



REGISTERED OWNER

1163918 Ontario Limited
c/o 220 Steeles Avenue West
Thornhill, Ontario, L4J 1A1
tel: (905) 886-0088



ARCHITECT

James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, BC V8S 4B7

(250) 213 5556

Landscape ARCHITECT

LADR Landscape Architects Inc
3-864 Queens Avenue
Victoria, BC V8T 1M5

(250) 598-0105

Arborist

Talmack Urban Forestry Consultants
2512 Government St.
Victoria, BC V8Z 7H6

(250) 479-8733

CIVIL ENGINEER

JE Anderson & Associates
4212 Glanford Avenue
Victoria, BC V8Z 4B7

(250) 727-2214

LIST OF DRAWINGS

Architectural

- A0 Cover Sheet
- A1 Site & Info Plan
- A2 Project Overview Plans
- A3 Site Plan
- A4 Ground Floor Plan
- A5 Second Floor Plan
- A6 Parkade P1 & Roof Plans
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- A9 Building Sections
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- A11 Materials
- A12 Materials
- A13 Model Vignettes
- A14 Model Vignettes, Street Context
- A15 Model Vignettes

Civil

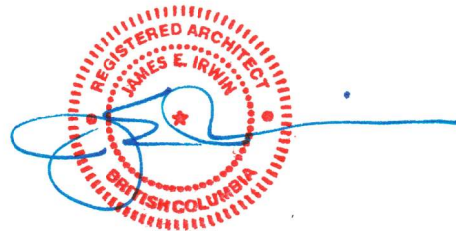
- C1 Civil Preliminary Servicing Plan
- C2 ..

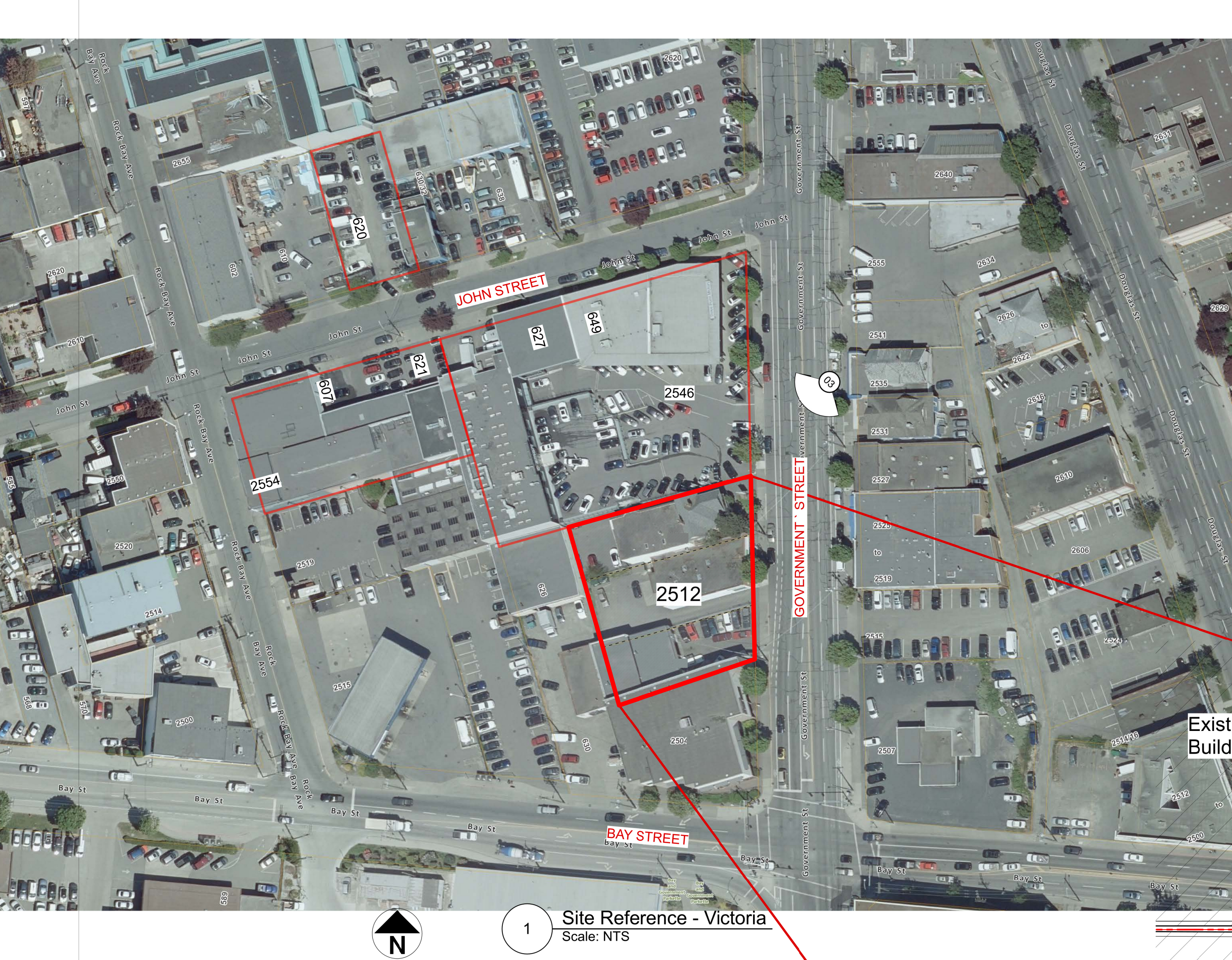
Landscape

- L1 Landscape Concept & Tree Management Plan
- L2 ..

2512 Government Street, Victoria BC

Issued for Development Permit R3
03 July 2024

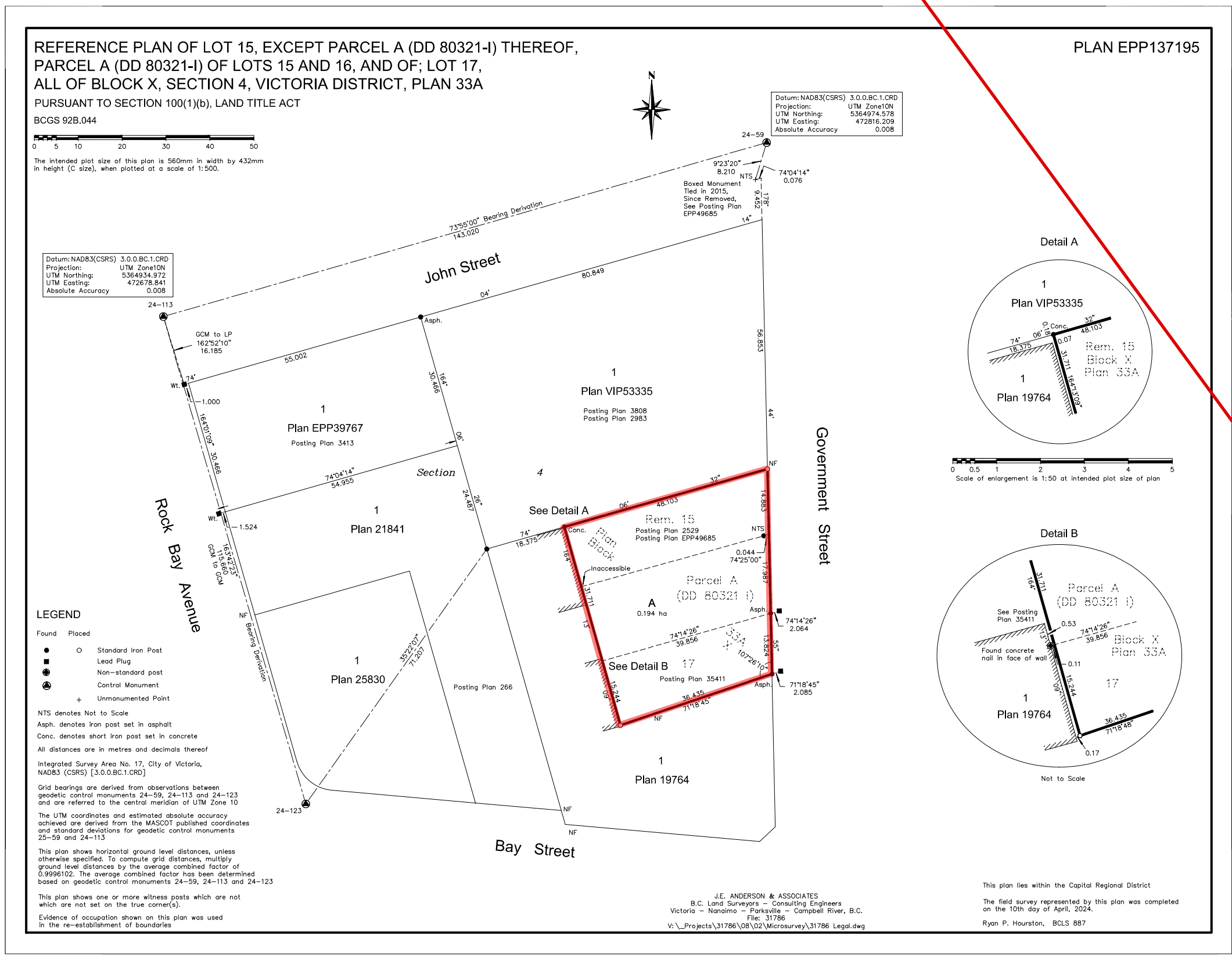




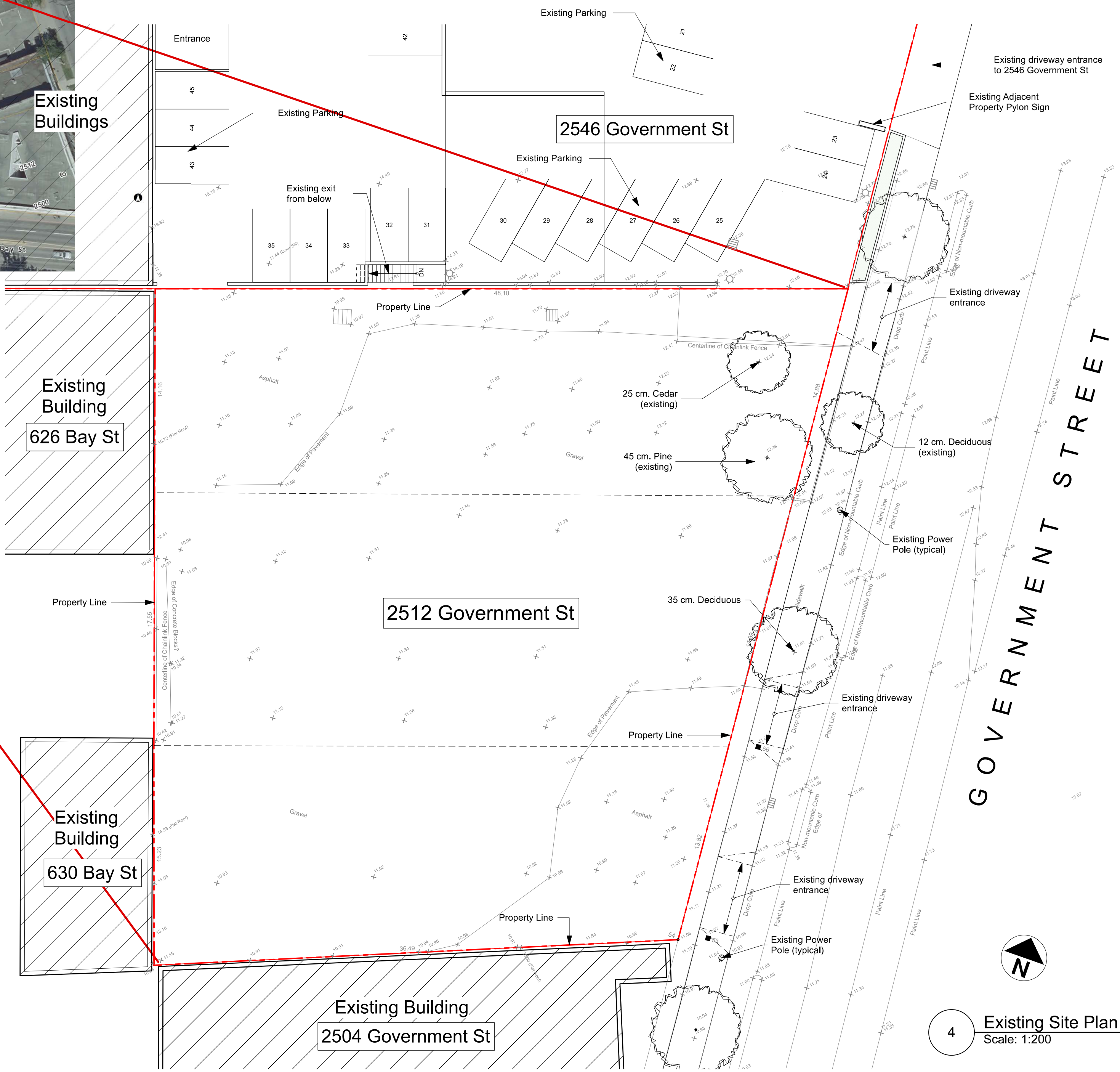
1 Site Reference - Victoria
Scale: N.T.S.



