

ACCESSORY

GRADE CALCULATIONS

(36.69+36.38) + 2 X 19 = 694.165
 (36.38+36.38) + 2 X 2 = 72.76
 (36.38+36.2) + 2 X 11 = 399.19
 (36.2+36.69) + 2 X 30 = 1093.35
 (36.69+37.74) + 2 X 30 = 1116.45
 (37.74+36.69) + 2 X 32 = 1190.88

4566.795 + 124 = 36.828
 AVG. GRADE = 36.828

EXISTING MAIN

LOWEST GRADE CALCULATIONS

(38.15+40) + 2 X 7.75 = 306.70
 (40+40) + 2 X 1.33 = 83.2
 (40+40.5) + 2 X 11.25 = 452.81
 (40.5+40.5) + 2 X 1 = 40.5
 (40.5+40.75) + 2 X 6.75 = 274.21
 (40.75+40.75) + 2 X 5.5 = 224.125
 (40.75+41.8) + 2 X 33.5 = 1382.713
 (41.8+41.8) + 2 X 6.83 = 285.494
 (41.8+41.5) + 2 X 9 = 374.85
 (41.5+41.5) + 2 X 5.5 = 228.25
 (41.5+42.2) + 2 X 20 = 837
 (42.2+42.15) + 2 X 16.66 = 702.63
 (42.15+41.7) + 2 X 14 = 586.95
 (41.7+41.75) + 2 X 10.66 = 444.788
 (41.75+41.75) + 2 X 5.75 = 240.06
 (41.75+40.7) + 2 X 13.75 = 566.84
 (40.7+40.55) + 2 X 8 = 325
 (40.55+40.55) + 2 X 6.5 = 263.575
 (40.55+39.75) + 2 X 6.5 = 260.975
 (39.75+39.75) + 2 X 1.33 = 52.86
 (39.75+39.55) + 2 X 13.5 = 535.275
 (39.55+39.55) + 2 X 1.33 = 52.60
 (39.55+38.15) + 2 X 22.5 = 874.125
 (38.15+39.15) + 2 X 54.66 = 2112.609

11478.14 + 283.55 = 40.48
 AVG. GRADE = 40.48

Proposed Lot 1

Lot 1

SITE DATA	PROPOSED ACCESSORY BUILDING
OWNER	KIM COLPMAN
ADDRESS	1737 ROCKLAND AVENUE
ZONE	R1-A ZONING
LEGAL DESCRIPTION	
LOT	1
PLAN	2437
SECTION	74
DISTRICT	VICTORIA
SITE AREA	9913.5 SQ.FT. (921 SQ.M.)
SITE COVERAGE	
EXISTING	2752.699 SQ.FT. (255.73 SQ.M.) 27.76%
PROPOSED	938 SQ.FT. (87.14 SQ.M.) 9.48%
TOTAL	3690.699 SQ.FT. (342.87 SQ.M.) 37.2%
REAR LOT COVERAGE	938 SQ.FT. (87.14 SQ.M.) 22.67%
LOT WIDTH	83'-1 1/8" 25.32 M

ACCESSORY

TOTAL FLOOR AREA	826.531 SQ.FT. (76.78 SQ.M.)
SETBACKS	
SIDE	12.10 M
SIDE	1.5 M
REAR	1.2 M
TO EXISTING BUILDING	5.82 M
BUILDING HEIGHT	10'-9 1/2" 3.289 M

EXISTING MAIN

TOTAL FLOOR AREA	4454.109 SQ.FT. (413.8 SQ.M.)
SETBACKS	
FRONT	0 M
REAR	16.16 M
SIDE	4.55 M
SIDE	1.35 M
BUILDING HEIGHT	28'-2 1/4" 8.59 M

Proposed Lot 2 (STRATA LOTS A & B COMBINED)

Lot 2 (PANHANDLE)

SITE DATA	PROPOSED
OWNER	KIM COLPMAN
ADDRESS	1737 ROCKLAND AVENUE
ZONE	R1-A ZONING (PANHANDLE)
LEGAL DESCRIPTION	
LOT	LOT 2
PLAN	2437
SECTION	74
DISTRICT	VICTORIA
SITE AREA	13863.92 SQ.FT. (1288 SQ.M.)
SITE COVERAGE	4671.625 SQ.FT. (434.0 SQ.M.) 33.69%
TOTAL FLOOR AREA	5957.265 SQ.FT. (553.448 SQ.M.)
SETBACKS	
WEST (FRONT)	2.27 M
EAST (REAR)	5.0 M
NORTH (SIDE)	1.5 M
SOUTH (SIDE)	3.66 M
LOT WIDTH	91'-5 1/2" 27.87 M

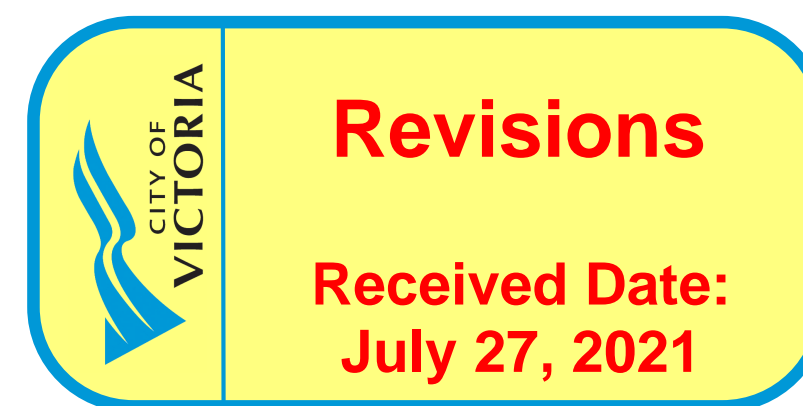
Comments: ZONING PLAN CHECK:

- The parking stall on lot 1 does not have adequate clearance behind it. Move the stall over so that the full 7.0m is behind the stall.
- Ensure that the lower of the existing or proposed grade is used at each point for the accessory building average grade calculations. At some points the existing grade are lower than the proposed grade used. Ensure the height is updated. (ALSO SEE SHEET 4)

Land Development Review:

Conditions to be met prior to Committee of the Whole:

- change the arrow with the wording to be to the left to denote the red line.
- correctly show the road dedication area to match Sheet 4 of 5 and C1.



LOWEST GRADE CALCULATIONS

(34.45+34.5) + 2 X 20.5 = 706.73
 (34.5+34.5) + 2 X 1.5 = 51.75
 (34.5+35.1) + 2 X 49.5 = 1722.6
 (35.1+35.1) + 2 X 32.5 = 1140.75
 (35.1+34.8) + 2 X 12 = 419.4
 (34.8+34.8) + 2 X 2.5 = 87
 (34.8+34.5) + 2 X 5.5 = 190.575
 (34.5+34.5) + 2 X 3.5 = 120.75
 (34.5+34.5) + 2 X 11 = 379.5
 (34.5+34.5) + 2 X 3.5 = 120.75
 (34.5+34.5) + 2 X 14.5 = 500.25
 (34.5+34.5) + 2 X 4 = 138
 (34.5+34.5) + 2 X 6.5 = 224.25
 (34.5+34.5) + 2 X 9 = 103.5
 (34.5+34.5) + 2 X 20.5 = 707.25
 (34.5+34.5) + 2 X 26.5 = 913.58

7526.635 + 217 = 34.68
 AVG. GRADE = 34.68

LOWEST GRADE CALCULATIONS

(32.6+32.6) + 2 X 9 = 97.8
 (32.6+32.6) + 2 X 0.83 = 27.058
 (32.6+33.4) + 2 X 27.5 = 907.5
 (33.4+33.15) + 2 X 18.5 = 615.58
 (33.15+33.15) + 2 X 3 = 99.45
 (33.15+33.15) + 2 X 9 = 298.35
 (33.15+33.6) + 2 X 4.75 = 158.53
 (33.6+33.6) + 2 X 11 = 369.6
 (33.6+33.15) + 2 X 4.75 = 158.53
 (33.15+33.2) + 2 X 11 = 364.925
 (33.2+34.4) + 2 X 14.75 = 498.55
 (34.4+34.35) + 2 X 21 = 721.875
 (34.35+32.7) + 2 X 42.25 = 1416.431
 (32.7+32.6) + 2 X 31.95 = 1043.168
 (32.6+32.6) + 2 X 3 = 97.8
 (32.6+32.6) + 2 X 30.25 = 986.15
 (32.6+32.6) + 2 X 3 = 97.8
 (32.6+32.6) + 2 X 9.125 = 297.475

8256.572 + 248.655 = 33.20
 AVG. GRADE = 33.20

Proposed Lot 2 Strata A & B

Building A

SITE DATA	PROPOSED
OWNER	KIM COLPMAN
ADDRESS	1737 ROCKLAND AVENUE
ZONE	R1-A ZONING (PANHANDLE)
LEGAL DESCRIPTION	
LOT	STRATA LOT A
PLAN	2437
SECTION	74
DISTRICT	VICTORIA
SITE AREA	6759.736 SQ.FT. (628 SQ.M.)
SITE COVERAGE	2284.25 SQ.FT. (212.21 SQ.M.) 33.79%
TOTAL FLOOR AREA	2761.292 SQ.FT. (256.53 SQ.M.)
SETBACKS	
NORTH	3.85 M
SOUTH	7.5 M
EAST	3.0 M
WEST	2.27 M
BUILDING HEIGHT	22'-6 5/8" 6.87 M
LOT WIDTH	75'-6 1/2" 23.02 M

Building B

SITE DATA	PROPOSED
OWNER	KIM COLPMAN
ADDRESS	1737 ROCKLAND AVENUE
ZONE	R1-A ZONING (PANHANDLE)
LEGAL DESCRIPTION	
LOT	STRATA LOT B
PLAN	2437
SECTION	74
DISTRICT	VICTORIA
SITE AREA	7104.181 SQ.FT. (660 SQ.M.)
SITE COVERAGE	2387.375 SQ.FT. (221.79 SQ.M.) 33.6%
TOTAL FLOOR AREA	3195.973 SQ.FT. (296.91 SQ.M.)
SETBACKS	
WEST	8.84 M
EAST	5.0 M
SOUTH	3.66 M
NORTH	1.5 M
BUILDING HEIGHT	18'-0 1/2" 5.49 M
LOT WIDTH	88'-11 1/8" 27.10 M



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 CHK BY KMAR
 PLAN # 1452
 REVISED JULY 2021

PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
SITE PLAN

SHEET
 OF 12

1



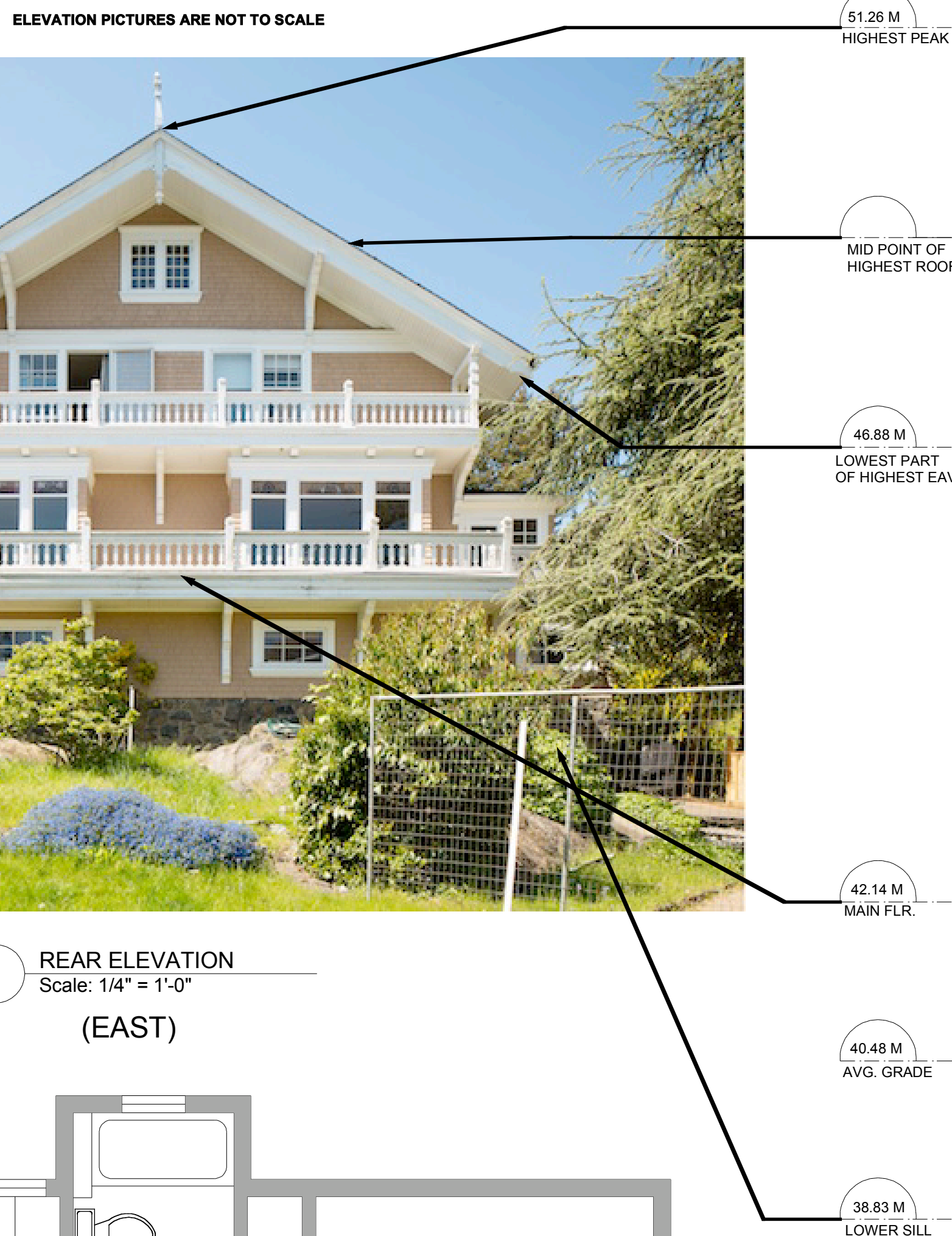
FRONT ELEVATION
Scale: 1/4" = 1'-0"
(WEST)



