCAPE LAYOUT