3 Existing Site
Scale: N.T.S.



2 Posting Plan EPP137195
Scale: N.T.S.



4 Existing Site Plan
Scale: 1:200

PROJECT DATA

REGISTERED OWNER

1163918 Ontario Limited,
c/o 220 Steeles Avenue West
Thornhill, Ontario, L4J 1A1
tel: (905) 886-0088

ADDRESS

2512 Government Street, Victoria, BC

LEGAL

2512 Govt:
PID: 032-248-938
Folio: 10706018
Plan Number: EPP137195
LOT: A SECTION 4 VICTORIA DISTRICT PLAN EPP137195



C	2024-07-03	Revised for Development Permit	JEIA
B	2023-09-01	Revised for Development Permit	JEIA
A	2023-01-19	Issued for Development Permit	JEIA
ISSUE	DATE	ISSUE NOTE	BY

REVISION	DATE	REVISION NOTE	BY
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PROJECT
Volvo Victoria Dealership

ADDRESS
2512 Government St, Victoria

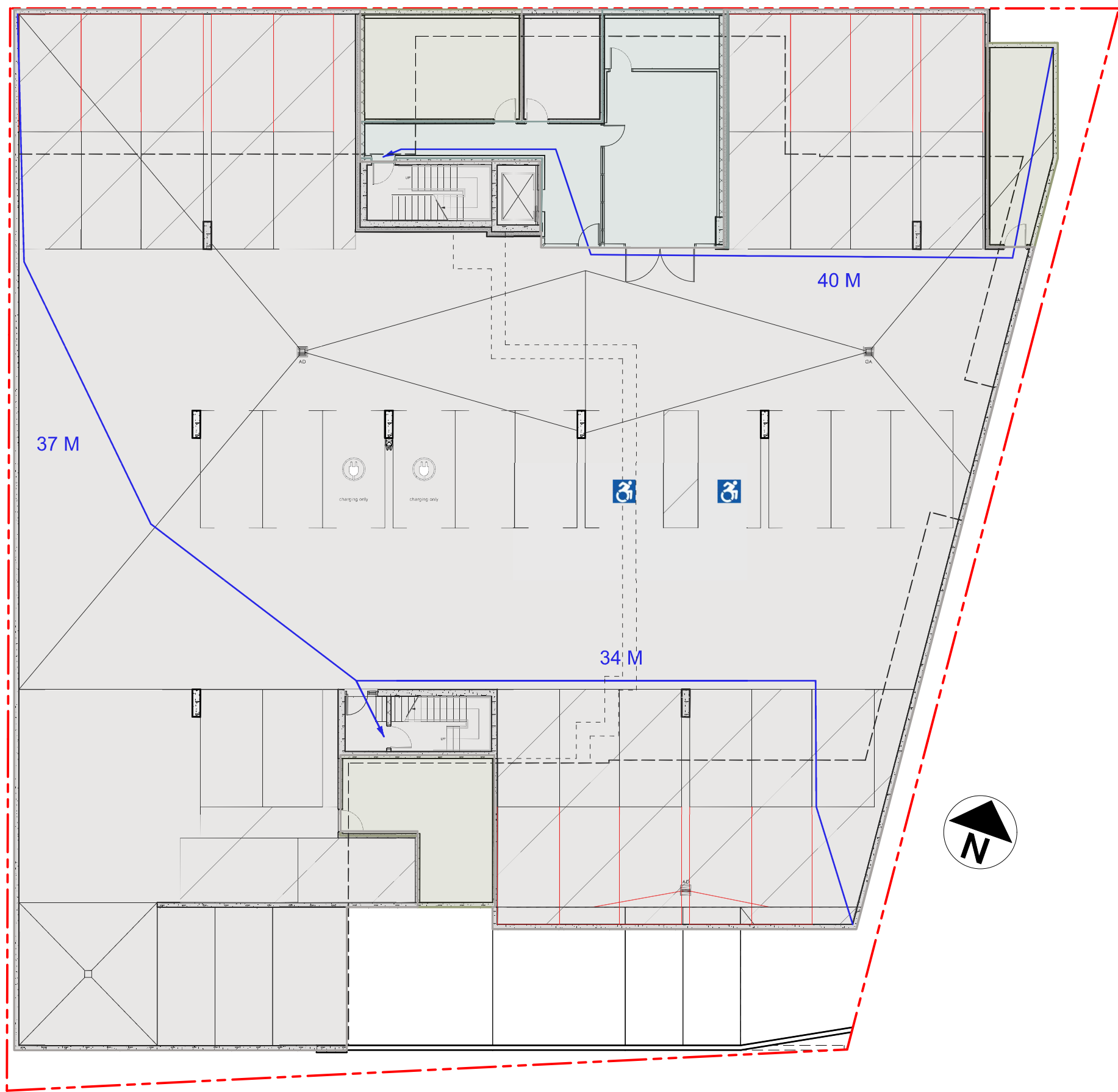
CLIENT
1163918 Ontario Limited - GAIN Group

DRAWING
Site & Info Plan

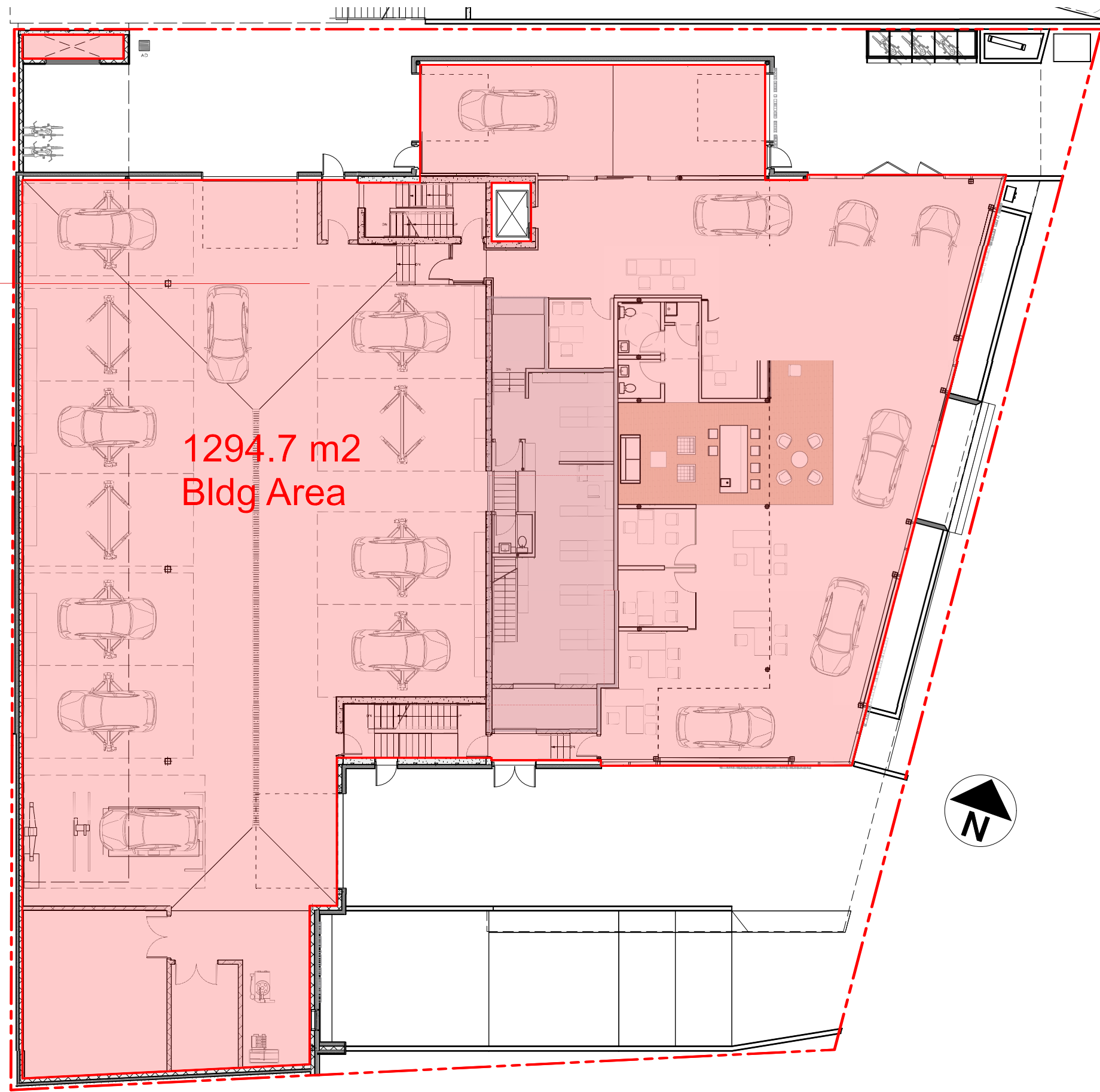
James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

PROJECT #	2112	CAD FILE NAME	2520 Govt St A1 Existing Site Plan (3.vmx)
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DRAWN	CHKD	DWG #	REVISION
PLOT DATE	2024-07-03		

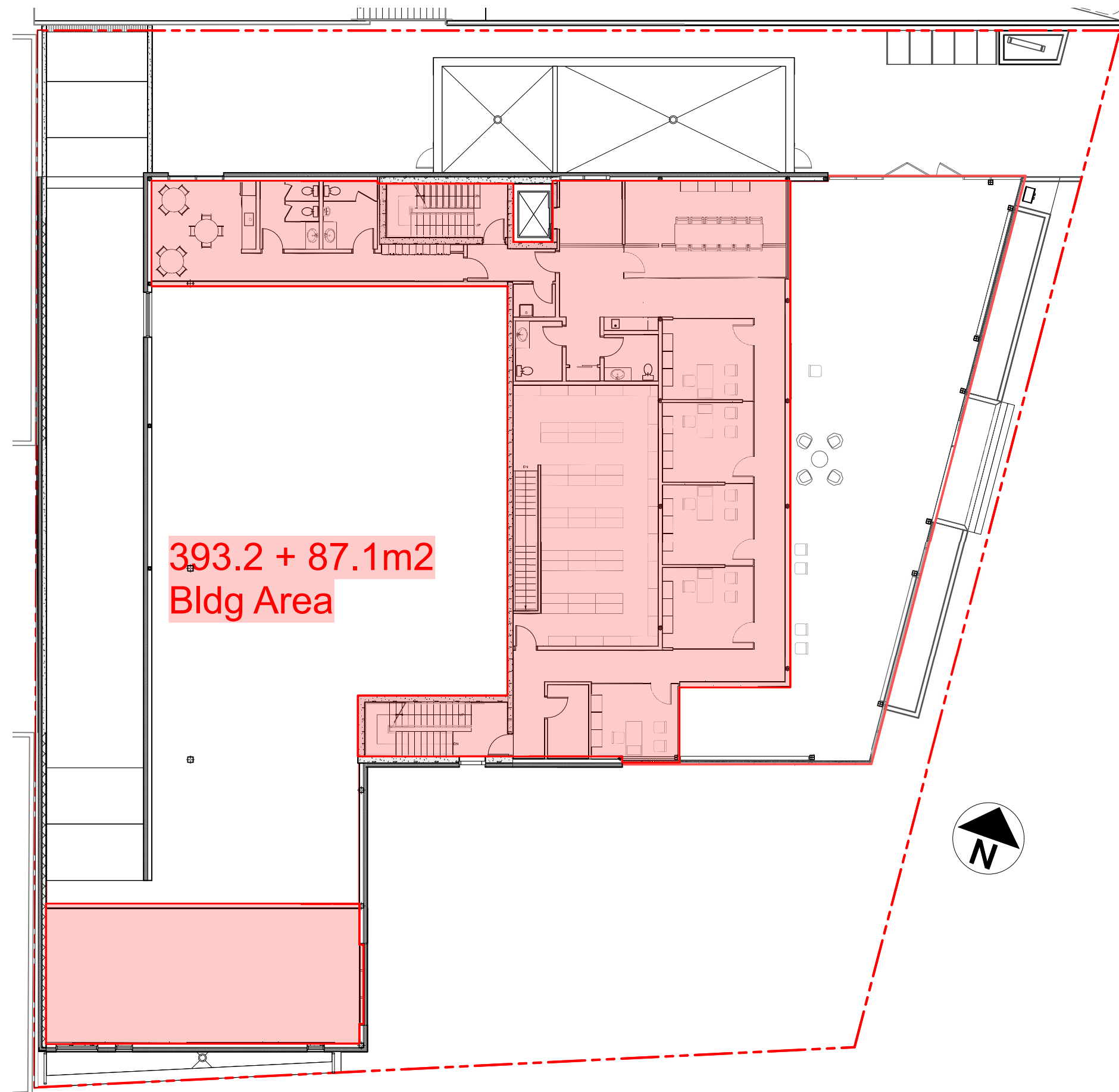
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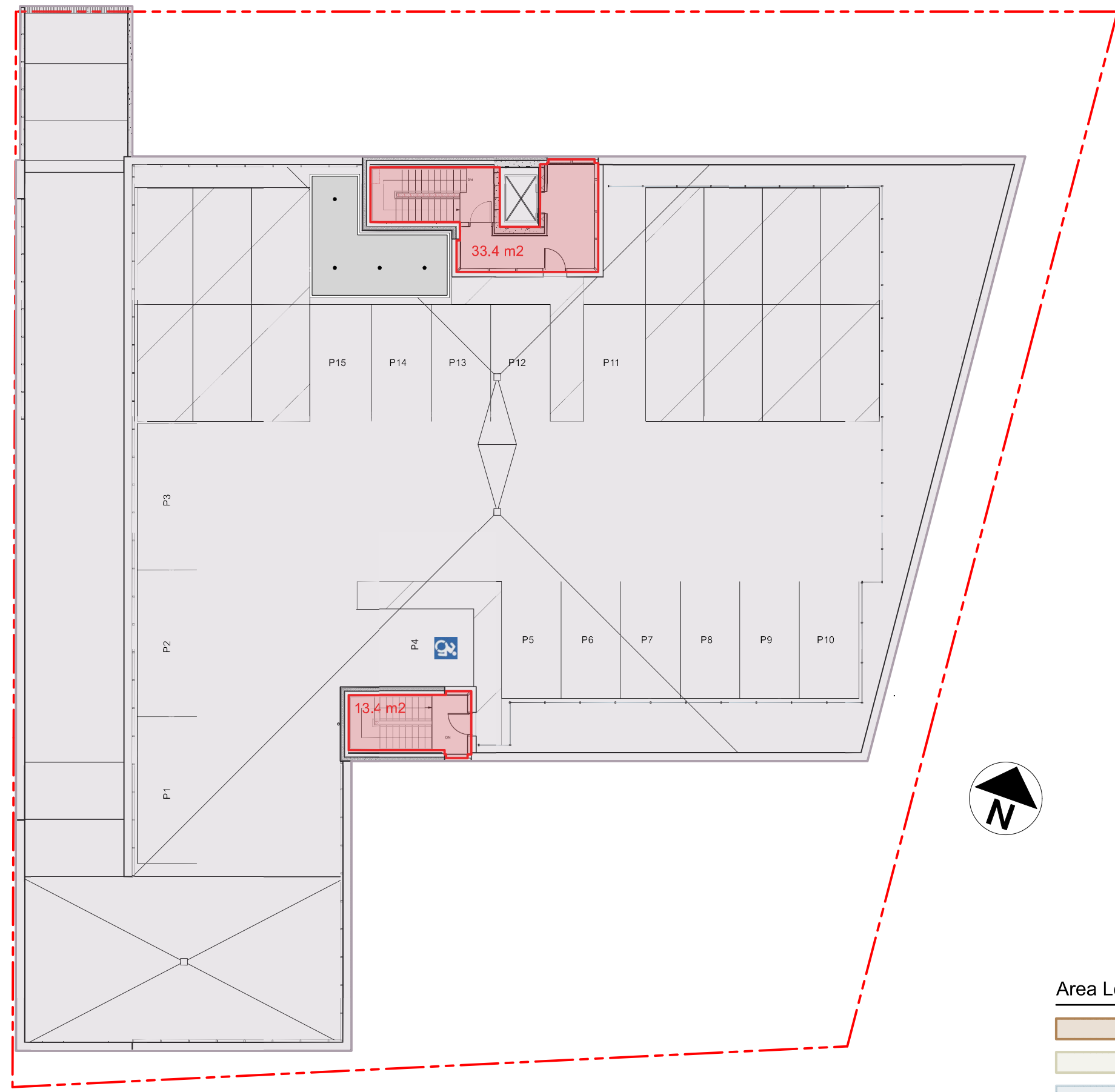
1 P1 Underground Parking Schematic Area Plan
Scale: 1:200