REAR ELEVATION
Scale: 1/4" = 1'-0"
(EAST)



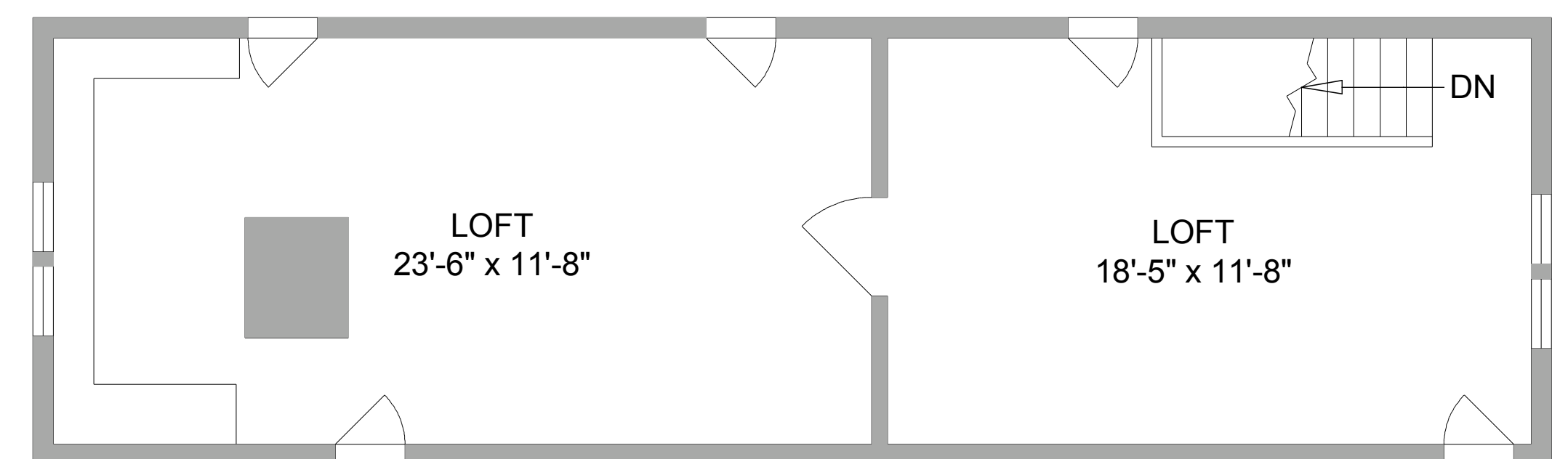
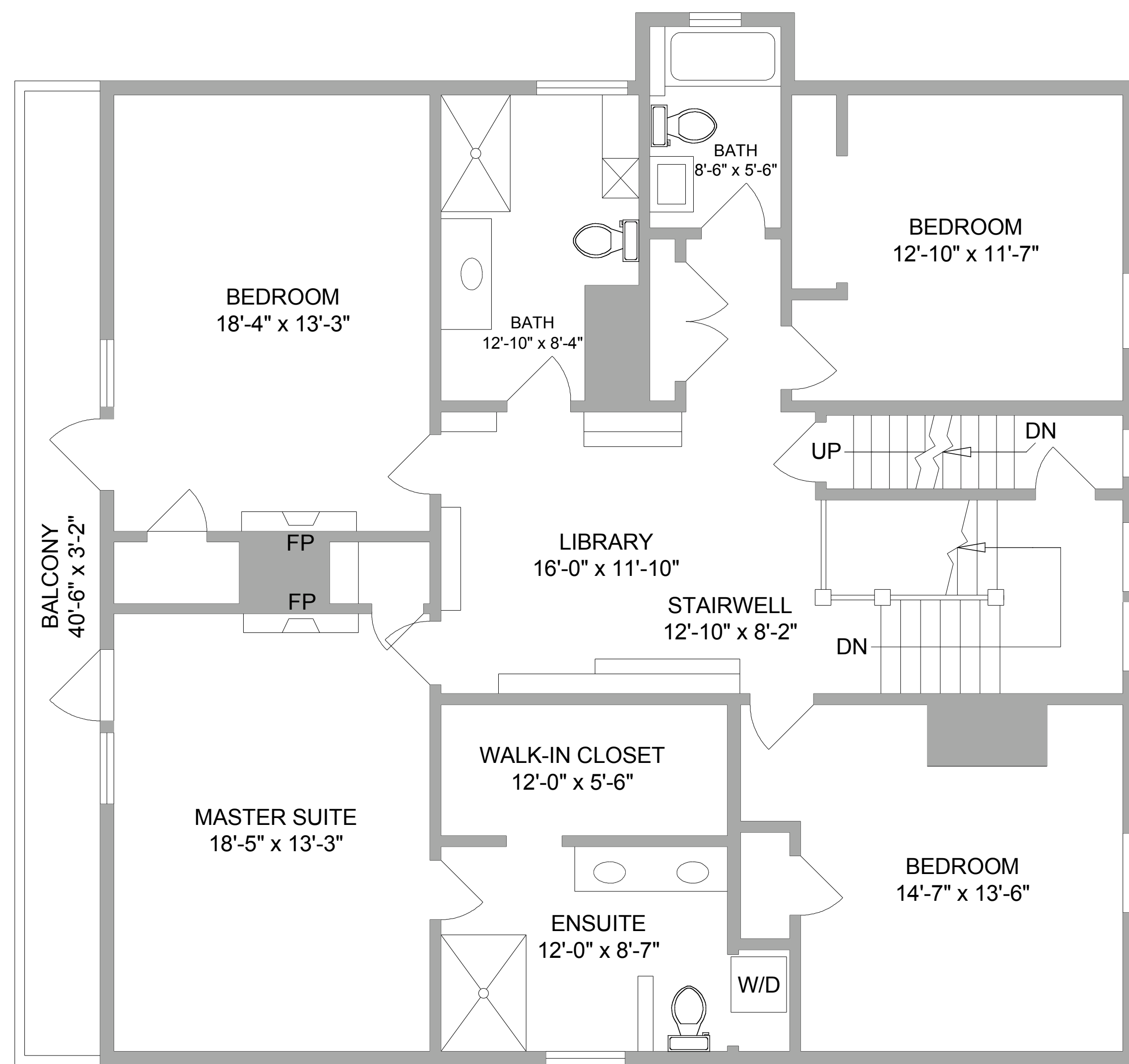
LEFT ELEVATION
Scale: 1/4" = 1'-0"
(NORTH)



LOT 1 EXISTING MAIN RESIDENCE



SOUTH / EAST ELEVATION
Scale: 1/4" = 1'-0"



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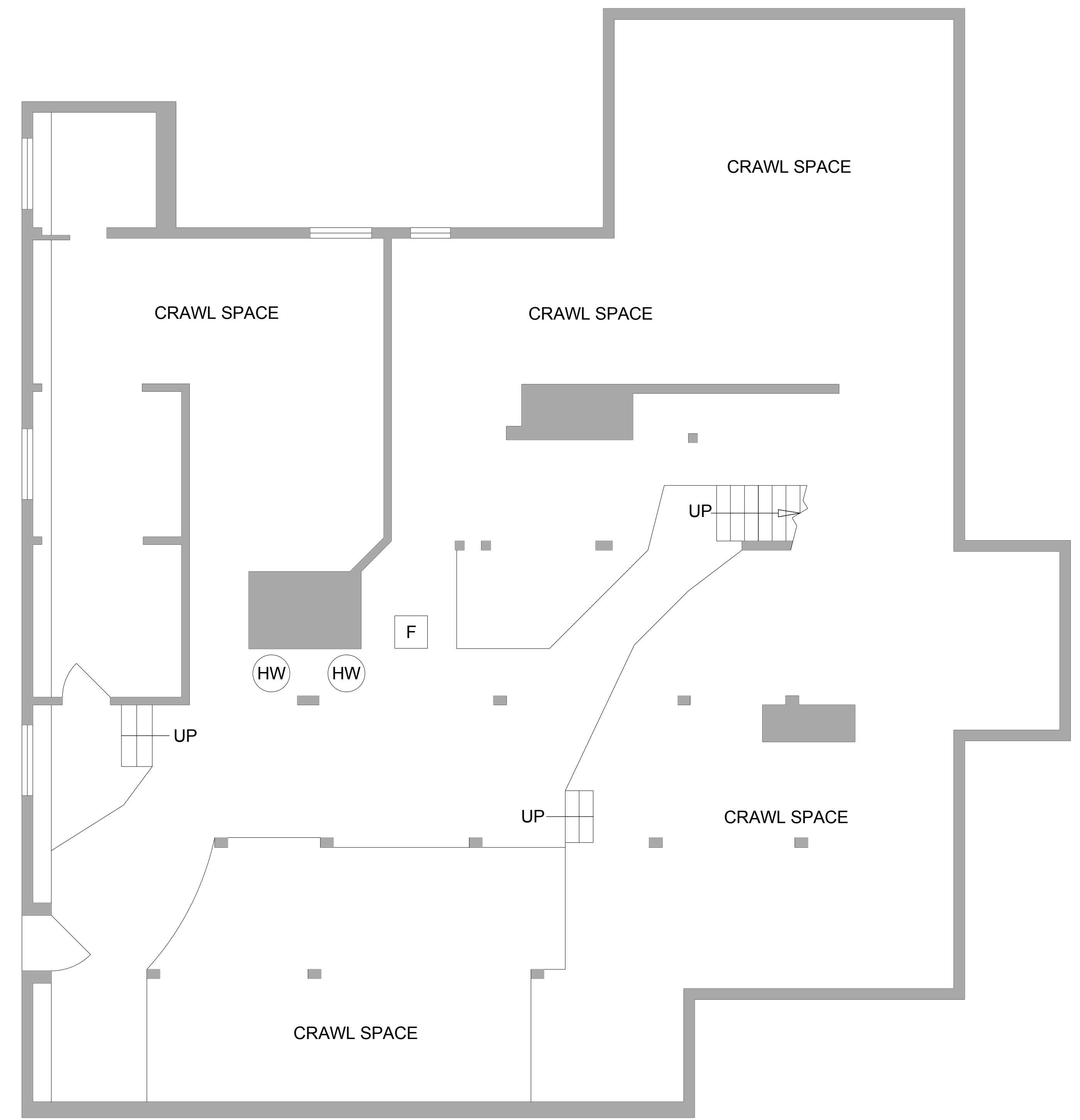
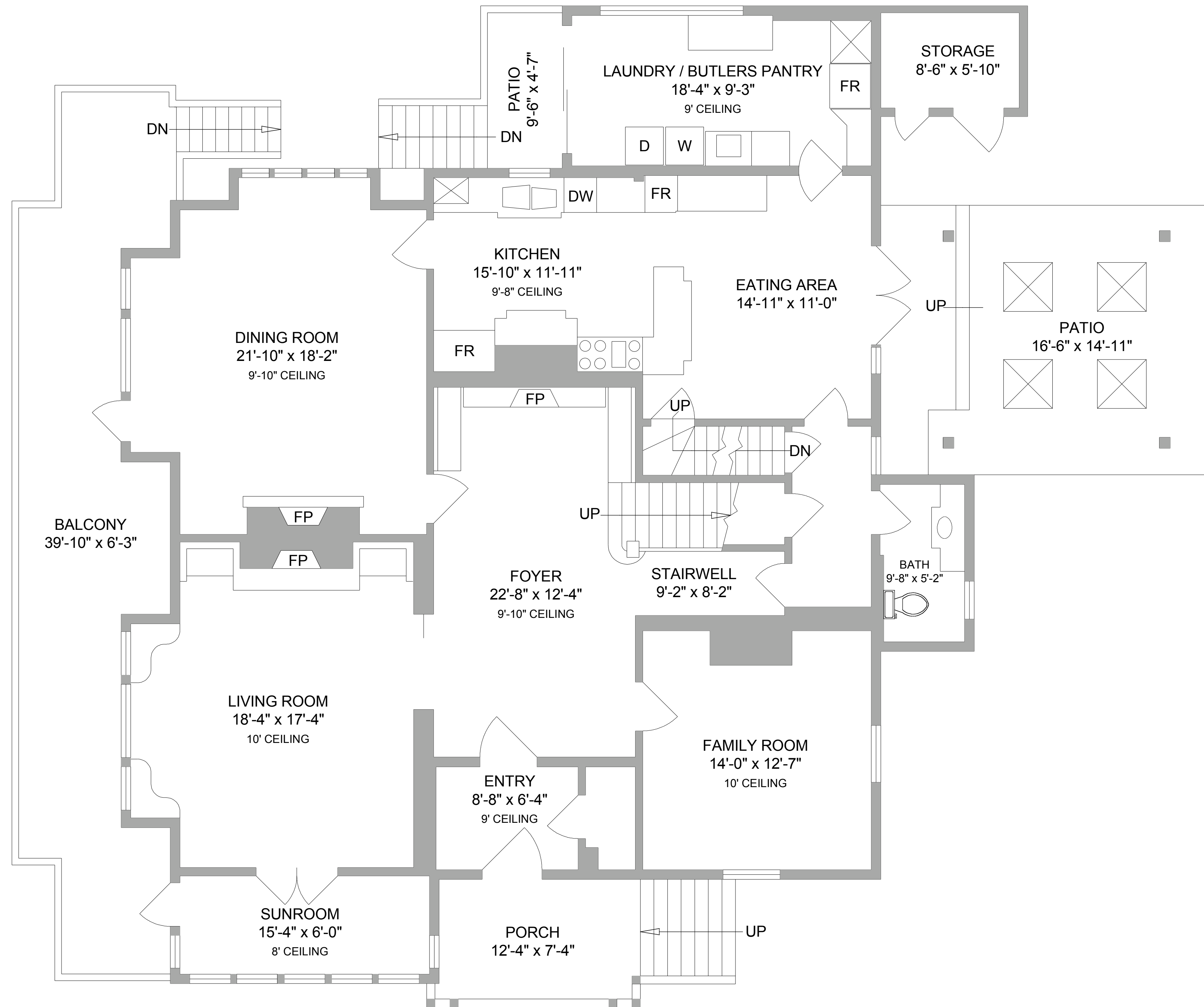
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**PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
LOT 1 ELEVATIONS, UPPER FLR, LOFT**