2 Ground Floor Schematic Area Plan
Scale: 1:200



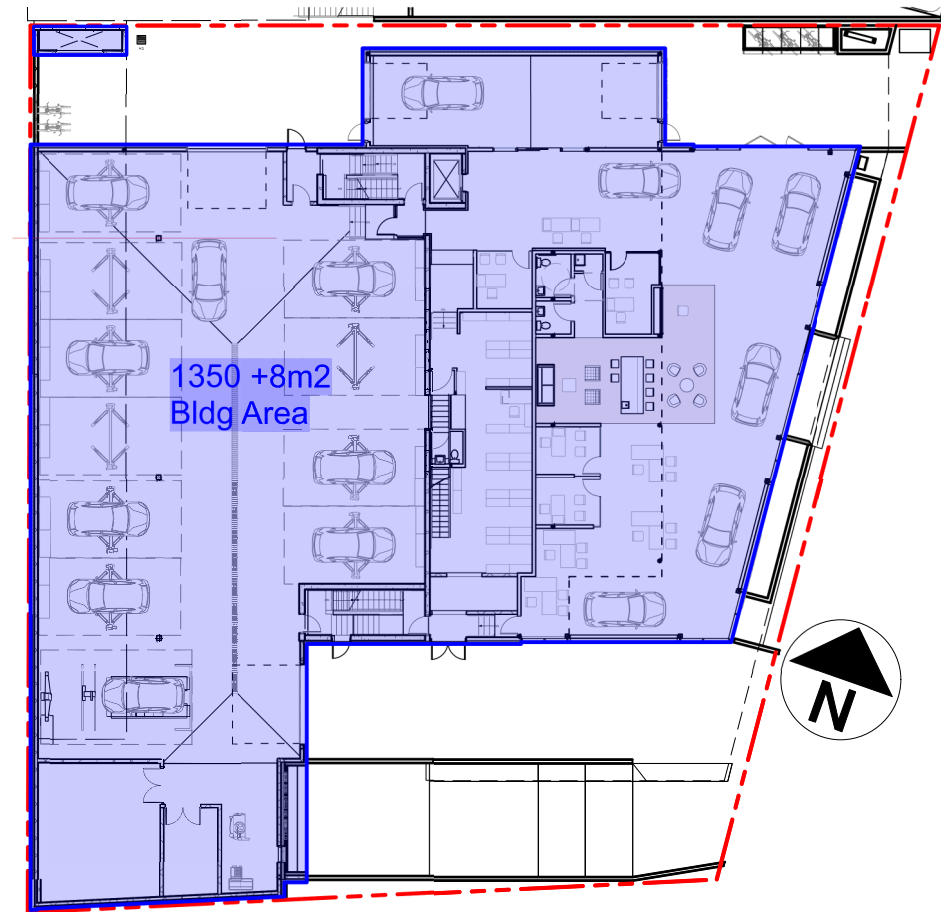
3 Second Floor Schematic Area Plan
Scale: 1:200



4 Roof Schematic Area Plan
Scale: 1:200

Area Legend (Victoria Bylaw)

- Building Area
Site Coverage Area



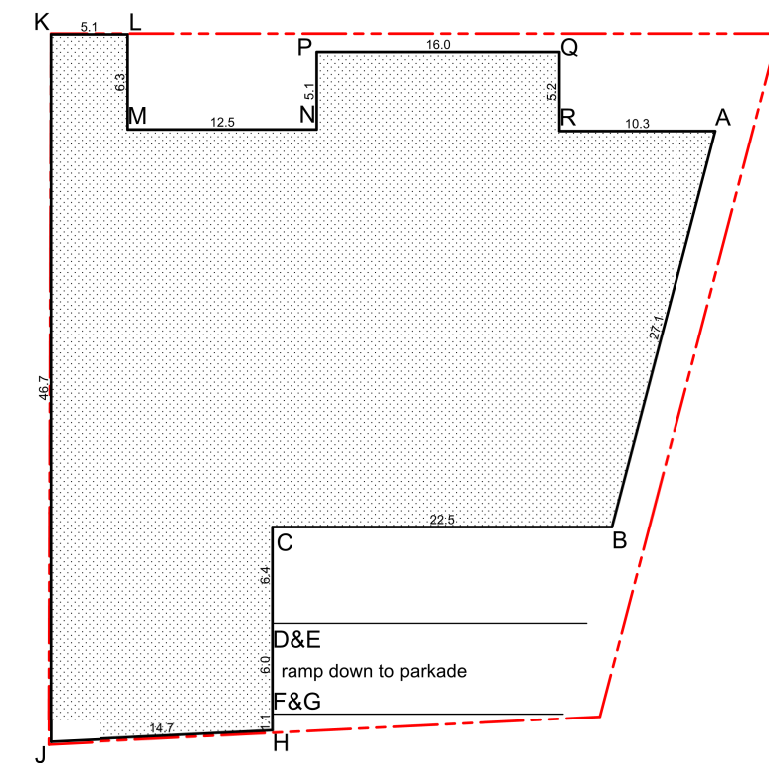
6 Ground Floor Site Coverage Area Plan
Scale: 1:400

Grade Calculation

Grade Points*		Average of Points (a+b)/2	x Distance Bwn Points	Totals
A (12.300)	B (11.425)	11.863	27.1m	321.474
B (11.425)	C (11.200)	11.313	22.5m	254.531
C (11.200)	D (11.020)	11.110	6.4m	71.104
E (9.025)	F (9.025)	9.025	6.0m	54.150
G (10.910)	H (10.910)	10.910	1.1m	12.001
H (10.910)	J (11.150)	11.030	14.7m	162.141
J (11.150)	K (11.220)	11.185	46.7m	522.340
K (11.220)	L (11.150)	11.185	5.1m	57.044
L (11.150)	M (11.110)	11.130	6.3m	70.119
M (11.110)	N (11.330)	11.220	12.5m	140.250
N (11.330)	P (11.350)	11.340	5.1m	57.834
P (11.350)	Q (12.250)	11.800	16.0m	188.800
Q (12.250)	R (12.230)	12.240	5.2m	63.648
R (12.230)	A (12.300)	12.265	10.3m	126.330
Totals			185.0m	2101.765

Average Grade: $2101.765 / 185.0 = 11.36$ meters

* Lowest of finished and existing grade- see elevations on plan



5 Schematic Grade Calculation Plan
Scale: n.t.s.

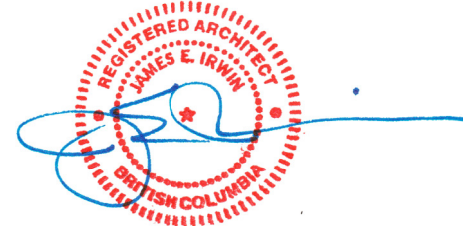
Area Legend

- Showroom/Office/Staff
Service
Parts
Mechanical Electrical
Roof Parking
Underground Parking

Gross Floor Area Exterior of Structure, by operational use for Owner Cost Estimates

	Service	Parts	Showroom Office Staff	Mechanical Electrical	Vehicle & Bike Parking	Total by Floor
Roof- Parking	0 m2	0 m2	0 m2	0 m2	1290 m2	1290 m2
Second Floor	0 m2	80 m2	337 m2	96 m2	0 m2	513 m2
Ground Floor	745 m2	97 m2	499 m2	7 m2	0 m2	1349 m2
P1 Parking	0 m2	0 m2	83 m2	59 m2	1550 m2	1692 m2
Total:	745 m2	177 m2	919 m2	162 m2	2840 m2	4843 m2
GFA Total:	4,843 m2	(52,133 sq.ft)				

Project & Zoning Data		
Civic Address:	2512-2526 Government Street, Victoria B.C.	
Legal Address:		
Zoning:	M-2 Light Industrial District	
Site Area:	1,942.0 m2	20,903.7 Sq. ft.
Building Area:	1,358.0 m2	14,617.5 Sq. ft.
Lot Coverage:	70%	Not Applicable
Floor Area **:	U/G Parkade	0.0 Sq. ft.
	Ground Floor	1,294.7 m2 13,935.7 Sq. ft.
	Second Floor	480.3 m2 5,170.0 Sq. ft.
	Roof Access	46.8 m2 503.5 Sq. ft.
	Total	1,821.7 m2 19,609.2 Sq. ft.
Floor Area Ratio:	0.938 to 1	(3 : 1) Permitted
Building Height:	15 Meters Max Allowable	
	Parapet Elevation	23.700m (Highest Parapet)
	Average Grade	11.36m See calculation below
	Proposed Building Height	12.34m
Setbacks:	Front:	2.4m na
	Rear (west)	0.150m 0m or 3.0m required
	Side (north)	1.2m 0m or 3.0m required
	Side (south)	0.910m 0m or 3.0m required
Parking:	L1 Showroom	13 spaces 499m2 / 37.5m2
	L2 Office	8 spaces (337m2 + 80m2) / 50m2
	Service/ Parts	7 spaces 922 / 140m2
	Total Required	28 spaces Schedule C: Retail/Office/Warehouse
	Provided	28 spaces 13 at Level P1, 15 at Roof Level
	Secure Storage (Not Public)	45 spaces 31 at Level P1, 14 at Roof Level
	Accessible Parking	3 spaces 2 at Level P1 incl 1 accessible van, 1 at Roof Level
	Electric Vehicle Charging	2 spaces Level P1- P17 & P18
Loading:	Total Required	1 Per M-2, 9,(1)
	Provided	1
Bicycle Parking:	Total Required	5 LT, 9 ST Per Schedule C:
	Provided	6 LT, 10 ST
** Per Schedule A: floor area to inside face of exterior walls and mezzanines; n.i.c. area for parking, roofs, or elevator shafts		



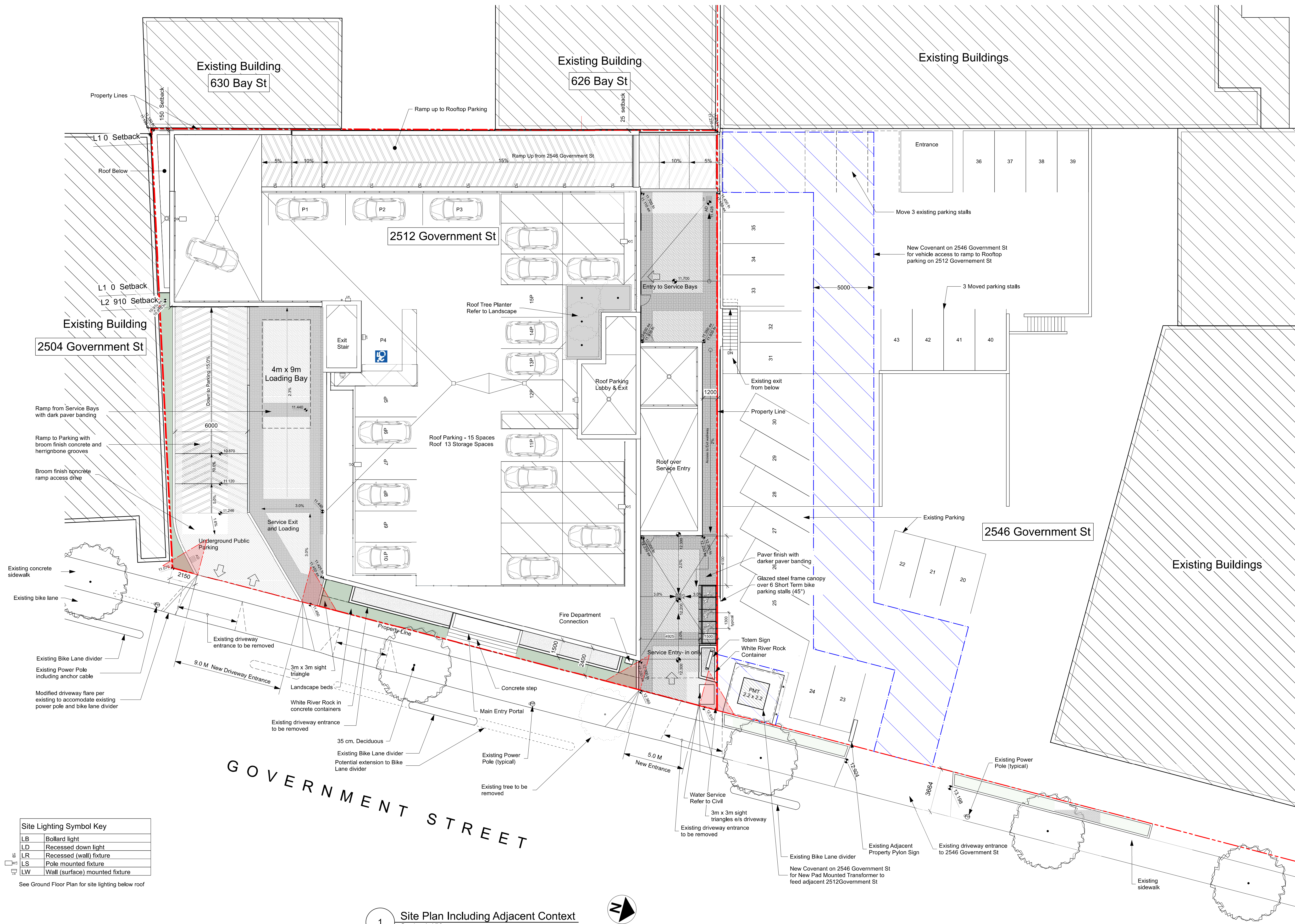
E	2024-07-03	Revised for Development Permit	JEIA
D	2023-05-01	Revised for Development Permit	JEIA
C	2023-01-19	Issued for Development Permit	JEIA
B	2022-09-26	Issued for Concept Review	JEI
A	2022-03-17	Issued for Concept Review	JL/TB
ISSUE	DATE	ISSUE NOTE	BY