SHEET

OF 12
2



○ BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

○ MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

2242.768 SQ.FT.
208.36 SQ.M.

LOT 1 EXISTING MAIN RESIDENCE

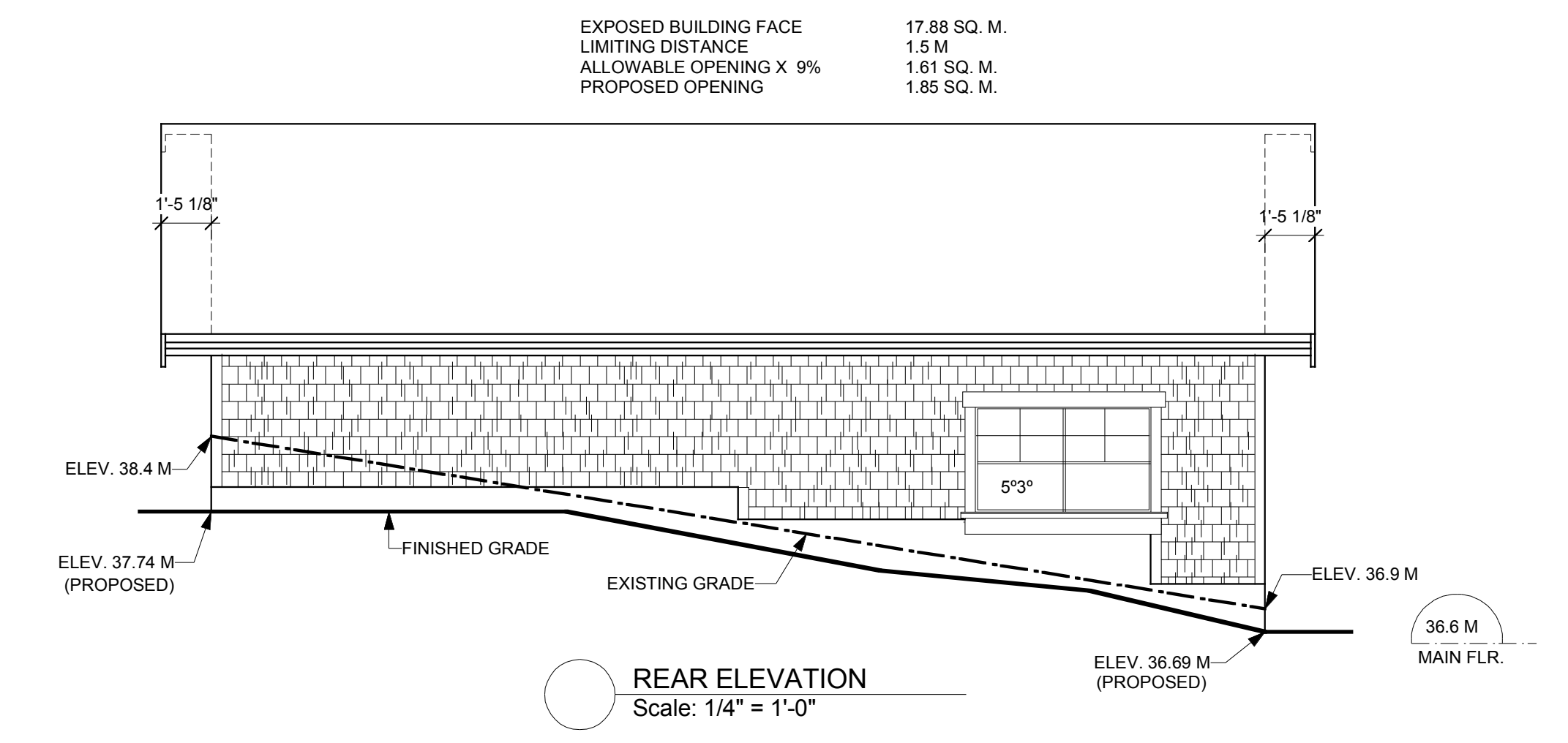
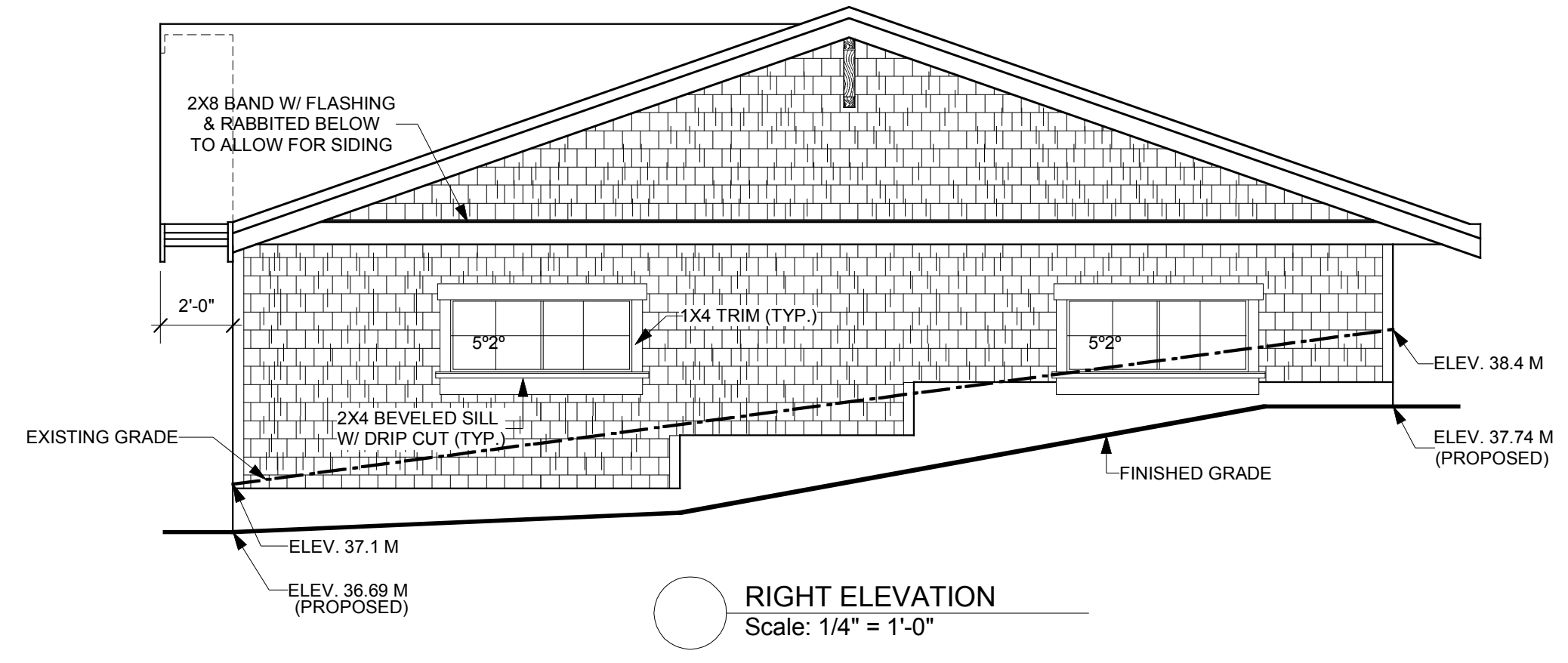
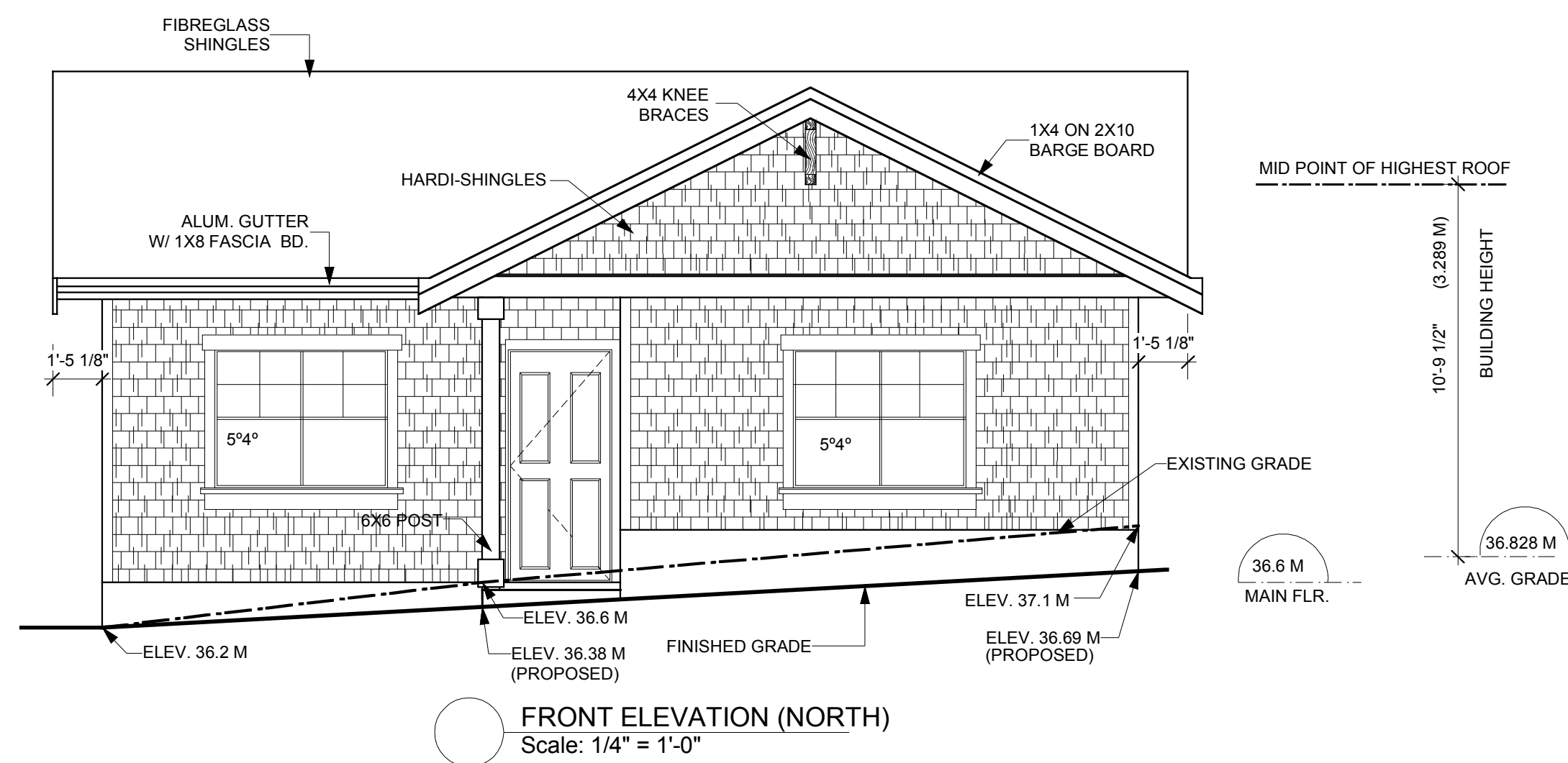


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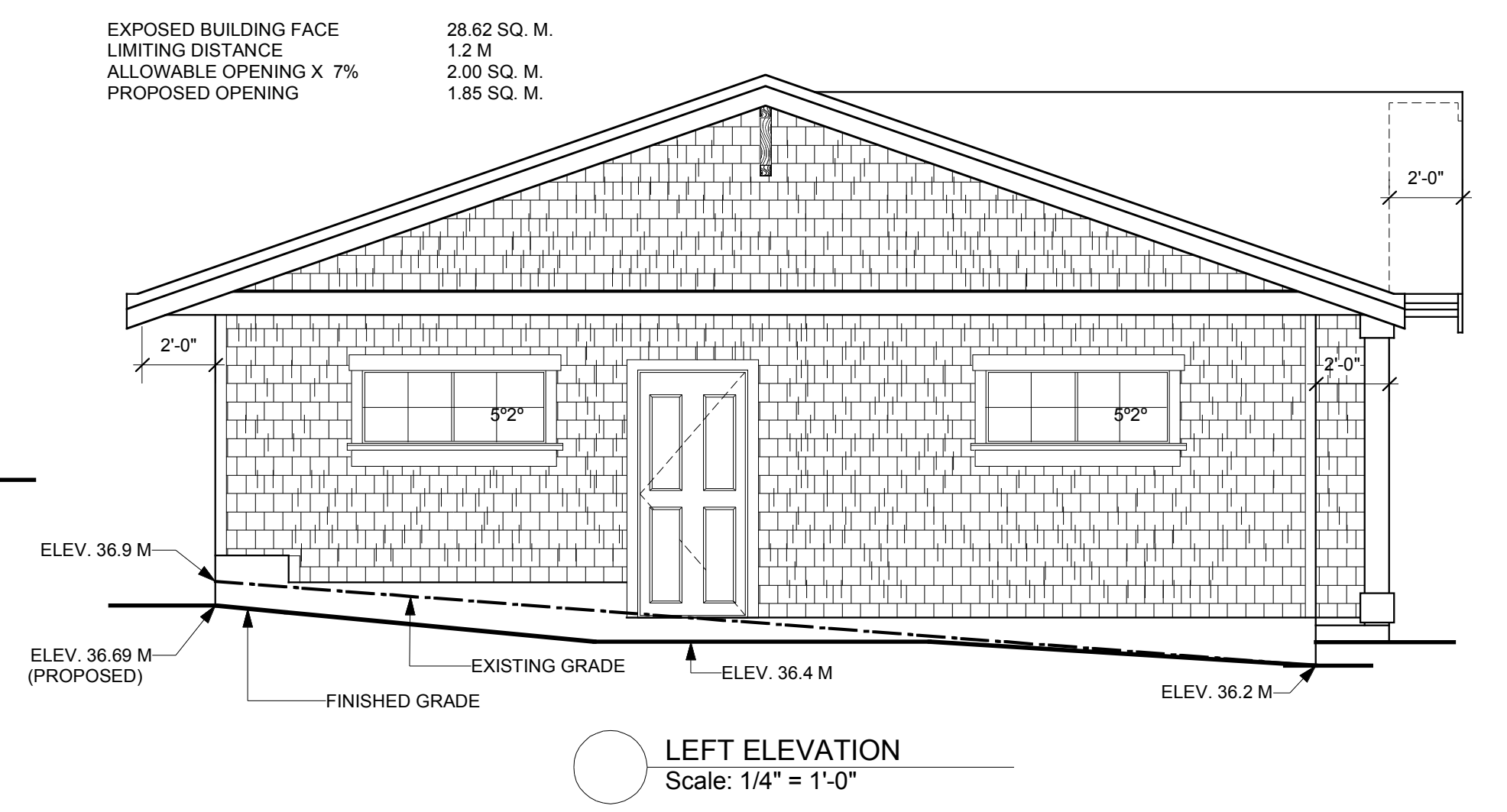
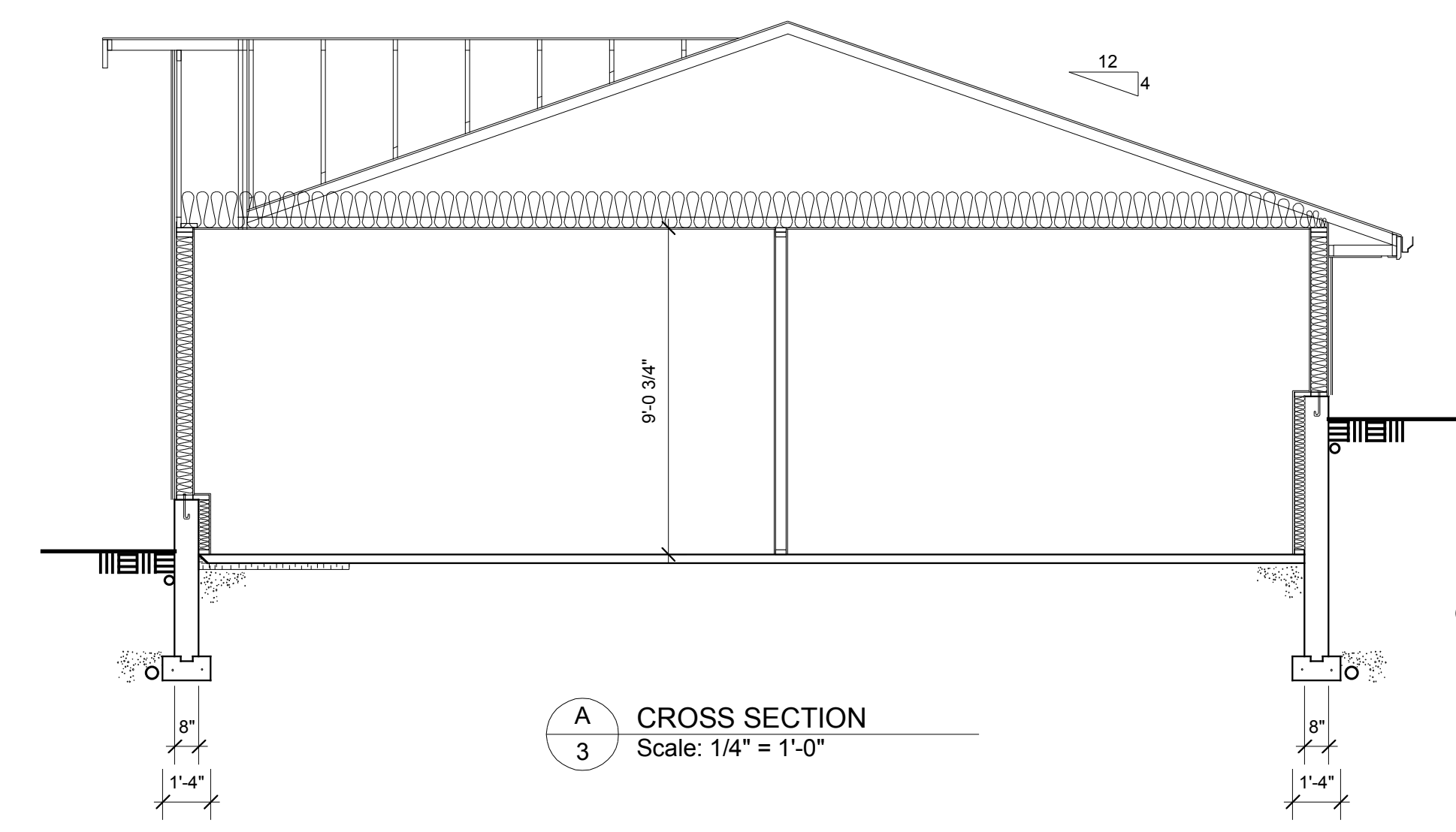
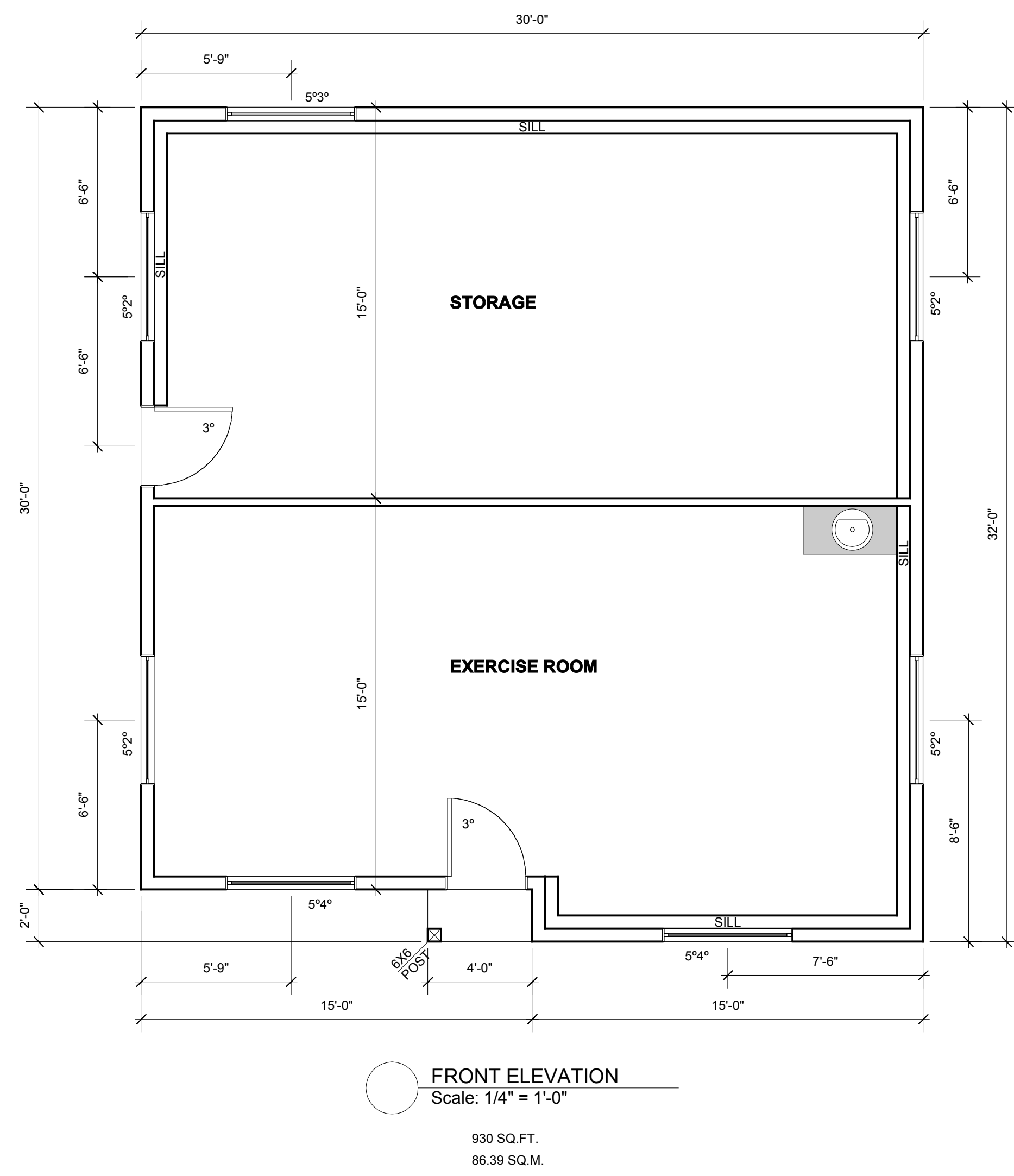
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**PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
LOT 1 BASEMENT FLR, MAIN FLR**