3	2022-11-21	Revised Final RH Carter- Proceed to DP Documentation	JL/TB
2	2022-10-07	Revised & Submit to RH Carter-Volvo Concept Final	JEI
1	2022-03-19	Revised Showroom Display, GFA Tables	JEI
REVISION	DATE	REVISION NOTE	BY

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PROJECT
Volvo Victoria Dealership
ADDRESS
2512 Government St, Victoria
CLIENT
1163918 Ontario Limited - GAIN Group
DRAWING
Project Overview

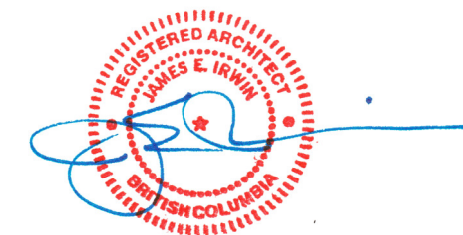
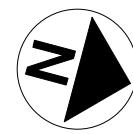
James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556
PROJECT # 2112 CAD FILE NAME 2512 Govt St Volvo Model DP R3
ORIGINAL SHEET SIZE 24" x 36" SCALE FULL SHEET ISSUE/VWA
DRAWN CHKD DWG # REVISION
PLOT DATE 2024-07-03
A2



Site Lighting Symbol Key	
LB	Bollard light
LD	Recessed down light
LR	Recessed (wall) fixture
LS	Pole mounted fixture
LW	Wall (surface) mounted fixture

See Ground Floor Plan for site lighting below roof

1 Site Plan Including Adjacent Context
Scale: 1:150



D	2024-07-03	Issue for Revised Development Permit	JEIA
C	2023-04-27	Issue for Revised Development Permit	JEIA
B	2023-04-26	Concept Review for revised south driveway	JEIA
A	2023-01-19	Issued for Development Permit	JEIA
ISSUE	DATE	ISSUE NOTE	BY

REVISION	DATE	REVISION NOTE	BY
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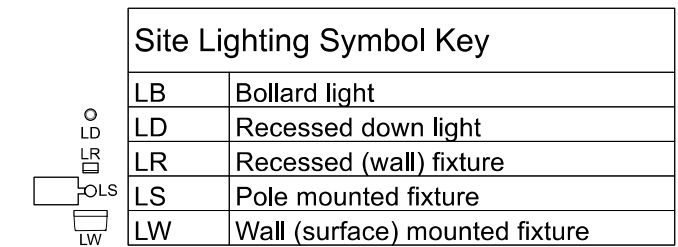
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PROJECT
Volvo Victoria Dealership
ADDRESS
2512 Government St, Victoria
CLIENT
1634488 Ontario Limited - GAIN Group
DRAWING
Site Plan

James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

PROJECT #	2112	CAD FILE NAME	2512 Govt St A3 Site Plan R3.vwx
ORIGINAL SHEET SIZE	24" x 36"	SCALE FULL SHEET	
DRAWN	CHKD	DWG #	REVISION
PLOT DATE	2023-01-20		

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PROJECT _____

2512 Government St. Victoria

1163918 Ontario Limited - GAIN Group

Ground Floor Plan

 James E. Irwin Architect Inc.

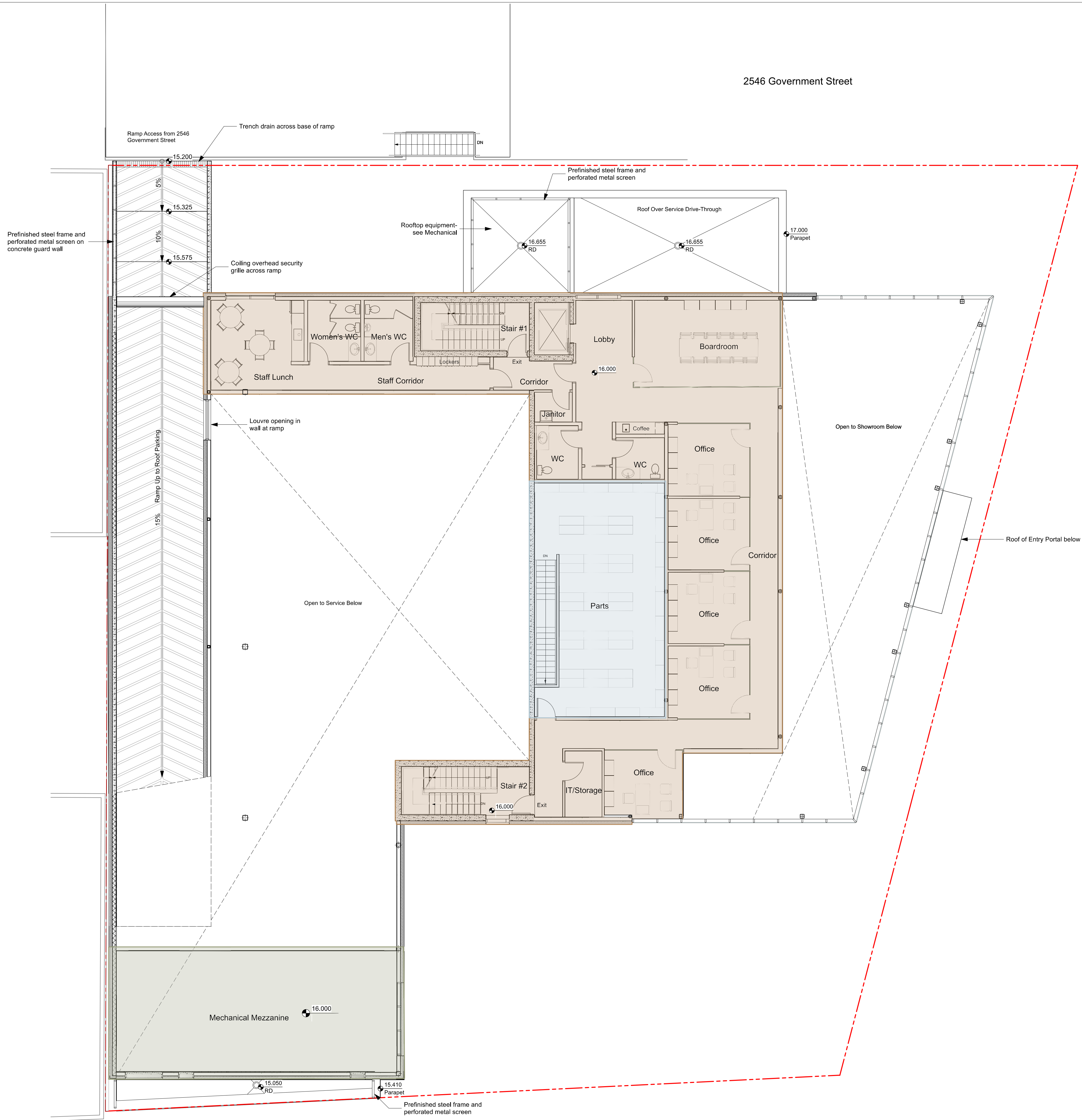
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DRAWN	CHKD	DWG #	REVISION
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PLOT DATE 2024-07-03

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A4



1 Second Floor Plan
Scale: 1:100



E	2024-07-03	Revised for Development Permit	JEIA
D	2023-05-01	Revised for Development Permit	JEIA
C	2023-01-19	Issued for Development Permit	JEIA
B	2022-09-26	Issued for Concept Review	JEI
A	2022-03-17	Issued for Concept Review	JITB

ISSUE	DATE	ISSUE NOTE	BY
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3	2022-11-21	Revised Final RH Carter- Proceed to DP Documentation	JITB
2	2022-10-07	Revised & Submit to RH Carter-Volvo Concept Final	JEI
1	2022-03-19	Revised Showroom Display, GFA Tables	JEI

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PROJECT

Volvo Victoria Dealership

ADDRESS

2512 Government St, Victoria

CLIENT

1163918 Ontario Limited - GAIN Group

DRAWING

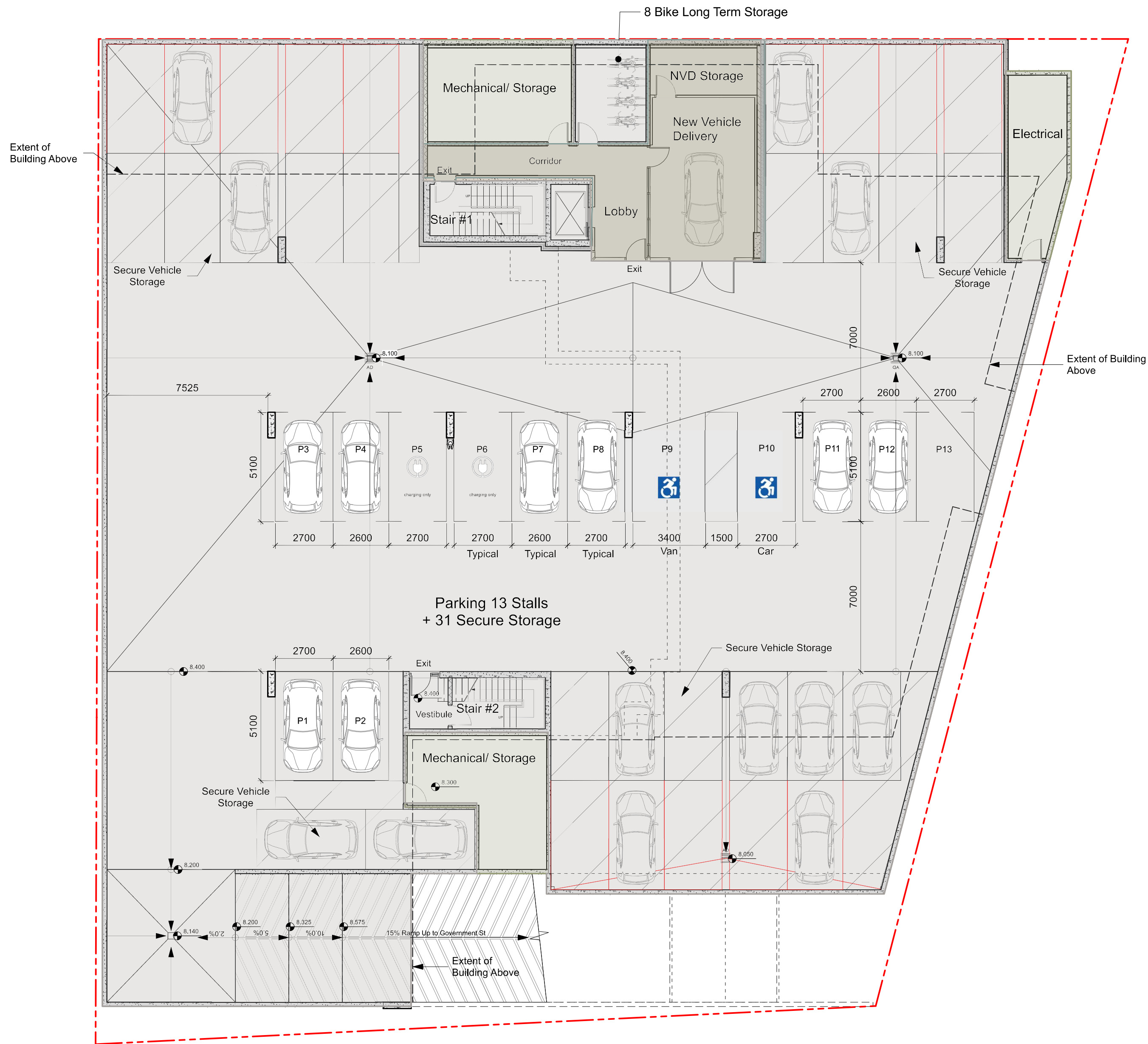
Second Floor Plan

James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

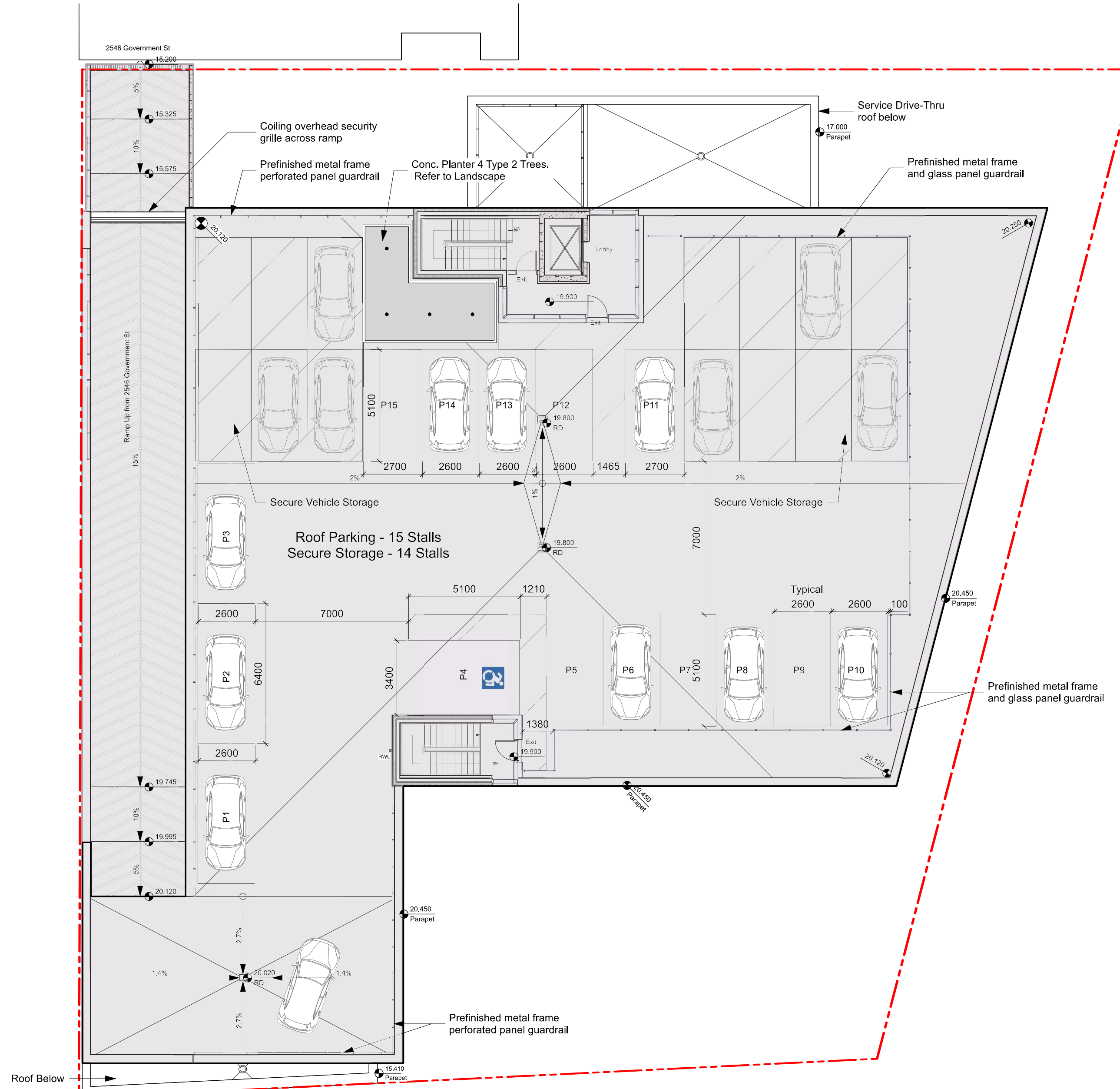
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DRAWN	CHKD	DWG #	REVISION
PLOT DATE	2024-07-03		