SHEET
OF 12
3

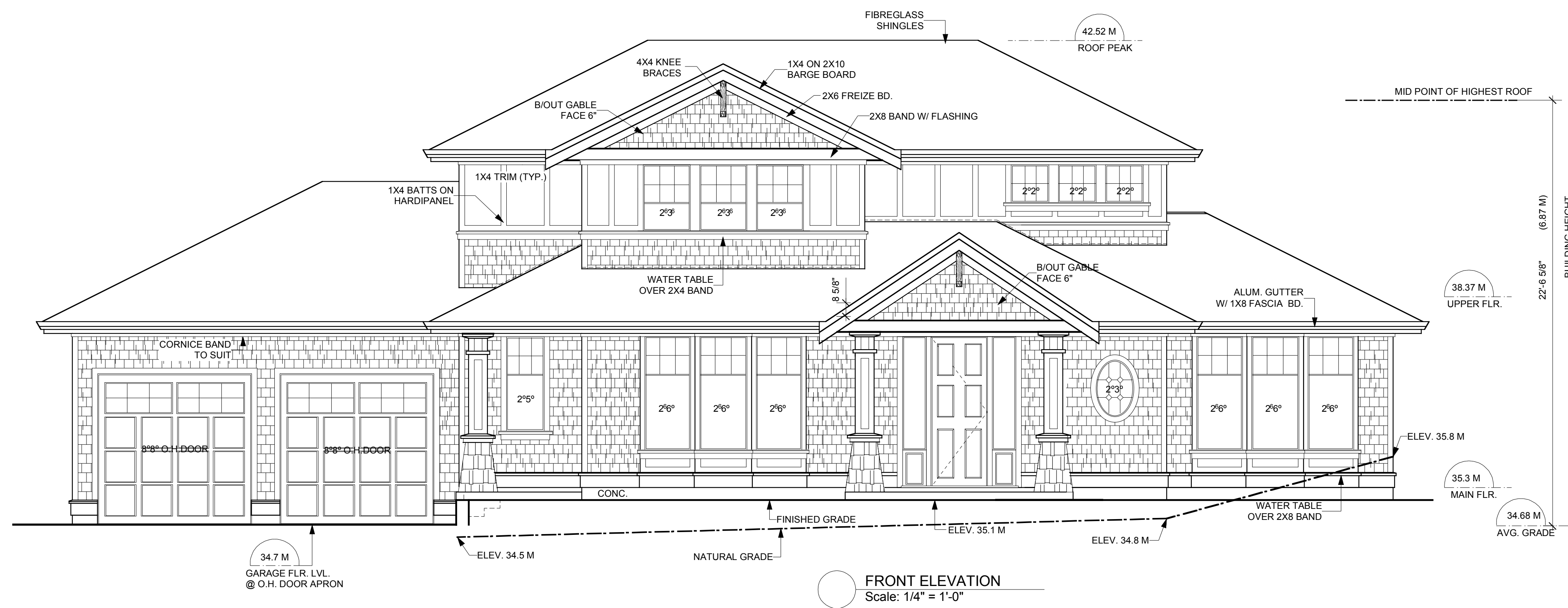


LOT 1 PROPOSED ACCESSORY BUILDING

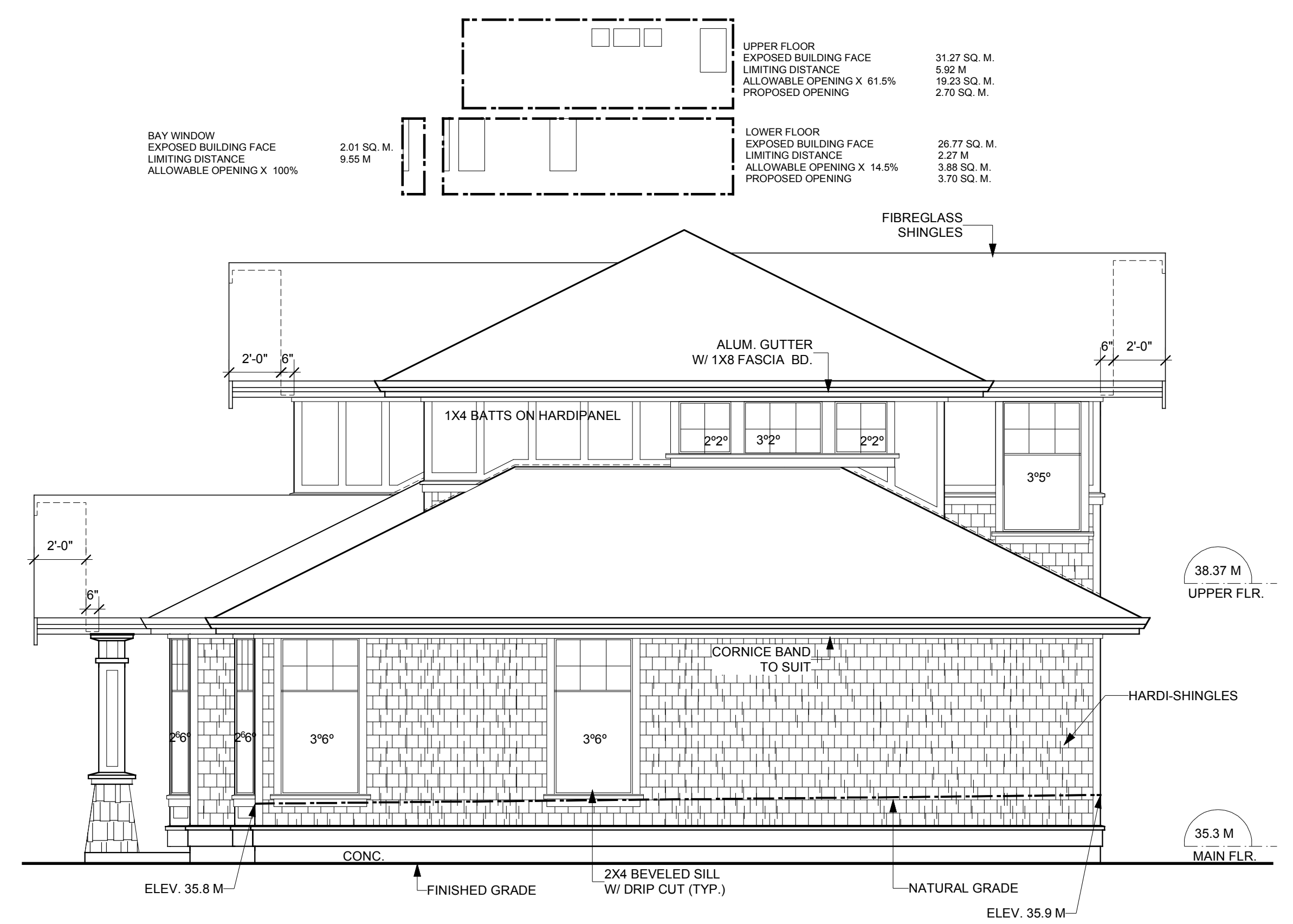


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**PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
LOT 1 ACCESSORY BUILDING**



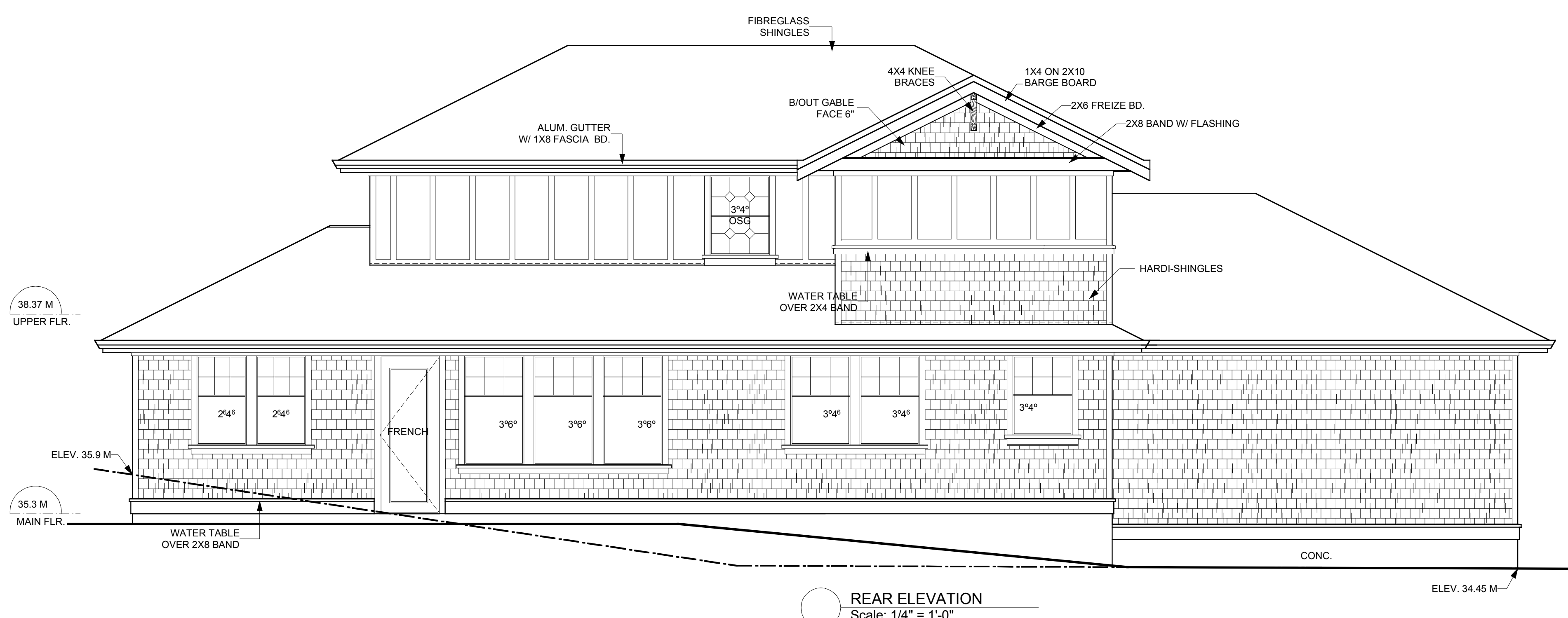
FRONT ELEVATION
Scale: 1/4" = 1'-0"



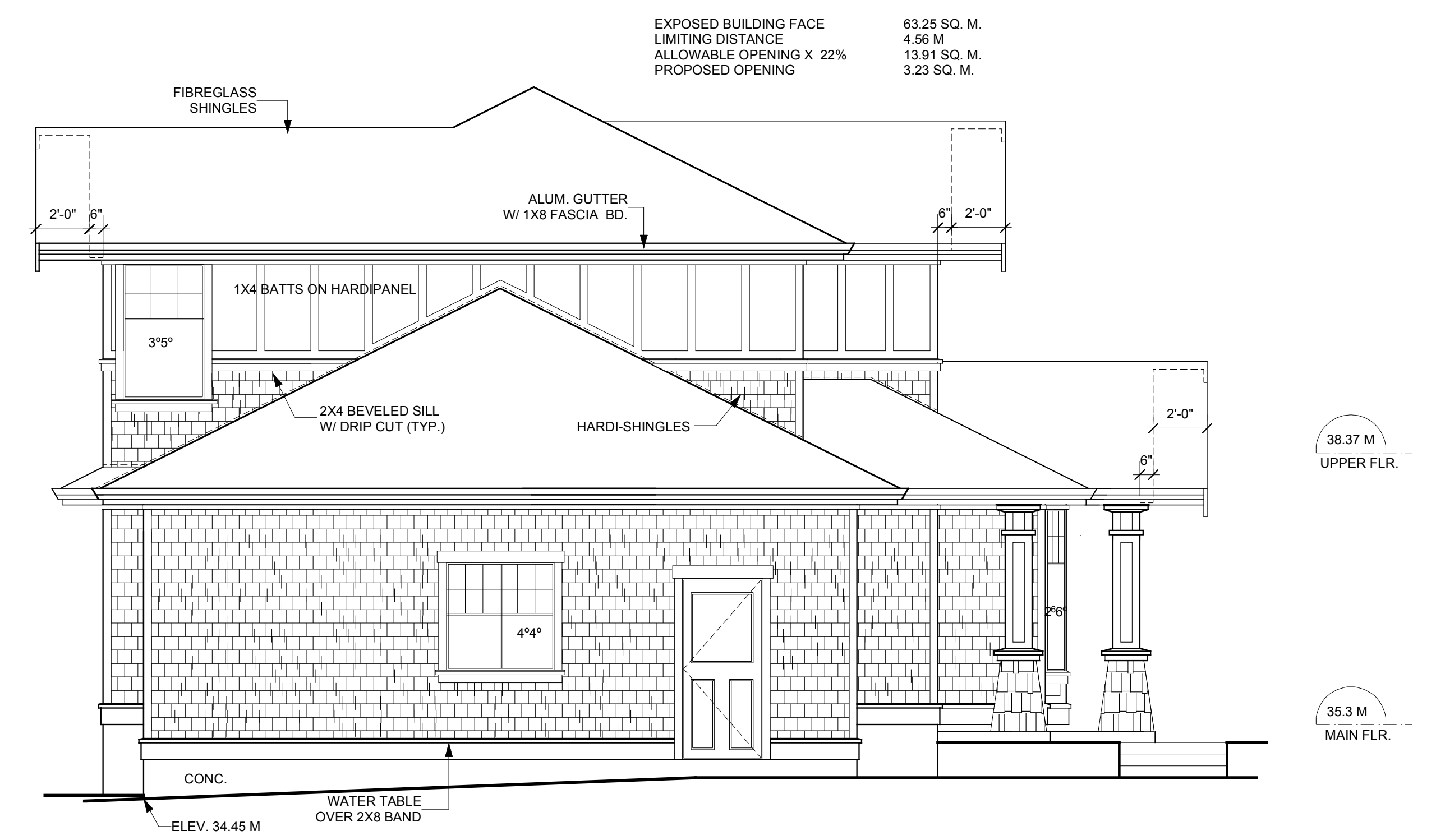
RIGHT ELEVATION
Scale: 1/4" = 1'-0"

BAY WINDOW EXPOSED BUILDING FACE LIMITING DISTANCE ALLOWABLE OPENING X 100%	2.01 SQ. M. 9.55 M
UPPER FLOOR EXPOSED BUILDING FACE LIMITING DISTANCE ALLOWABLE OPENING X 61.5% PROPOSED OPENING	31.27 SQ. M. 5.92 M 19.23 SQ. M. 2.70 SQ. M.
LOWER FLOOR EXPOSED BUILDING FACE LIMITING DISTANCE ALLOWABLE OPENING X 14.5% PROPOSED OPENING	26.77 SQ. M. 2.27 M 3.88 SQ. M. 3.70 SQ. M.