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A5



1 P1 Underground Parking
Scale: 1:150



2 Roof Parking Plan
Scale: 1:150



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B	2023-09-26	Issued for Concept Review	JEI
A	2022-03-17	Issued for Concept Review	JITB

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Volvo Victoria Dealership

ADDRESS

2512 Government St, Victoria

CLIENT

1163918 Ontario Limited - GAIN Group

DRAWING

P1 Parking and Roof Plans

James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

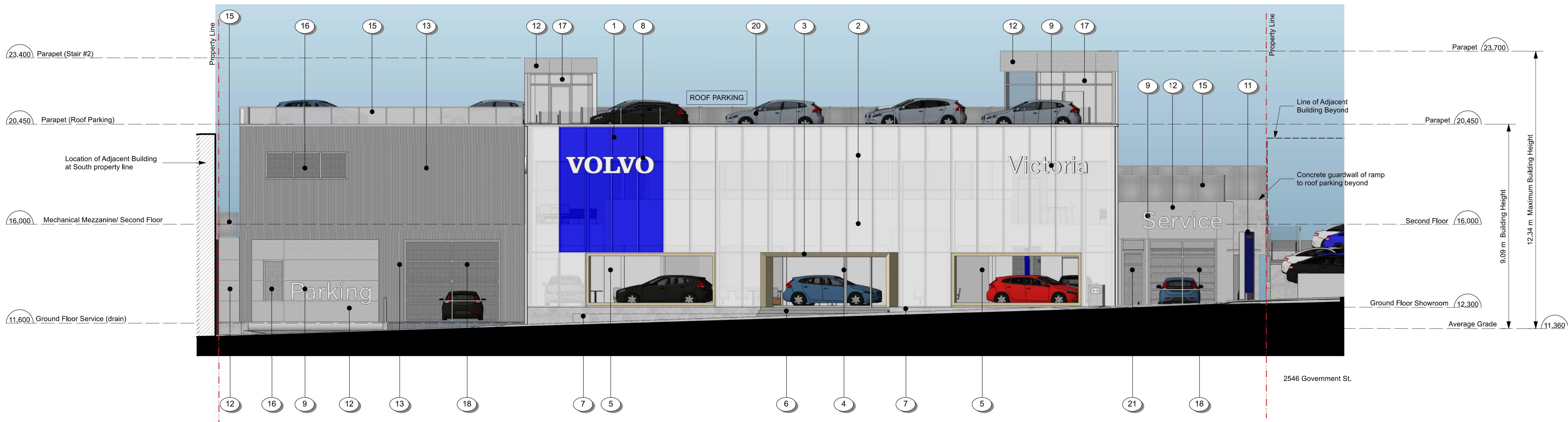
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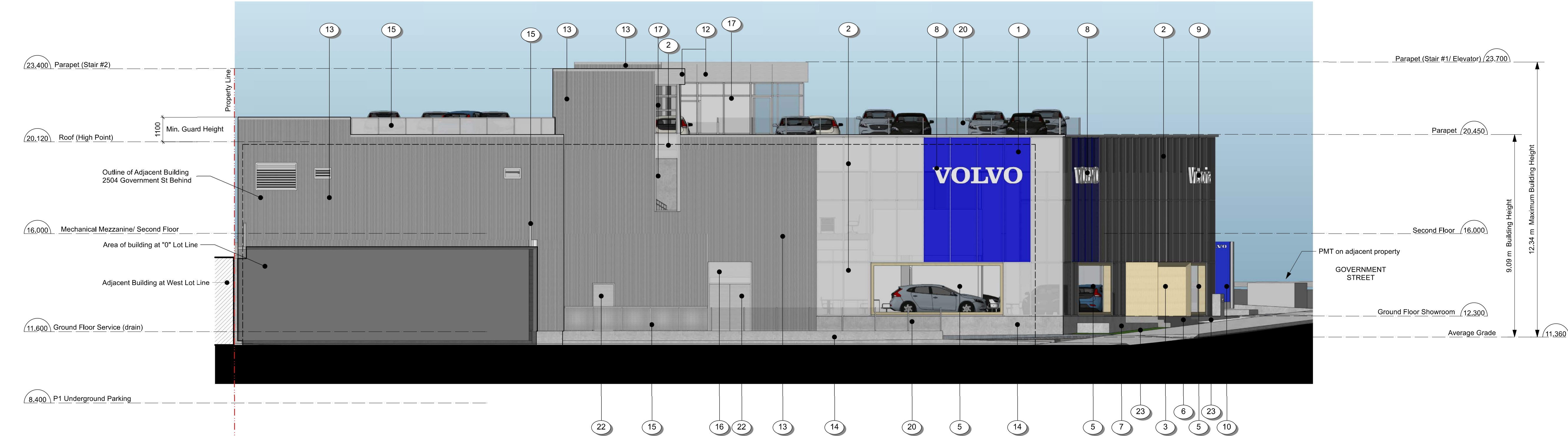
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PLOT DATE 2024-07-03

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1 East (Douglas St) Elevation
Scale: 1:100



2 South Elevation
Scale: 1:100

MATERIALS SCHEDULE

- 1 ALUMINUM CURTAIN WALL WITH VOLVO BLUE GLASS GLAZING (TRANSLUCENT)
- 2 ALUMINUM CURTAIN WALL WITH TRANSLUCENT WHITE GLAZING
- 3 SHOWROOM ENTRANCE PORTAL, TRESPA WOOD CLADDING
- 4 CLEAR GLAZING WITH AUTOMATIC SLIDING ENTRANCE DOOR
- 5 SHOWROOM WINDOW, CLEAR GLAZING WITH WOOD FRAME SURROUND
- 6 CONCRETE STAIRS TO ENTRY PORTAL
- 7 CONCRETE CONTAINERS WITH WHITE RIVER ROCK INFILL
- 8 SIGN PROGRAM - VOLVO WORDMARK (ILLUMINATED CHANNEL LETTERS)
- 9 SIGN PROGRAM - DEALER NAME, SERVICE AND PARKING (ILLUMINATED CHANNEL LETTERS)
- 10 SIGN PROGRAM - DEALERSHIP TOTEM (DOUBLE SIDED/ ILLUMINATED)
- 11 STEEL FRAME WITH GLAZED CANOPY BIKE COVER
- 12 CLADDING - ACM PANEL, COLOUR SILVER METALLIC (MP-1)
- 13 CLADDING - CORRUGATED METAL CLADDING (MP-2)
- 14 CLADDING- CONCRETE, SEALER FINISH
- 15 PREFINISHED METAL FRAME & PERFORATED PANEL GUARD/ SCREEN (SILVER METALIC FINISH)
- 16 CLEAR ANODIZED ALUMINUM FRAME WINDOW
- 17 ALUMINUM CURTAIN WALL, CLEAR ANODIZED
- 18 OVERHEAD DOOR- GLAZED ALUMINUM FRAME, CLEAR ANODIZED
- 19 COILLING OVERHEAD SECURITY GRILLE, PREFINISHED SILVER
- 20 PREFINISHED METAL AND GLASS GUARD
- 21 DOOR- GLAZED ALUMINUM FRAME, CLEAR ANODIZED
- 22 DOOR - INSULATED METAL, PTD. SILVER
- 23 LANDSCAPE BED



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Volvo Victoria Dealership

ADDRESS

2512 Government St, Victoria

CLIENT

1163918 Ontario Limited - GAIN Group

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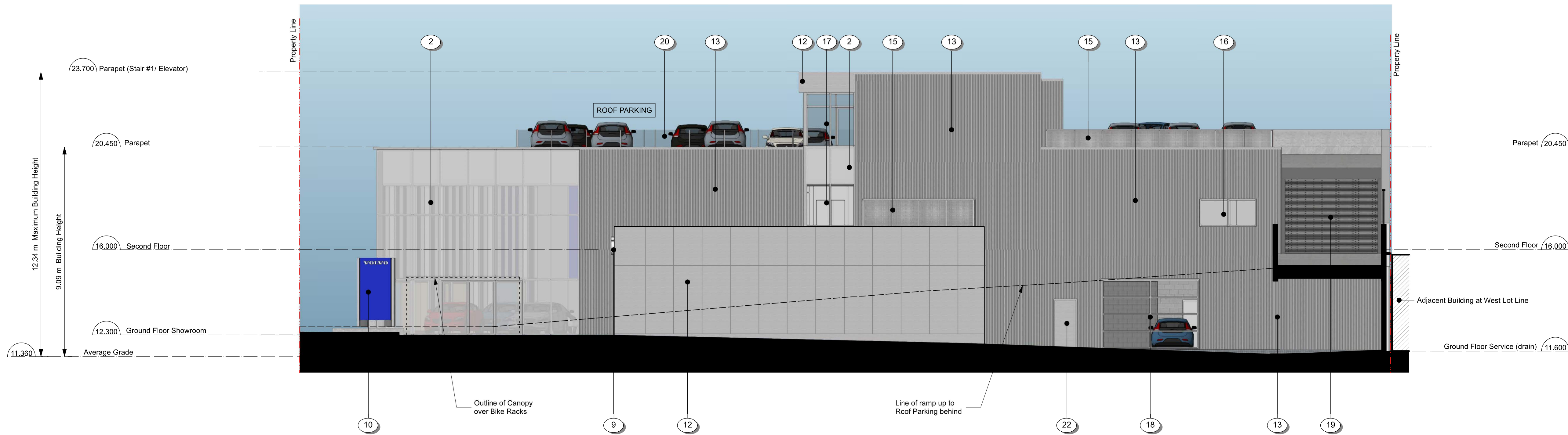
Elevations

James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

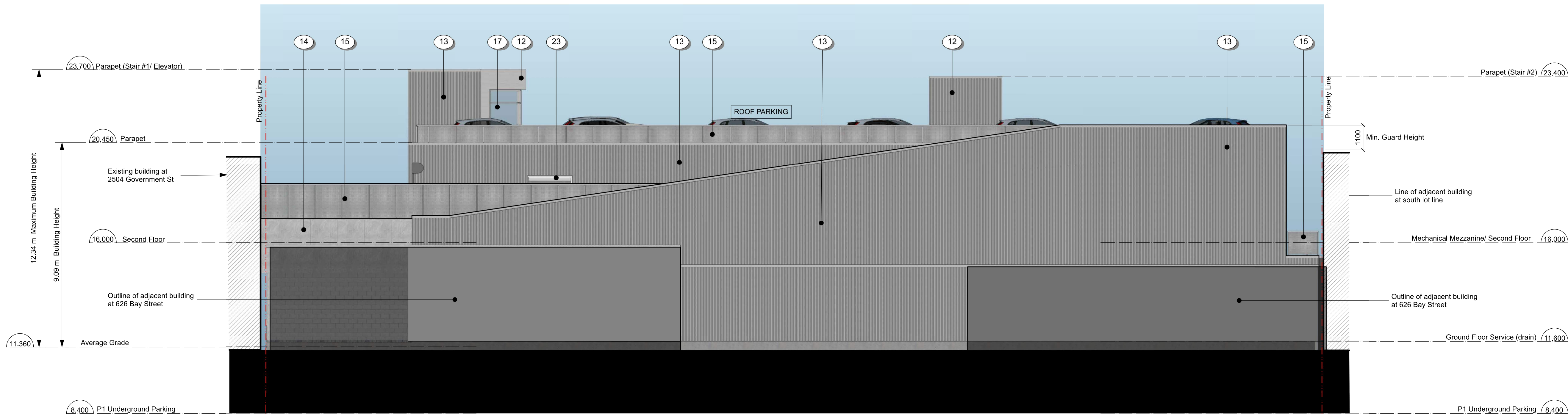
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DRAWN	CHKD	DWG #	REVISION
PLOT DATE	2024-07-03		

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A7



1 North Elevation
Scale: 1:100



2 West Elevation
Scale: 1:100

MATERIALS SCHEDULE

- 1 ALUMINUM CURTAIN WALL WITH VOLVO BLUE GLASS GLAZING (TRANSLUCENT)
- 2 ALUMINUM CURTAIN WALL WITH TRANSLUCENT WHITE GLAZING
- 3 SHOWROOM ENTRANCE PORTAL, TRESPA WOOD CLADDING
- 4 CLEAR GLAZING WITH AUTOMATIC SLIDING ENTRANCE DOOR
- 5 SHOWROOM WINDOW, CLEAR GLAZING WITH WOOD FRAME SURROUND
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- 15 PREFINISHED METAL FRAME & PERFORATED PANEL GUARD/ SCREEN (SILVER METALIC FINISH)
- 16 CLEAR ANODIZED ALUMINUM FRAME WINDOW
- 17 ALUMINUM CURTAIN WALL, CLEAR ANODIZED
- 18 OVERHEAD DOOR- GLAZED ALUMINUM FRAME, CLEAR ANODIZED
- 19 COILLING OVERHEAD SECURITY GRILLE, PREFINISHED SILVER
- 20 PREFINISHED METAL AND GLASS GUARD
- 21 DOOR- GLAZED ALUMINUM FRAME, CLEAR ANODIZED
- 22 DOOR - INSULATED METAL, PTD. SILVER
- 23 LANDSCAPE BED



E	2024-07-03	Revised for Development Permit	JEIA
D	2023-05-01	Revised for Development Permit	JEIA
C	2023-01-19	Issued for Development Permit	JEIA
B	2022-09-26	Issued for Concept Review	JEI
A	2022-03-17	Issued for Concept Review	JITB

ISSUE	DATE	ISSUE NOTE	BY
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3	2022-11-21	Revised Final RH Carter- Proceed to DP Documentation	JITB
2	2022-10-07	Revised & Submit to RH Carter-Volvo Concept Final	JEI
1	2022-03-19	Revised Showroom Display, GFA Tables	JEI

REVISION	DATE	REVISION NOTE	BY
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PROJECT

Volvo Victoria Dealership

ADDRESS

2512 Government St, Victoria

CLIENT

1163918 Ontario Limited - GAIN Group

DRAWING

Elevations



James E. Irwin Architect Inc.

936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

PROJECT # 2112 CAD FILE NAME

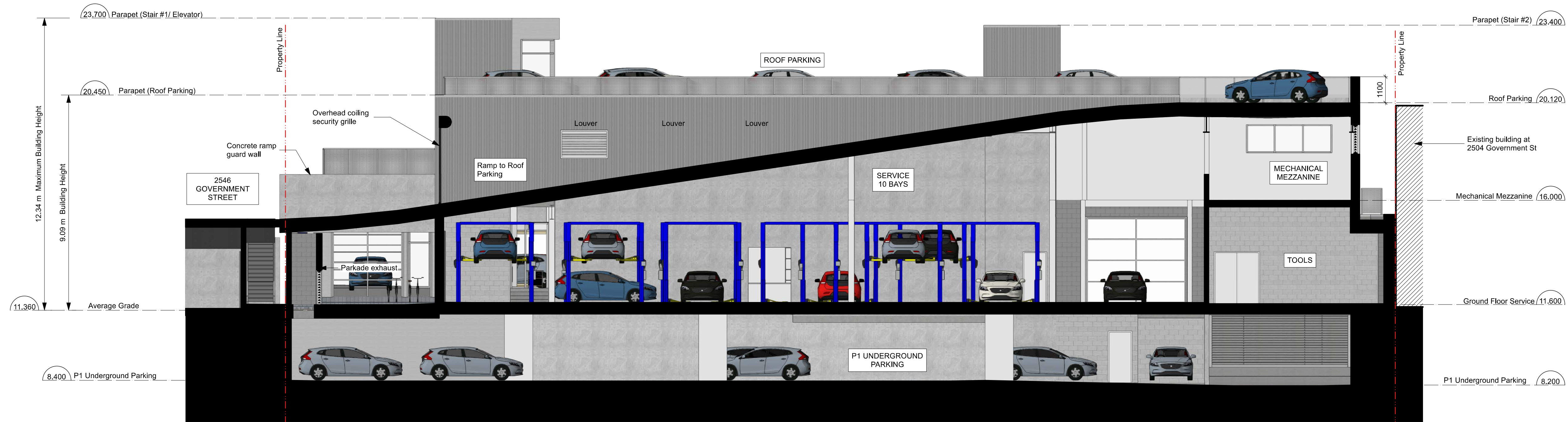
2512 Govt St Volvo Model DP R3

ORIGINAL SHEET SIZE 24" x 36" SCALE FULL SHEET ISSUED: VWA

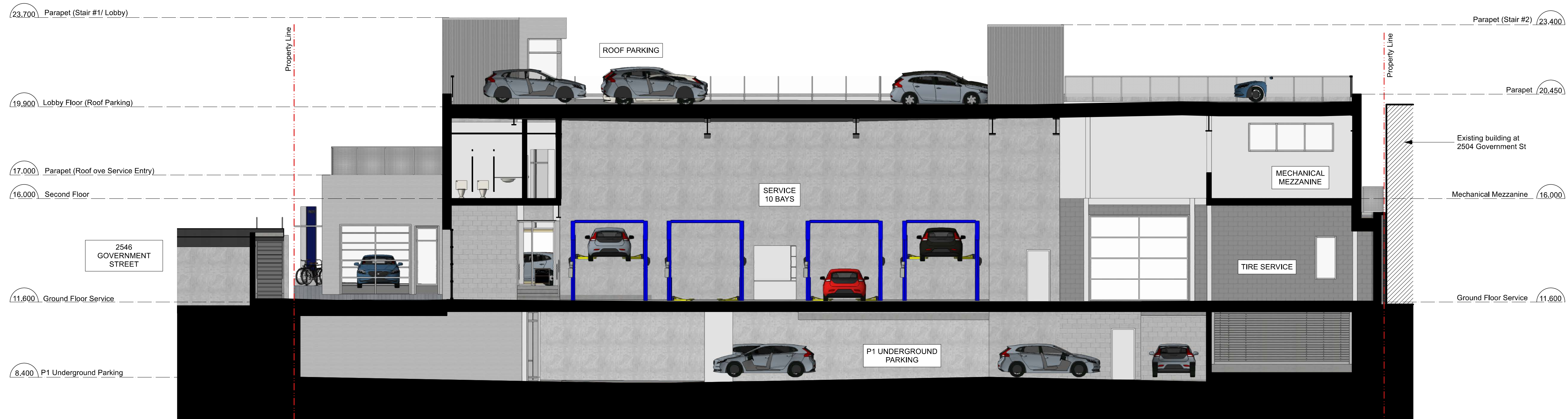
DRAWN CHKD DWG # REVISION

PLOT DATE 2024-07-03

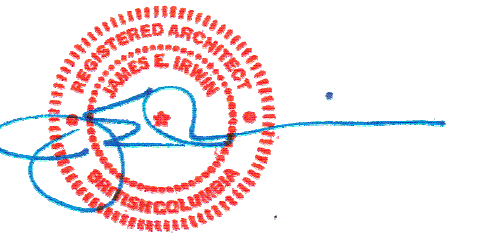
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1 NS Building Section Thru Service at Ramp to Roof Parking
Scale: 1:100



2 NS Building Section Thru Service
Scale: 1:100



E	2024-07-03	Revised for Development Permit	JEIA
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C	2023-01-19	Issued for Development Permit	JEI
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ISSUE	DATE	ISSUE NOTE	BY
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2	2022-10-07	Revised & Submit to RH Carter-Volvo Concept Final	JEI
1	2022-03-19	Revised Showroom Display, GFA Tables	JEI

REVISION	DATE	REVISION NOTE	BY
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PROJECT

Volvo Victoria Dealership

ADDRESS

2512 Government St, Victoria

CLIENT

1163918 Ontario Limited - GAIN Group

DRAWING

Building Sections

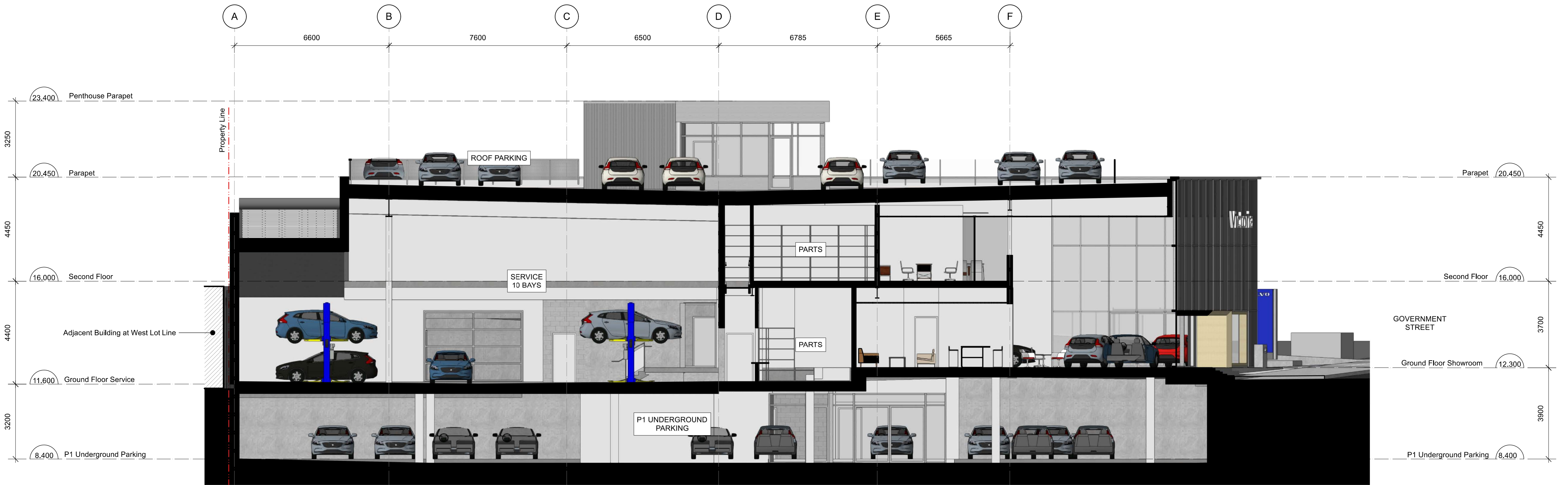
A James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

PROJECT #	2112	CAD FILE NAME	2512 Govt St Volvo Model DP R3
ORIGINAL SHEET SIZE	24" x 36"	SCALE FULL SHEET	ISSUED: JWK
DRAWN	CHKD	DWG #	REVISION
PLOT DATE	2024-07-03		

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1 E-W Building Section Thru South Stair Between Sales & Service
Scale: 1:100



2 E-W Building Section Thru Entrance Element
Scale: 1:100



E	2024-07-03	Revised for Development Permit	JEIA
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C	2023-01-19	Issued for Development Permit	JEIA
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A	2023-03-17	Issued for Concept Review	JITB

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PROJECT

Volvo Victoria Dealership

ADDRESS

2512 Government St, Victoria

CLIENT

1163918 Ontario Limited - GAIN Group

DRAWING

Building Sections

James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

PROJECT # 2112 CAD FILE NAME 2512 Govt St Volvo Model DP R3
ORIGINAL SHEET SIZE 24" x 36" SCALE FULL SHEET ISSUED: JWK

DRAWN CHKD DWG # REVISION

PLOT DATE 2024-07-03

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A10

Code	Description	Image	Specification	Contact
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FACADE (THE GLAZING SYSTEM)

GL-1	Volvo Blue Glass		Manufacturer	VIRACON	Arthur Huard Glasscan Corp
			Description	Insulated Laminated Vanceva Glazing Unit Glass Make-up: 1 5/16" (1.27" avg.) low iron Velour/ VE24-85 Laminated Insulating Glass HS/HS/HS 1/4" low iron Velour #1, heat strengthened .015" blue PVB Vanceva .015" red PVB Vanceva .015" blue PVB Vanceva .015" blue PVB Vanceva 1/4" low iron Velour #4, heat strengthened 1/2" airspace - black Sightline: 5/8", silicone (Black) 1/4" OptiWhite, heat strengthened VE-SS #5, edge deletion	
			Colour	Volvo Blue	

EG-1	Kawneer Clearwall Curtain Wall System (SSI or SSIT)		System	4-sided structural silicone glazed system with toggle capture and shop applied metal facing. Monolithic capless curtain wall system for Showroom exterior. Joints to provide grid-like VRE facade appearance.	Kawneer Company Canada Ltd.
			Finish	Glass Clear Frame Clear Anodized	

EG-3	Solera Insulated Glass Panels		System	High performance insulated glazing units. Capable with various window, curtain wall and storefront systems.	Advanced Glazings Ltd.
			Finish	Glass Translucent Insulated Frame Clear Anodized	

SHOWROOM ENTRANCE PORTAL

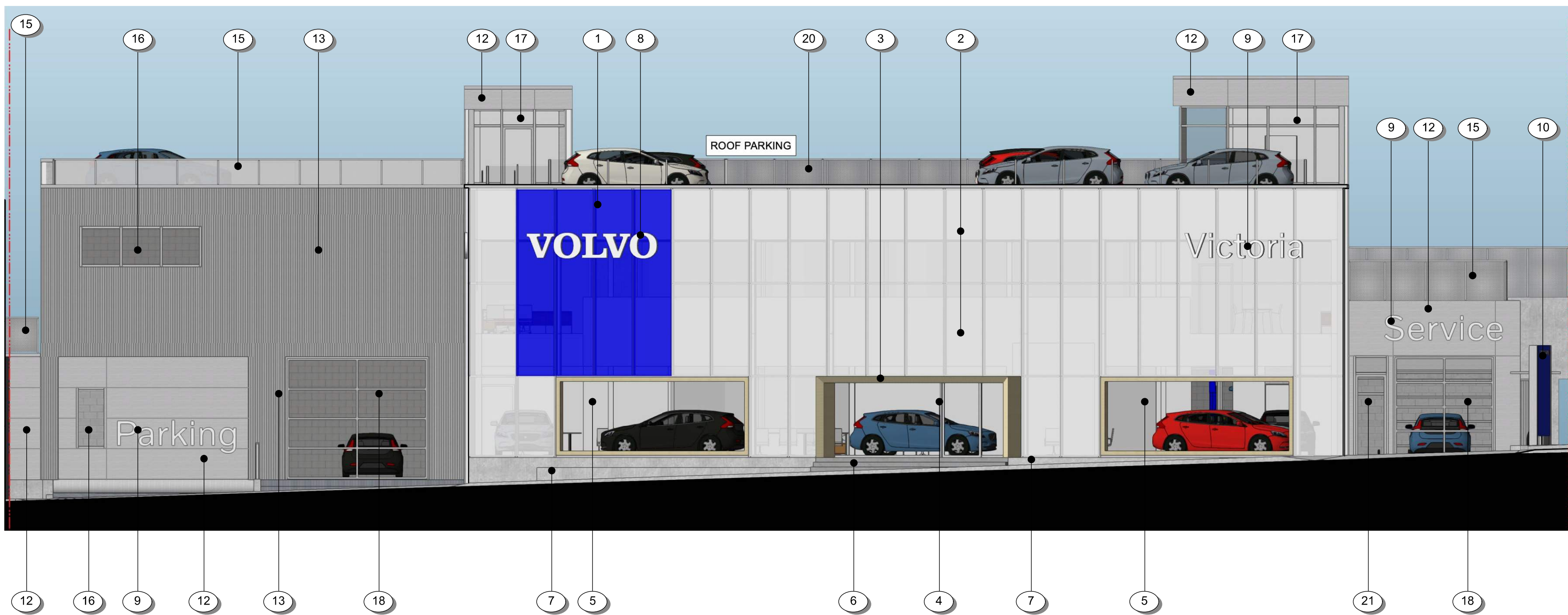
WP-1	Entrance Element Showroom Entrance Shop Window Finish		Manufacturer	Trespa	Trespa
			Description	Decorative high-pressure compact laminate (HPL)	
			Colour	Elegant Oak NW02	