STRATA LOT A



REAR ELEVATION
Scale: 1/4" = 1'-0"



LEFT ELEVATION
Scale: 1/4" = 1'-0"

EXPOSED BUILDING FACE LIMITING DISTANCE ALLOWABLE OPENING X 22% PROPOSED OPENING	63.25 SQ. M. 4.56 M 13.91 SQ. M. 3.23 SQ. M.
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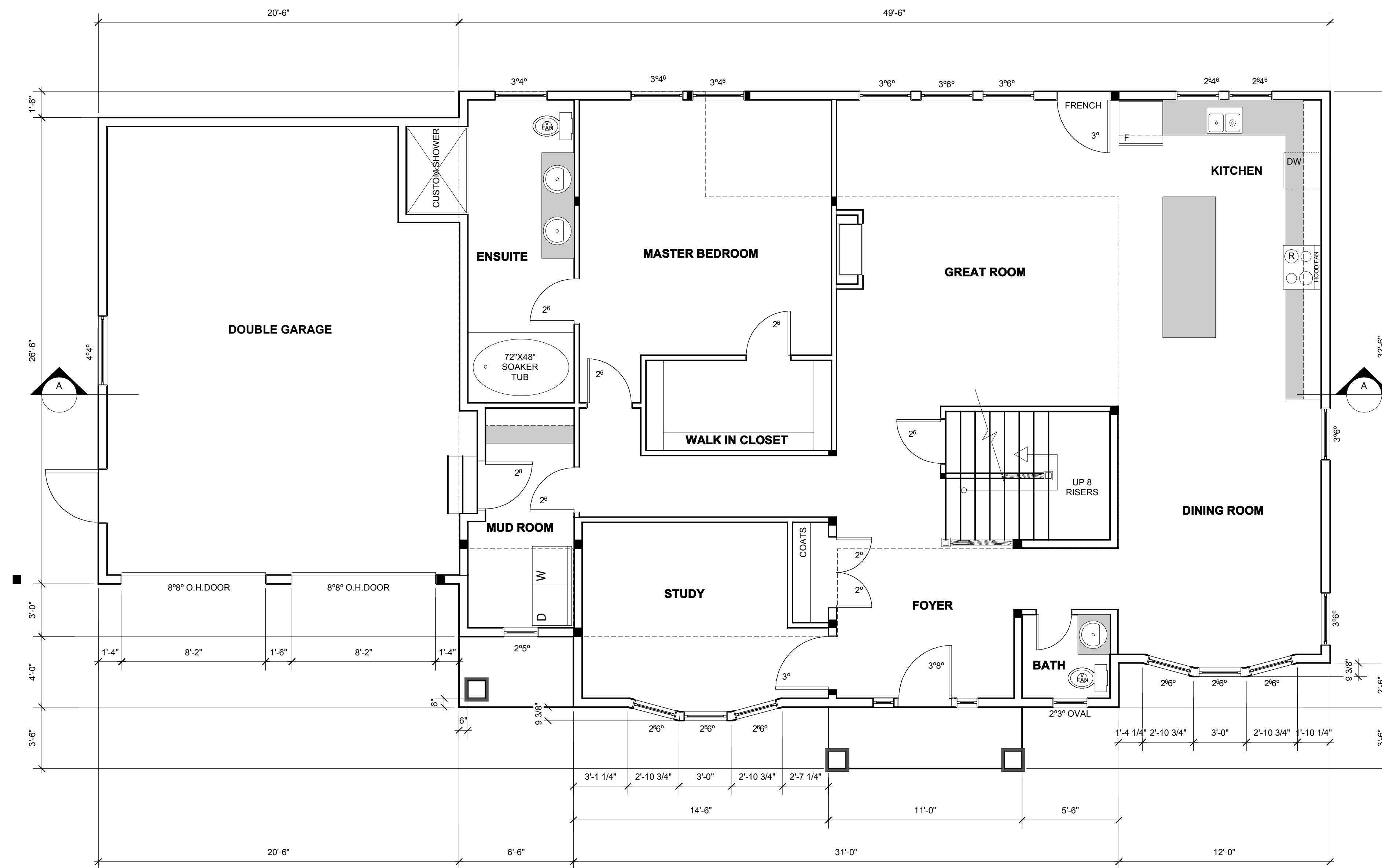



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**PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
STRATA LOT A ELEVATIONS**

SHEET
OF 12
5



 **MAIN FLOOR PLAN**
 Scale: 1/4" = 1'-0"
 MAIN FLR. AREA 2125.327 SQ.FT. (TAKEN TO DRYWALL)
 ACTUAL FLOOR AREA
 (LESS GARAGE 200 SQ.FT. ALLOWANCE) 1925.327 SQ.FT.

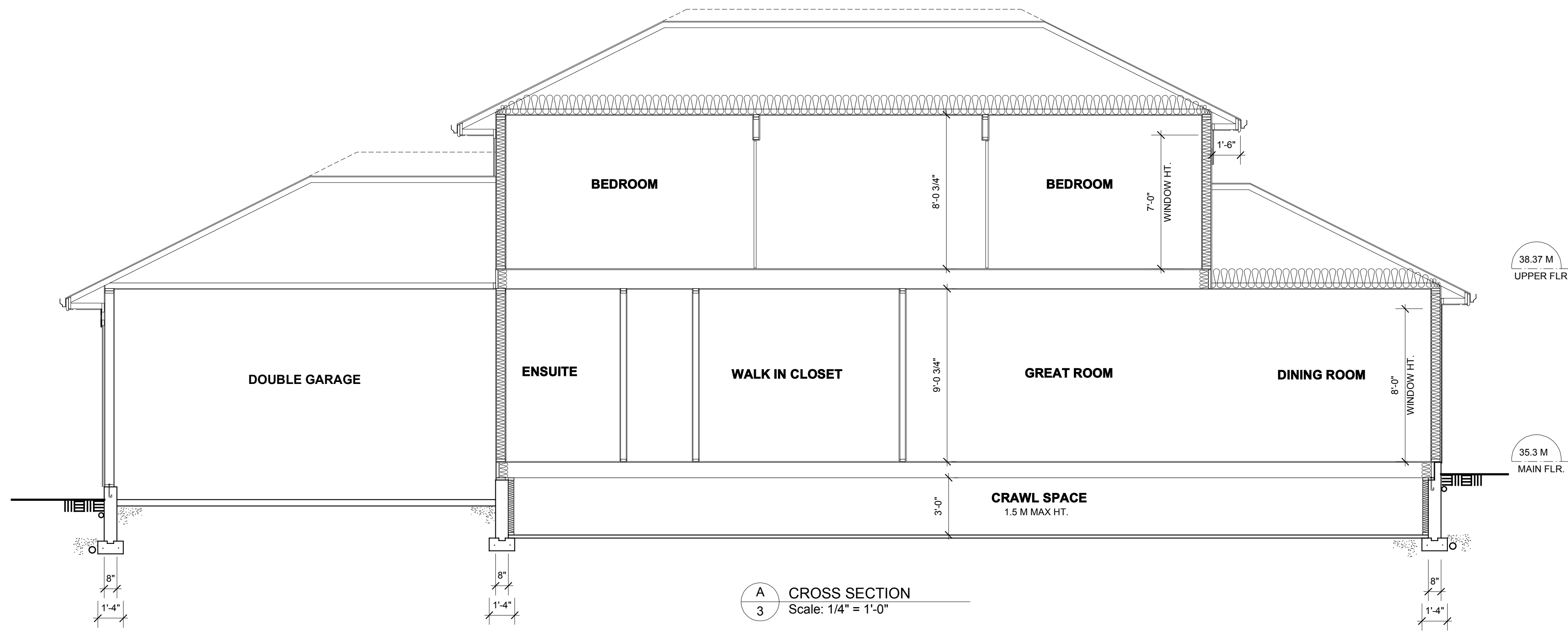
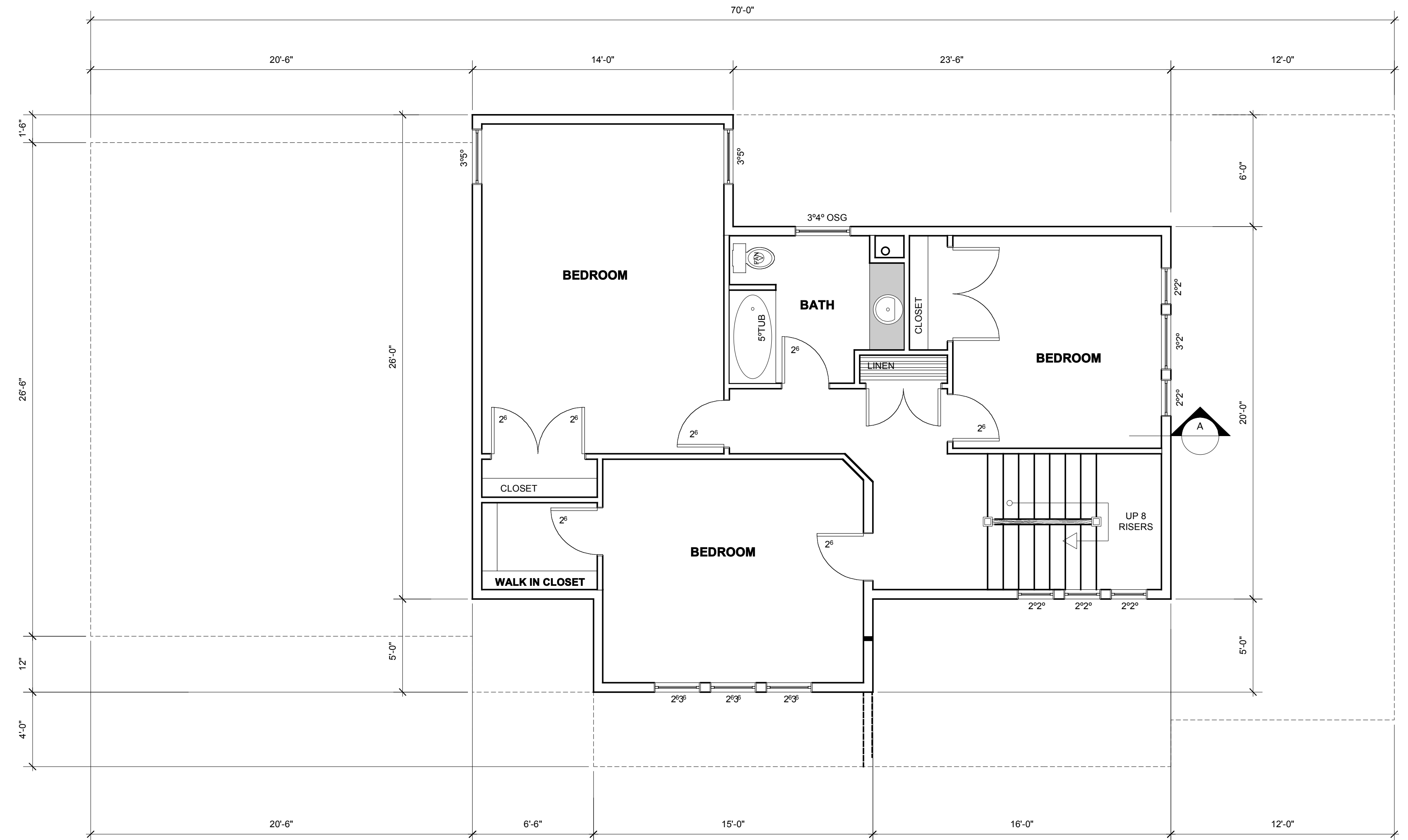
STRATA LOT A



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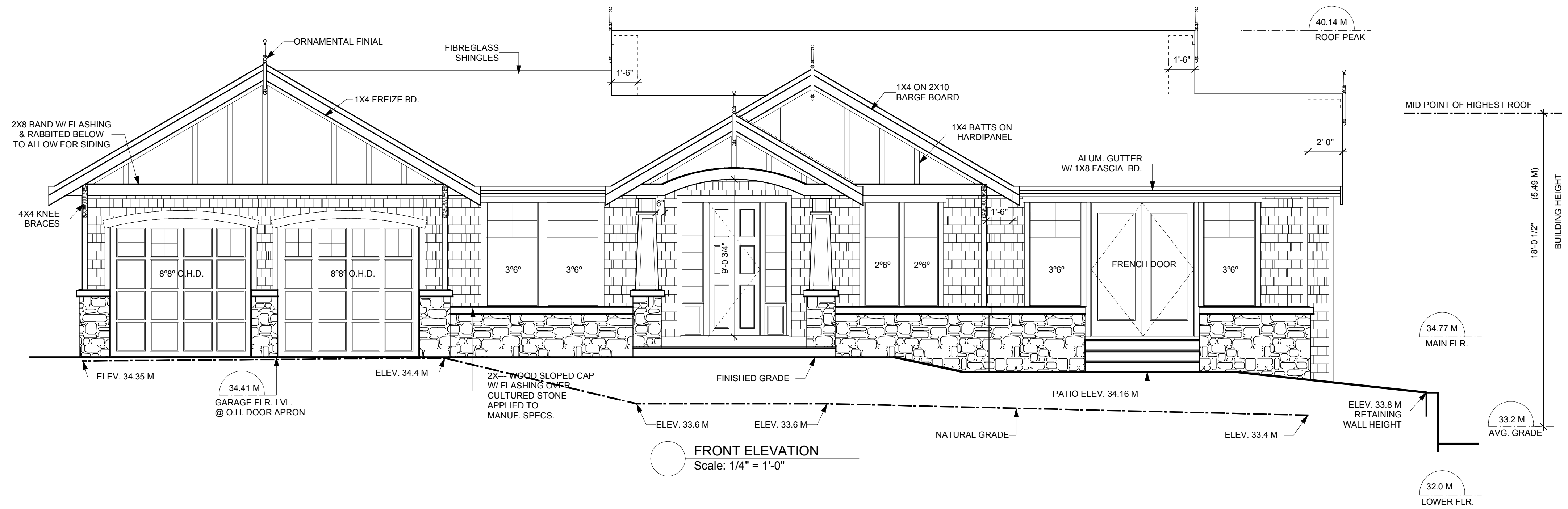
PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
STRATA LOT A MAIN FLR

STRATA LOT A

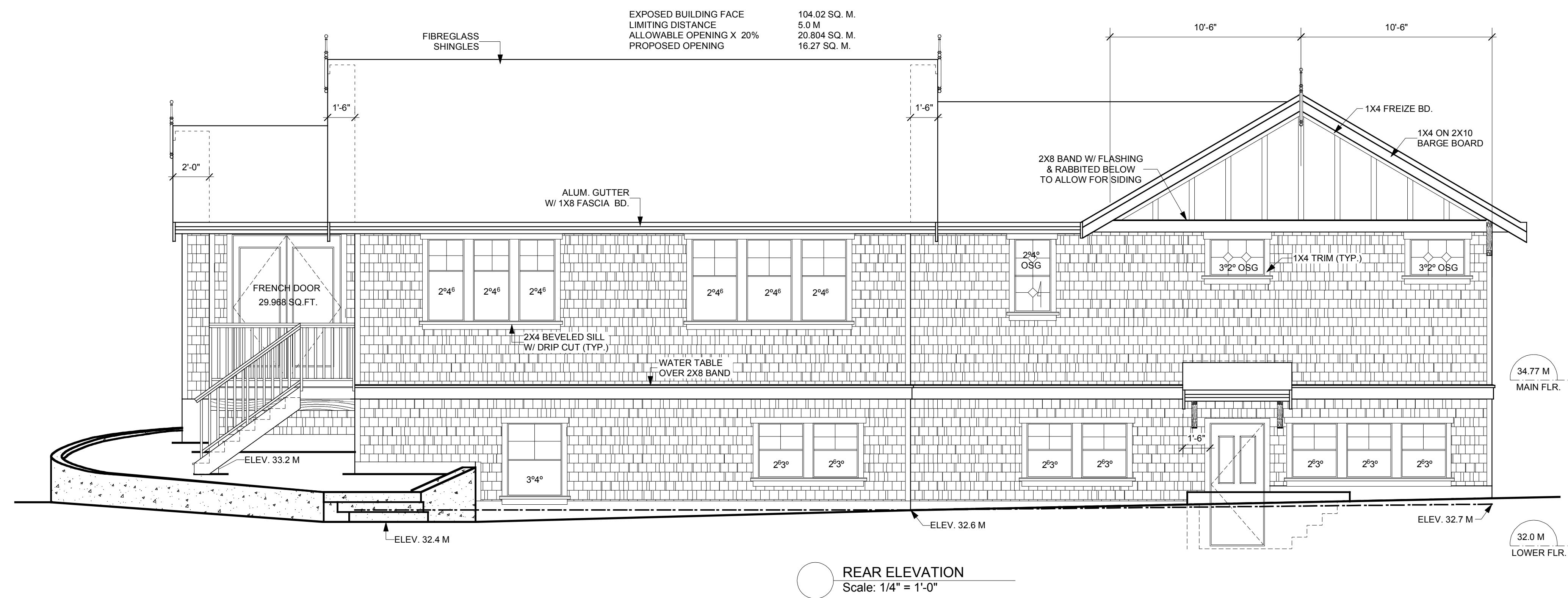


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**PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
STRATA LOT A UPPER FLR, X-SEC**



STRATA LOT B



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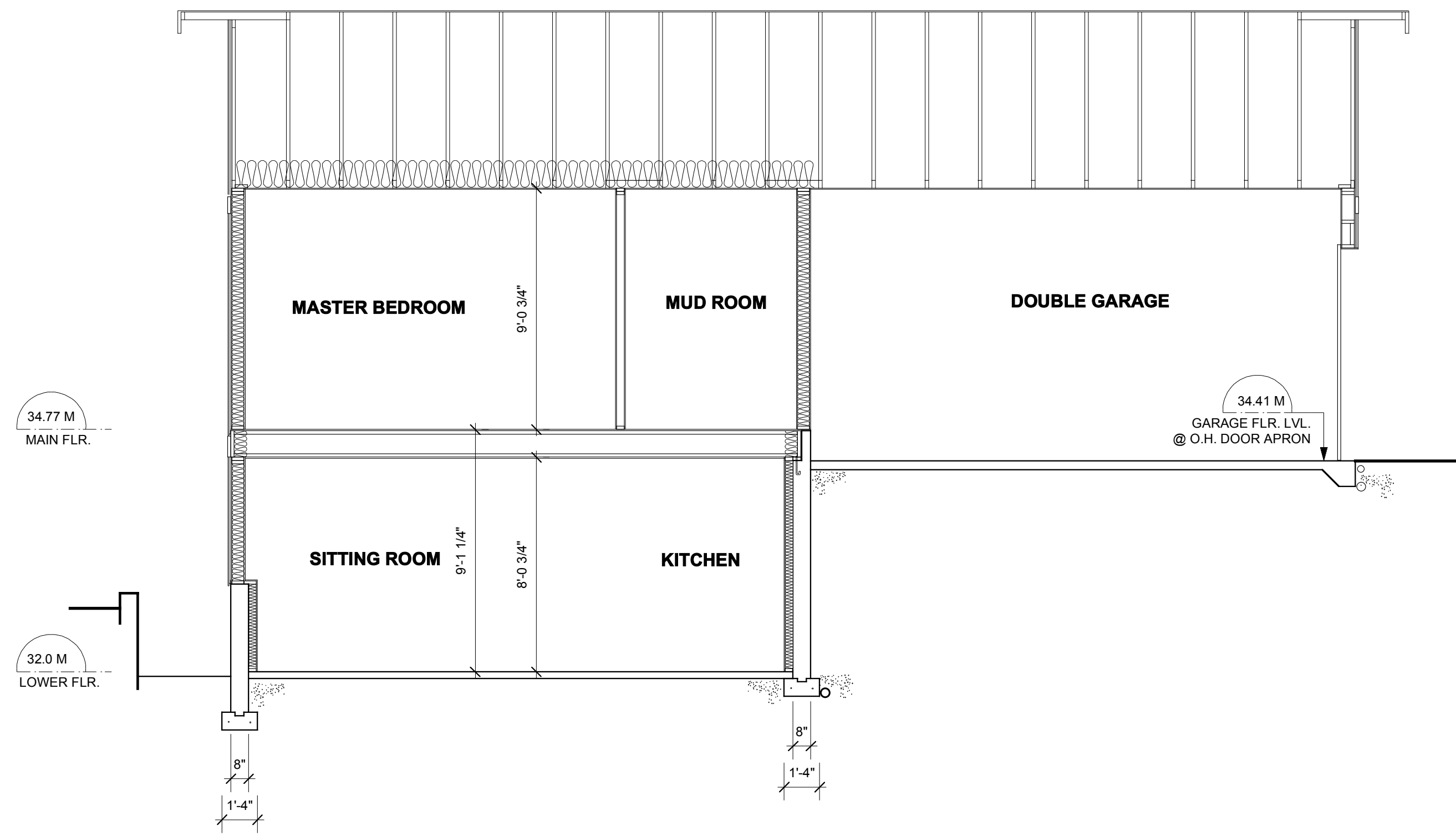
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**PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
STRATA LOT B REAR & FRONT ELEV.**