THE SHOP WINDOW

WP-1	Entrance Element Showroom Entrance Shop Window Finish		Manufacturer	Trespa	Trespa
			Description	Decorative high-pressure compact laminate (HPL)	
			Colour	Elegant Oak NW02	

CLADDING

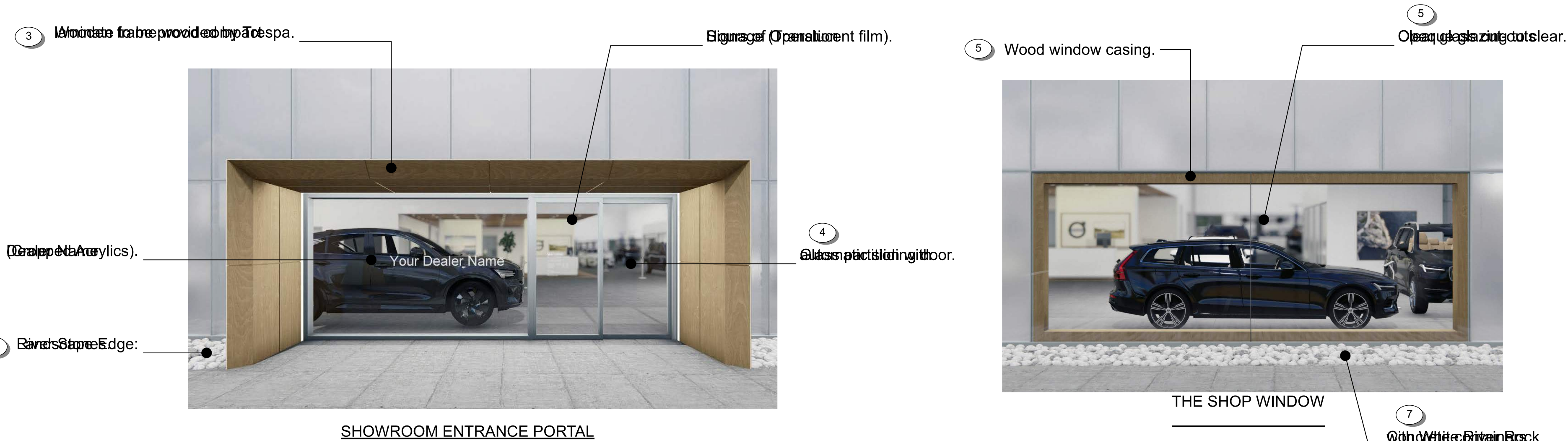
MP-1	ACM Panel For Service Drive- Through		Manufacturer	Sobotec	Sobotec
			Description	Panel size accordingly to glazing unit size.	
			Colour	Silver Metallic	
MP-2	Corrugated Metal Cladding For remainder of facility		Manufacturer	VicWest	VicWest
			Description	7/8" corrugated wall cladding	
			Colour	Bright Silver	



1 East (Government St) Elevation
Scale: n.t.s.



FACADE (THE GLAZING SYSTEM)

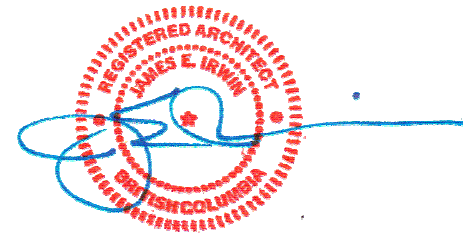


SHOWROOM ENTRANCE PORTAL

THE SHOP WINDOW

MATERIALS SCHEDULE

- ALUMINUM CURTAIN WALL WITH VOLVO BLUE GLASS GLAZING (TRANSLUCENT)
- ALUMINUM CURTAIN WALL WITH TRANSLUCENT WHITE GLAZING
- SHOWROOM ENTRANCE PORTAL, TRESPA WOOD CLADDING
- CLEAR GLAZING WITH AUTOMATIC SLIDING ENTRANCE DOOR
- SHOWROOM WINDOW, CLEAR GLAZING WITH WOOD FRAME SURROUND
- CONCRETE STAIRS TO ENTRY PORTAL
- CONCRETE CONTAINERS WITH WHITE RIVER ROCK INFILL
- SIGN PROGRAM - VOLVO WORDMARK (ILLUMINATED CHANNEL LETTERS)
- SIGN PROGRAM - DEALER NAME, SERVICE AND PARKING (ILLUMINATED CHANNEL LETTERS)
- SIGN PROGRAM - DEALERSHIP TOTEM (DOUBLE SIDED/ ILLUMINATED)
- STEEL FRAME WITH GLAZED CANOPY BIKE COVER
- CLADDING - ACM PANEL, COLOUR SILVER METALLIC (MP-1)
- CLADDING - CORRUGATED METAL CLADDING (MP-2)
- CLADDING- CONCRETE, SEALER FINISH
- PREFINISHED METAL FRAME & PERFORATED PANEL GUARD/ SCREEN (SILVER METALIC FINISH)
- CLEAR ANODIZED ALUMINUM FRAME WINDOW
- ALUMINUM CURTAIN WALL, CLEAR ANODIZED
- OVERHEAD DOOR- GLAZED ALUMINUM FRAME, CLEAR ANODIZED
- COILING OVERHEAD SECURITY GRILLE, PREFINISHED SILVER
- PREFINISHED METAL AND GLASS GUARD
- DOOR- GLAZED ALUMINUM FRAME, CLEAR ANODIZED
- DOOR - INSULATED METAL, PTD. SILVER
- LANDSCAPE BED



C	2024-07-03	Revised for Development Permit	
B	2023-05-01	Revised for Development Permit	JEIA
A	2023-01-19	Issued for Development Permit	JEIA
ISSUE	DATE	ISSUE NOTE	BY


REVISION	DATE	REVISION NOTE	BY
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PROJECT	Volvo Victoria Dealership
ADDRESS	2512 Government St, Victoria
CLIENT	1163918 Ontario Limited - GAIN Group
DRAWING	Materials

Code	Description	Image	Specification	Contact
------	-------------	-------	---------------	---------


FACADE (THE GLAZING SYSTEM)

GL-1	Volvo Blue Glass		Manufacturer	VIRACON		Arthur Huard Glasscan Corp	
			Description	Insulated Laminated Vanceva Glazing Unit Glass Make-up: 1 5/16" (1.27" avg.) low iron Velour/ VE24-85 Laminated Insulating Glass HS/HS/HS 1/4" low iron Velour #1, heat strengthened .015" blue PVB Vanceva .015" red PVB Vanceva .015" blue PVB Vanceva .015" blue PVB Vanceva 1/4" low iron Velour #4, heat strengthened 1/2" airspace - black Sightline: 5/8", silicone (Black) 1/4" OptiWhite, heat strengthened VE-BS #5, edge deletion			
			Colour	Volvo Blue			

EG-1	Kawneer Cleanwall Curtain Wall System (SSI or SSIT)		System			Kawneer Company Canada Ltd.
			4-sided structural silicone glazed system with toggle capture and shop applied metal facing. Monolithic capless curtain wall system for Showroom exterior. Joints to provide grid-like VRE facade appearance.			
			Finish			
			Glass	Clear		
			Frame	Clear Anodized		

EG-3	Solera Insulated Glass Panels		System	High performance insulated glazing units. Capatible with various window, curtain wall and storefront systems.		Advanced Glazings Ltd.
			Finish	Glass	Translucent Insulated	
				Frame	Clear Anodized	


SHOWROOM ENTRANCE PORTAL

WP-1	Entrance Element		Manufacturer	Trespa	Trespa
			Description	Decorative high-pressure compact laminate (HPL)	
			Colour	Elegant Oak NW02	

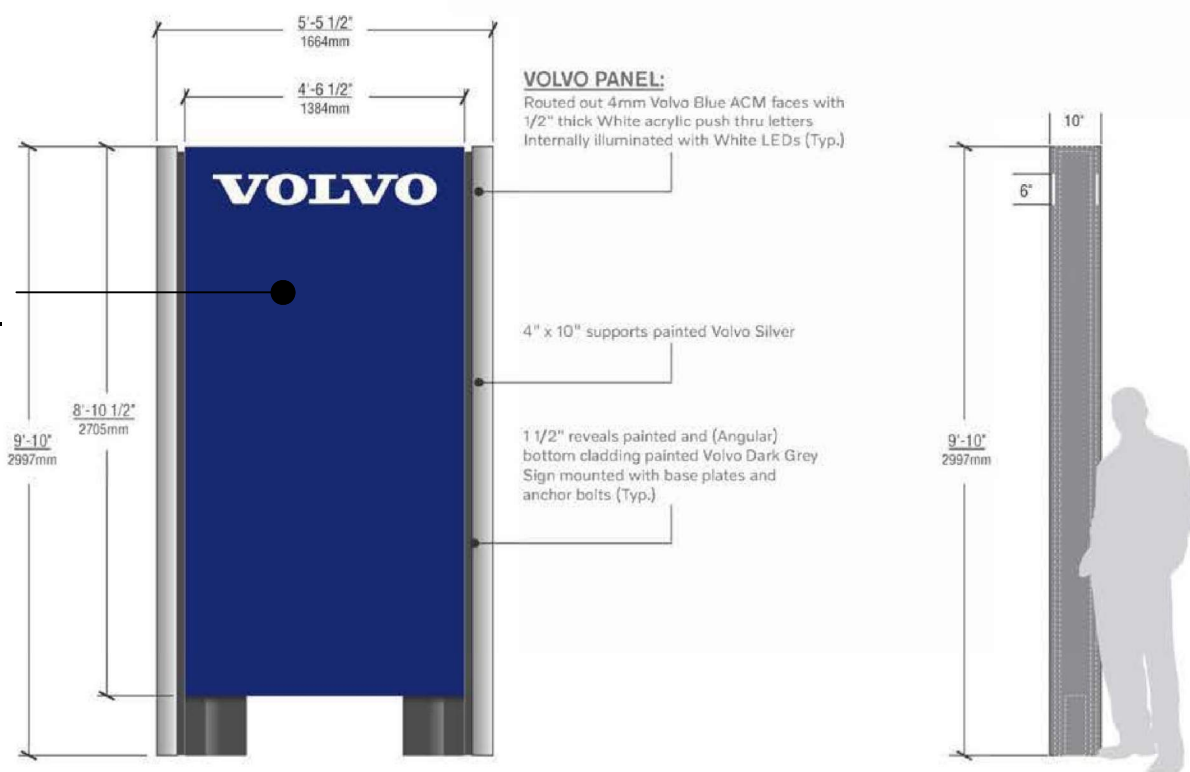
THE SHOP WINDOW

WP-1	Entrance Element		Manufacturer	Trespa	Trespa
			Description	Decorative high-pressure compact laminate (HPL)	
			Colour	Elegant Oak NW02	

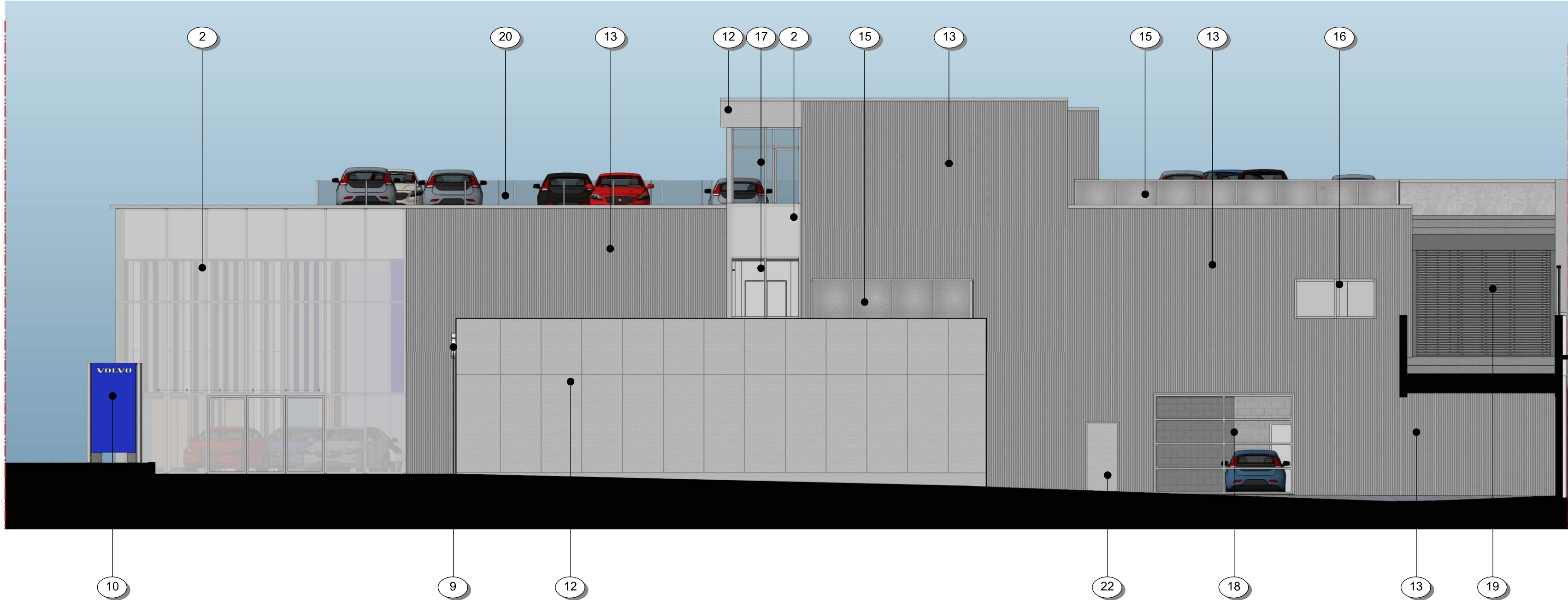
CLADDING

MP-1	ACM Panel For Service Drive-Through		Manufacturer	Sobotec	Sobotec
			Description	Panel size accordingly to glazing unit size.	
			Colour	Silver Metallic	
MP-2	Corrugated Metal Cladding For remainder of facility		Manufacturer	VicWest	VicWest
			Description	7/8" corrugated wall cladding	
			Colour	Bright Silver	

10 Totem Sign at Entry
(Double Sided / Illuminated).



ENTRY SIGN (Pedestrian Scale)



1 North Elevation
Scale: n.t.s.

EXTERIOR LIGHTING

Code	Description	Image	Specification	Contact	
LIGHTING - OPTION 2 - SALEX					
ELF-1	VLX LED Pole Mount		Description	Hi output, full cutoff luminaire. 4000K. Up to 52647 lumens. Quali-Guard chemically pretreated finish.	Salex
	Dimensions		Width: 16.5" Depth: 36.6" Height: 4.39" Overall Height: 10.19"		
	Finish		Silver		
ELF-2	VSC LED Wall Mount		Description	Hi output, full cutoff luminaire. 4000K. Up to 13636 lumens. Quali-Guard chemically pretreated finish.	Salex
	Dimensions		Width: 10.5" Depth: 14" or 17" Height: 5"		
	Finish		Silver		
ELF-3	Gothic180 Large Walkways		Description	LED light source Colour Temperature: 4000K (2700K on request) 32 W CRI>70	Salex
	Dimensions		Width: 7" 3/32 (square) Height: 39 3/8"		
	Finish		Matte Finish RAL7035 Light Grey		
ELF-4	BEAM 4 LED Entrance Element		Description	Recessed Mount with StepLens Option and 1" 3/4" Downlight Insert Flush: Shielding option	Salex
	Dimensions		Width: 4 1/8" Depth: 3 15/16" Length: system run		
	Finish		White		

8 White Word Mark, 3D Sign:
Matt-brushed stainless steel side.
White translucent acrylic front.
Illuminated Volvo Word Mark (LED).