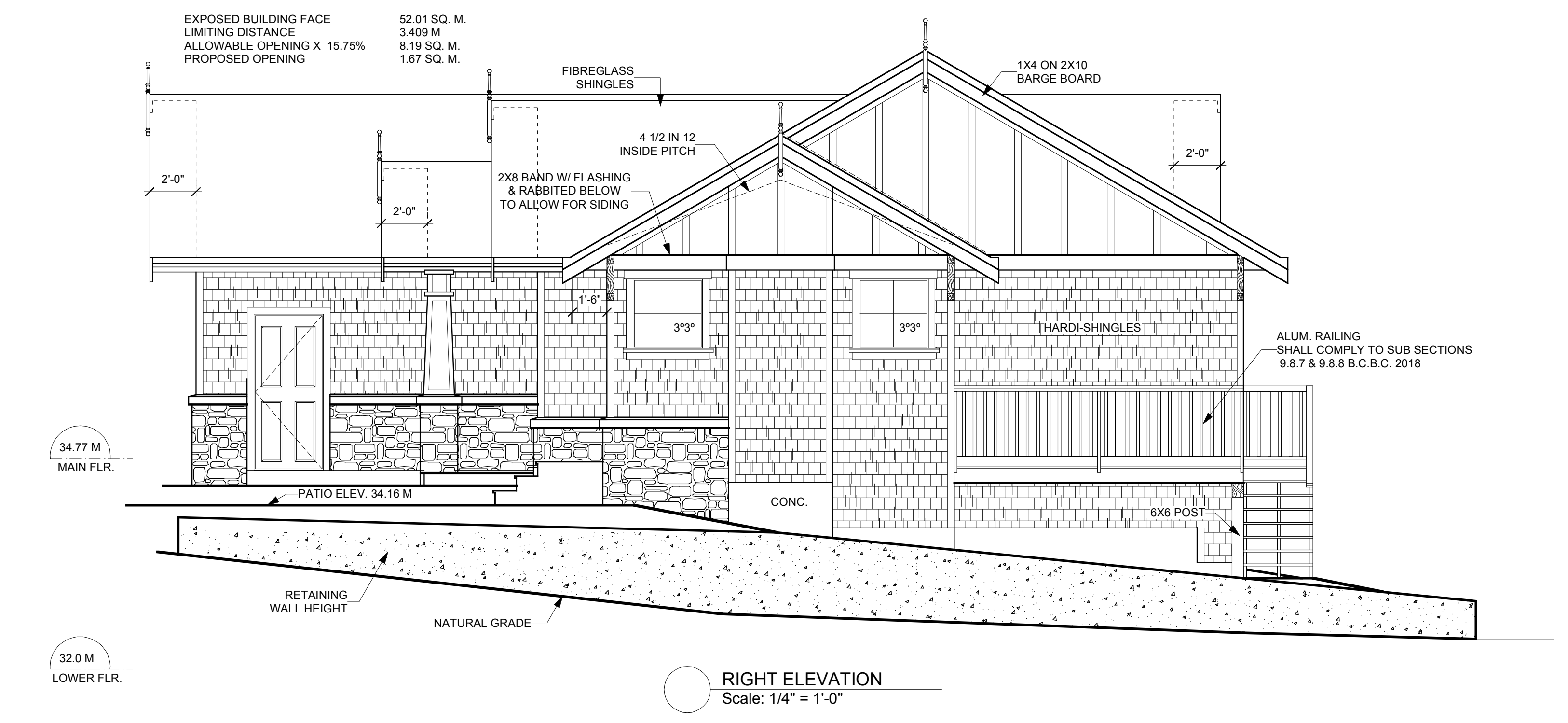
SHEET OF 12

8

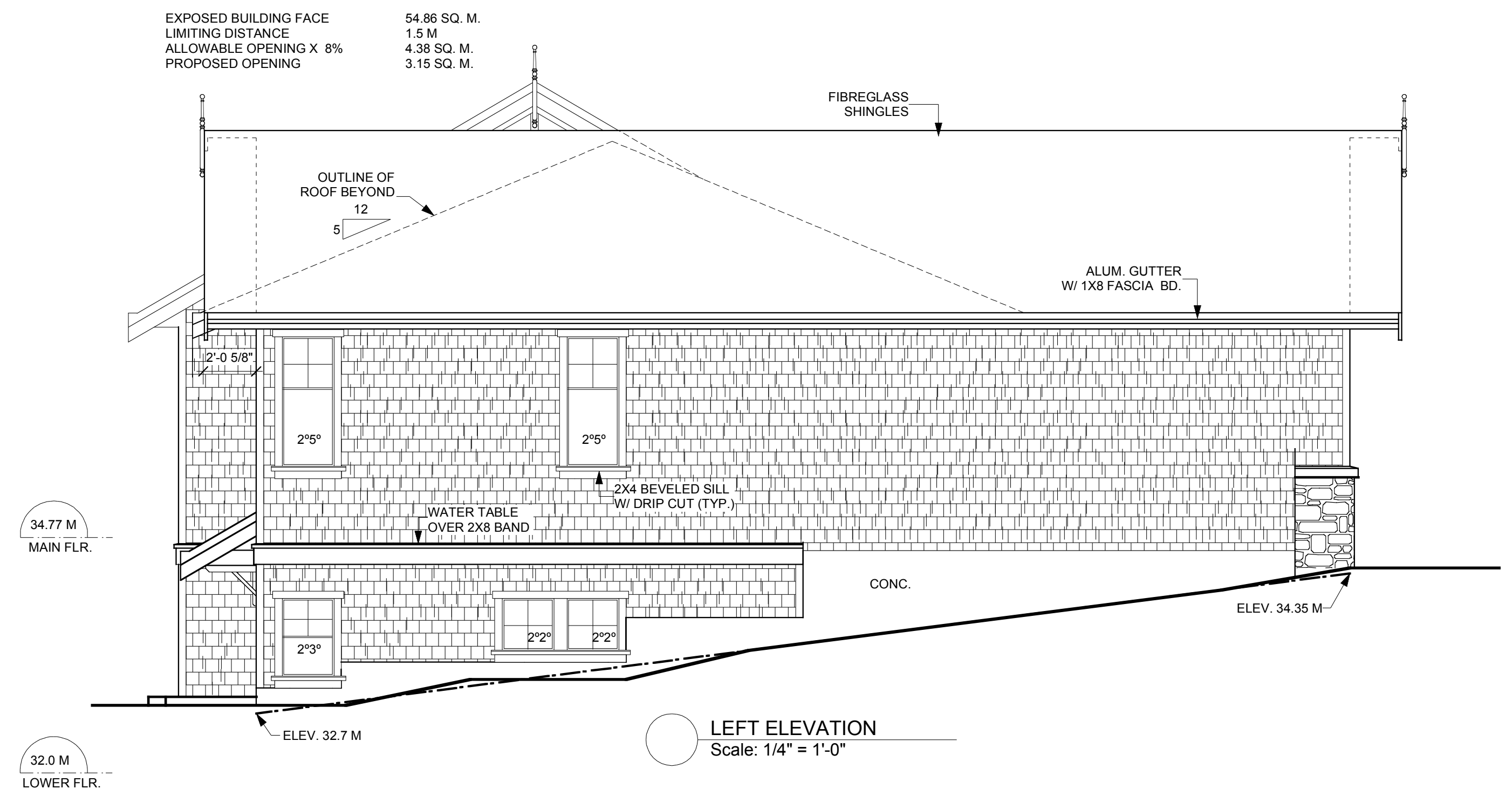


A
3 CROSS SECTION
Scale: 1/4" = 1'-0"

STRATA LOT B



RIGHT ELEVATION
Scale: 1/4" = 1'-0"



LEFT ELEVATION
Scale: 1/4" = 1'-0"



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**PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
STRATA LOT B X-SEC LEFT & RIGHT ELEV.**



○ SITE ELEVATION
Scale: 1:110

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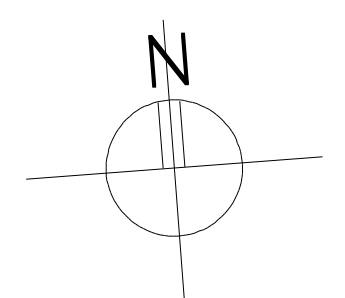
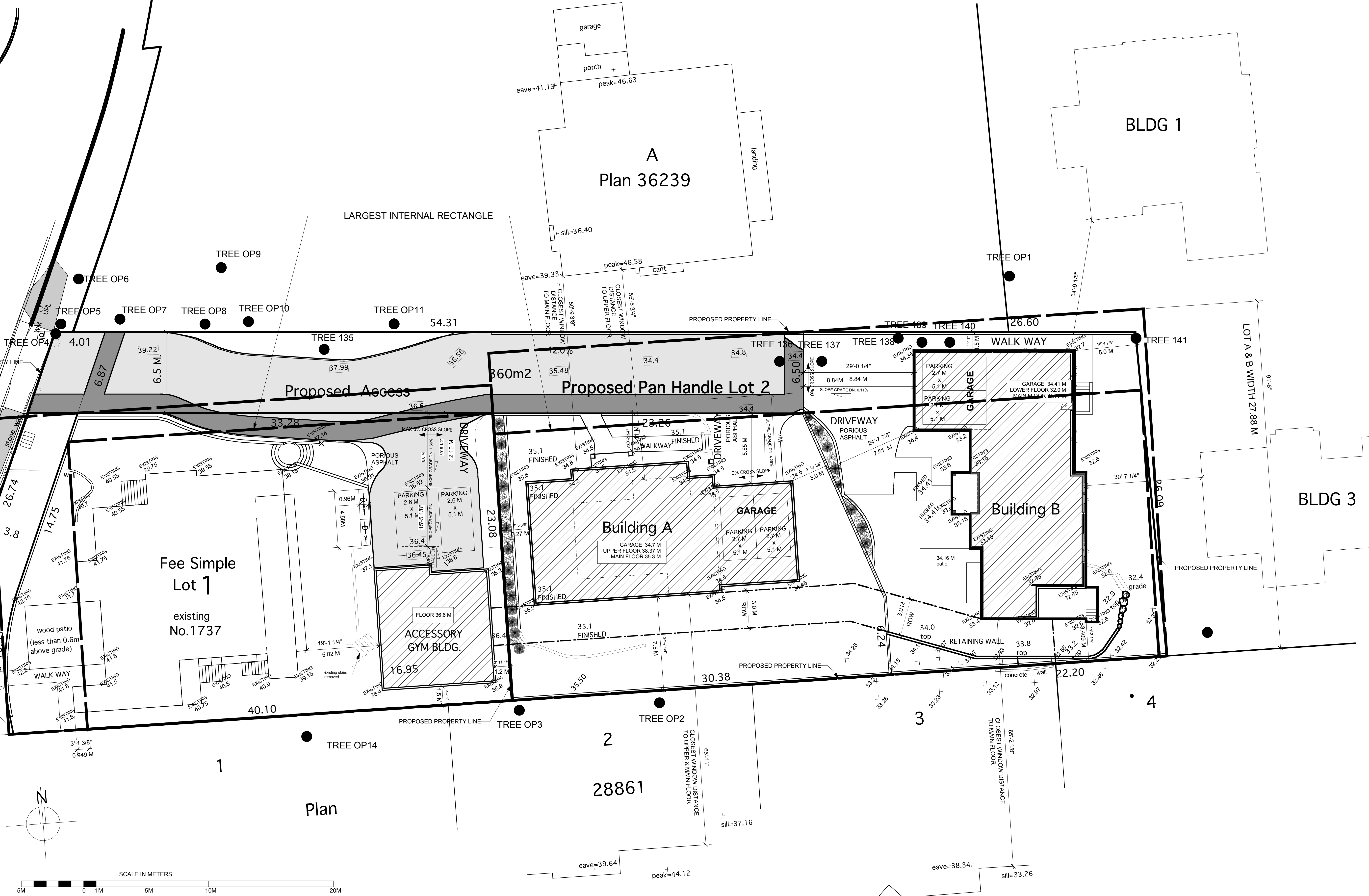
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**PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
SITE ELEVATION FOR LOT 1 & 2**

SHEET OF 12
11

Rockland Avenue

LOT 1 WIDTH 25.32 M



SCALE IN METERS
5M 0 1M 5M 10M 20M

SITE PLAN
Scale: 1:150

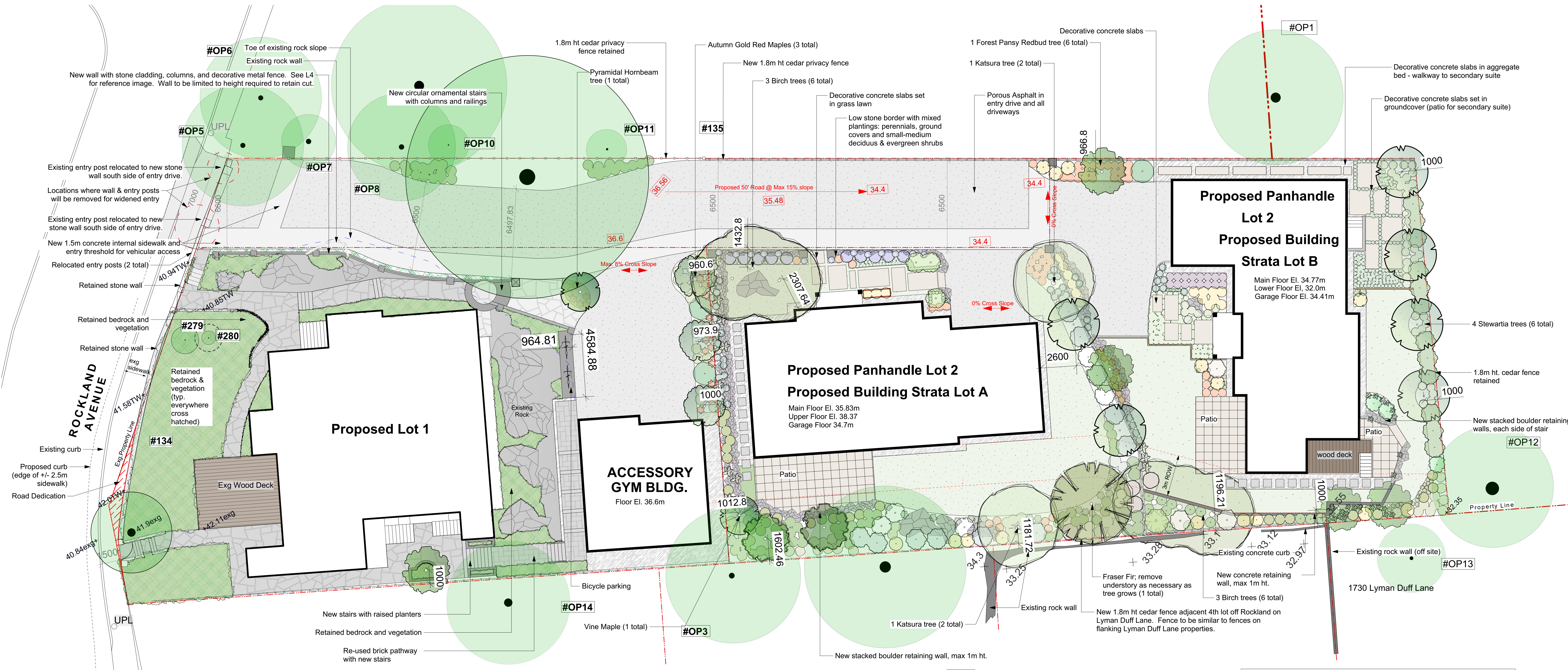
SHOWING NEIGHBORING LOTS AND RESIDENCES ADJOINING PROPOSED DEVELOPMENT



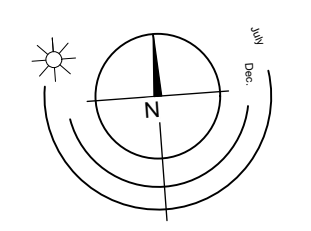
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PLAN # 1452
REVISED JULY 2021

PROPOSED DEVELOPMENT
FOR 1737 ROCKLAND AVE
SITE PLAN WITH NEIGHBOURING LOTS

SHEET OF 12
12



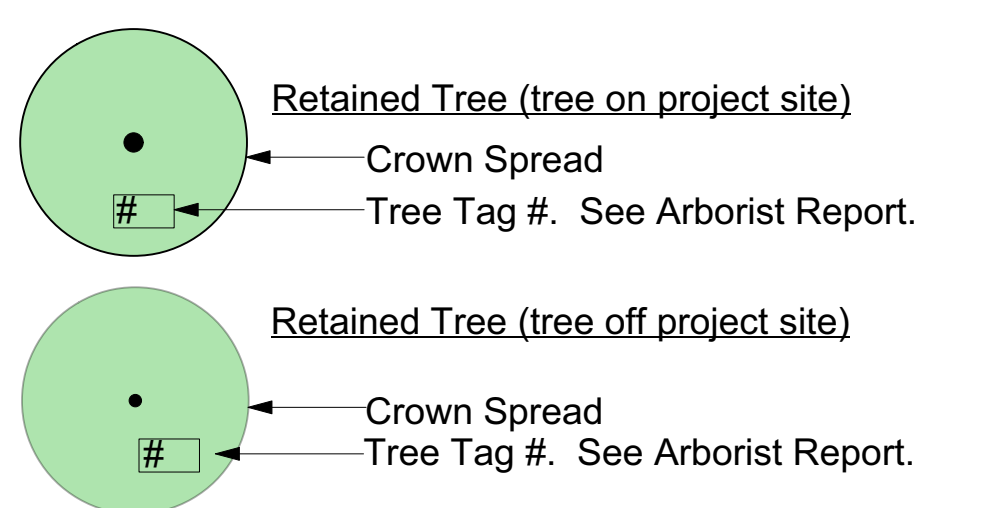
LANDSCAPE CONCEPT PLAN
SCALE 1 : 125



Materials Legend:

	Existing flagstone path and stairs		Decorative concrete unit pavers at strata lots A + B		Grass lawn
	New flagstone path and stairs		Porous asphalt shared driveway and lots 1 & 2 driveways (grey colour)		Concrete pavers, 0.6m x 0.6m
	New concrete stair and concrete pad for bike parking		Porous asphalt portion of shared driveway visually identified for pedestrians (light grey colour)		Aggregate border
			Large concrete slabs used for entry walks at strata lots A + B, and for secondary suite patio on strata lot B.		Retained vegetation (may include bedrock)

Retained Trees Legend:



See sheet L3, **Tree Preservation /Removal Plan**, for additional information on tree retention and removal.

Landscape Concept Plan - 1737 Rockland Avenue - L1