SIGN PROGRAM (EXTERIOR SIGNAGE)

9 Dealer Name: Illuminated Channel Letters.
Clear Satin brushed aluminum returns.
White Acrylic faces with Brushed Silver trimcap.
Internally illuminated.

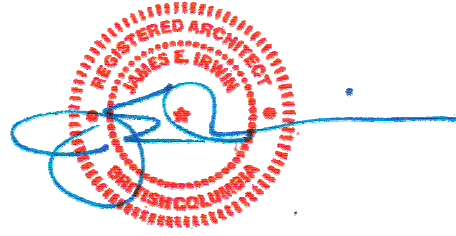


9 Service Letters: Illuminated Channel Letters.
Clear Satin brushed aluminum returns.
White Acrylic faces with Brushed Silver trimcap.
Internally illuminated.



MATERIALS SCHEDULE

- 1 ALUMINUM CURTAIN WALL WITH VOLVO BLUE GLASS GLAZING (TRANSLUCENT)
- 2 ALUMINUM CURTAIN WALL WITH TRANSLUCENT WHITE GLAZING
- 3 SHOWROOM ENTRANCE PORTAL, TRESPA WOOD CLADDING
- 4 CLEAR GLAZING WITH AUTOMATIC SLIDING ENTRANCE DOOR
- 5 SHOWROOM WINDOW, CLEAR GLAZING WITH WOOD FRAME SURROUND
- 6 CONCRETE STAIRS TO ENTRY PORTAL
- 7 CONCRETE CONTAINERS WITH WHITE RIVER ROCK INFILL
- 8 SIGN PROGRAM - VOLVO WORDMARK (ILLUMINATED CHANNEL LETTERS)
- 9 SIGN PROGRAM - DEALER NAME, SERVICE AND PARKING (ILLUMINATED CHANNEL LETTERS)
- 10 SIGN PROGRAM - DEALERSHIP TOTEM (DOUBLE SIDED/ ILLUMINATED)
- 11 STEEL FRAME WITH GLAZED CANOPY BIKE COVER
- 12 CLADDING - ACM PANEL, COLOUR SILVER METALLIC (MP-1)
- 13 CLADDING - CORRUGATED METAL CLADDING (MP-2)
- 14 CLADDING- CONCRETE, SEALER FINISH
- 15 PREFINISHED METAL FRAME & PERFORATED PANEL GUARD/ SCREEN (SILVER METALIC FINISH)
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- 18 OVERHEAD DOOR- GLAZED ALUMINUM FRAME, CLEAR ANODIZED
- 19 COILING OVERHEAD SECURITY GRILLE, PREFINISHED SILVER
- 20 PREFINISHED METAL AND GLASS GUARD
- 21 DOOR- GLAZED ALUMINUM FRAME, CLEAR ANODIZED
- 22 DOOR - INSULATED METAL, PTD. SILVER
- 23 LANDSCAPE BED



C	2024-07-03	Revised for Development Permit	
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A	2023-01-19	Issued for Development Permit	JEIA
ISSUE	DATE	ISSUE NOTE	BY

REVISION	DATE	REVISION NOTE	BY
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PROJECT

Volvo Victoria Dealership

ADDRESS

2512 Government St, Victoria

CLIENT

1163918 Ontario Limited - GAIN Group

DRAWING

Materials

James E. Irwin Architect Inc.

936 Wilmer St.

Victoria, B.C. V8S 4B7

Tel: 250 213-5556

PROJECT # 2112 CAD FILE NAME

2512 Govt St A11_A12 Volvo Materials

ORIGINAL SHEET SIZE 24" x 36" SCALE FULL SHEET

DRAWN CHKD DWG # REVISION

PLOT DATE 2024-07-03

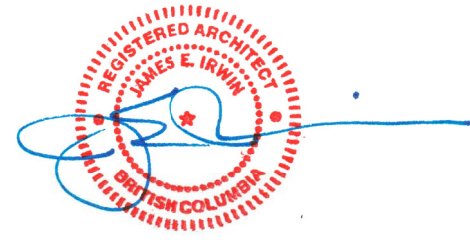
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1 Street View Looking South West



2 Street View Looking North West



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A	2023-01-19	Issued for Development Permit	JEIA

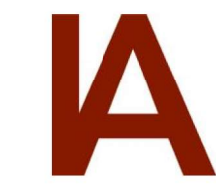
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PROJECT	Volvo Victoria Dealership
ADDRESS	2512 Government St, Victoria
CLIENT	1163918 Ontario Limited - GAIN Group
DRAWING	Street Vignettes



James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

PROJECT #	2112	CAD FILE NAME	2512 Govt St A13_A14 Volvo Vignettes
ORIGINAL SHEET SIZE	24" x 36"	SCALE FULL SHEET	1:100
DRAWN	jc	DWG #	
PLOT DATE	2024-07-03	REVISION	

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A13

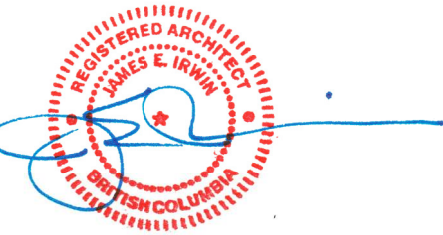


1 Aerial Street View Looking North West



2504 Government St (Existing) | 2512 Government St (Proposed) | 2532 Government St (Existing) | 2546 Government St (Existing)

2 Government Street Elevation



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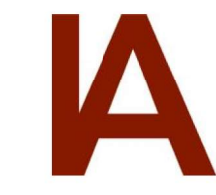
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PROJECT
Volvo Victoria Dealership

ADDRESS
2512 Government St, Victoria

CLIENT
1163918 Ontario Limited - GAIN Group

DRAWING
Street Vignette and Elevation



James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

PROJECT #	2112	CAD FILE NAME	2512 Govt St A13_A14 Volvo Vignettes
ORIGINAL SHEET SIZE	24" x 36"	SCALE FULL SHEET	1:100
DRAWN	jc	CHKD	jji
PLOT DATE	2024-07-03	DWG #	REVISION

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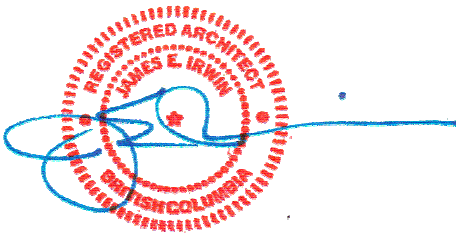
A14



1 Aerial Street View Looking South West



2 Side View Looking South- East



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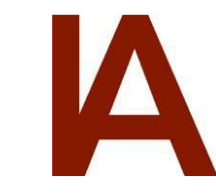
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PROJECT
Volvo Victoria Dealership

ADDRESS
2512 Government St, Victoria

CLIENT
1163918 Ontario Limited - GAIN Group

DRAWING
Model Vignettes



James E. Irwin Architect Inc.
936 Wilmer St.
Victoria, B.C. V8S 4B7
Tel: 250 213-5556

PROJECT #	2112	CAD FILE NAME	2512 Govt St A13_A14 Volvo Vignettes
ORIGINAL SHEET SIZE	24" x 36"	SCALE FULL SHEET	1:100
DRAWN	jc	CHKD	jbi
PLOT DATE	2024-07-03	DWG #	REVISION

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A15

Preparation notes:

1. Container grower; remove completely from container.
2. Buffer and remove top 1/3 of covering.
3. Vase and buffer remove top 1/3 of vase and buffer covering without damaging rootball. Remove all debris.
4. Do not prune leader, only dead or damaged branches.

NOTE: ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA (COV) SCHEDULE C SPECIFICATIONS

COV "Standard Tree Guard":
Fabricated by COV Public Works.
To order contact Parks Division
250-361-0600

Tree grate: Dabney Foundry
SP 462AT (typ.)

Top of root ball to 100mm below walk

40mm 8p min. for tree grate

200mm depth (UB-12-2)
"DeepRoot" root barrier.
Install 25mm below grate
8p, w/ 4 sides of tree wall
w/500mm overlap
(5.3m length=10)

Fiber fabric:

Roadway detail refer to civil design

Concrete/paver sidewalk

100mm depth of pea gravel

Growing medium

Compact subgrade to 98% MFD

Scarify bottom of pit

700 mm compacted structural soil to approval of geotech engineer or growing medium as per COV Soil-C Specifications

File: v:\design\project_s\pdr landscape\drawings\SD-P5.DWG

DATE: Feb.27, 2016

DWN: SD-P5

APPD: SD-P5

SD-P5

Tree Planting in Sidewalk with Tree Guard

Native and adaptable shade tolerant plant species including:
Dwarf Sweet Box, Low Oregon Grape, Snowberry, Western Sword and Deer Fern

Two toned unit paver loading bay entrance

Underground parking structure

EXISTING BUILDING

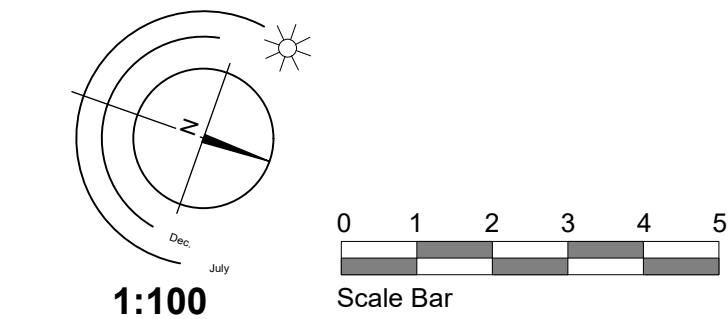
3m x 3m sight triangles e/s driveway

Existing sidewalk

Retained street tree

Existing Power Pole (typical)

Proposed concrete driveway



PLANT PALETTE

Landscape Concept Plan - 2512 Government Street

Recommended Nursery Stock

ID	Quantity	Botanical Name	Common Name	Size
PaPe	4	Parrotia persica 'Ruby Vase'	Ruby Vase Persian Ironwood	6cm cal.
ID	Quantity	Botanical Name	Common Name	Size
HyMLW	3	Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#5 pot
MaAq	4	Mahonia aquifolium	Tall Oregon Grape	#5 pot
ID	Quantity	Botanical Name	Common Name	Size
SaHH	9	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot
SpG	6	Spiraea 'Goldflame'	Goldflame Spirea	#2 pot
ID	Quantity	Botanical Name	Common Name	Size
BlSp	9	Blechnum spicant	Deer Fern	#1 pot
CaKF	7	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
HeSe	118	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
PoMu	11	Polystichum munitum	Sword Fern	#1 pot

- Notes:
1. All work to be completed to current CSLA Landscape Standard.
 2. All soft landscape to be irrigated with an automatic irrigation system.
 3. Municipal trees to be procured & planted by the applicant.
 4. The proposed Boulevard Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.
 5. Tree Planting Instructions:
 - Excavated tree pits, soil cells, root barriers
 - Trees prior to planting. Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-land and mainland nurseries. Tree must meet the spec upon delivery.
 - Completed planting tree planting, grate/guard, stakes etc.

SOIL VOLUME TABLE			Replacement Trees Proposed				Soil Volume Required (m3)			
Planting Area ID	Area (M2)	Soil Volume multiplier	A Estimated soil Volume	B # Small	C # Medium	D # Large	E Small	F Medium	G Large	Total **
Onsite										
Area 1	24	1.0	24	4			24			24
Offsite (Excluding City Property)										
Planting Area OSA X							E	F	G	TOTAL
Offsite (Excluding City Property)							E	F	G	E + F + G
Calculation							If B = 1, B x 8 If C = 1, C x 2 If D = 1, D x 3 If B > 1, B x 6 If C > 1, C x 1 If D > 1, D x 3			

* On ground (excluding exposed bedrock): use 1, On structure: use depth of soil, On soil cells: use 0.92, On structural soil: use 0.2
** Total must not exceed A. If Total exceeds A, then the number or size of proposed replacement trees must be reduced.

Tag #	Surveyed (Yes/No)	Location (On/Off Street)	Botanical Name	Common Name	DBH (cm)	Crown radius (m)	Critical root zone (m)	Condition	Structural	Relative to street	General field observations/remarks	Tree information/owner	Retention status
M1	Y	M	Red Maple	Acer rubrum	45	4	4.8	Fair	Fair to good	Good	Likely rooted in tree well, utility line through canopy, included bark at various points.	Impacted by driveway widening	Remove
M2	Y	M	Red Maple	Acer rubrum	15	1	1.5	Fair	Fair to good	Good	Likely rooted in tree well, utility line through canopy, included bark at various points.	Impacted by driveway widening	Remove
M3	Y	M	Red Maple	Acer rubrum	38	3	3.8	Fair	Fair to good	Good	Likely rooted in tree well, utility line through canopy, included bark at various points.	Impacted by driveway widening	Remove
M4	Y	M	Red Maple	Acer rubrum	34	4	3.8	Fair	Fair to good	Good	Likely rooted in tree well, utility line through canopy, included bark at various points, wound on lower trunk with some decay.	Impacted by driveway widening	Remove
NT1	Y	On	Austrian Pine	Pinus nigra	45	5	4.5	Fair to good	Fair to poor	Good	Included bark at lower trunk, codominant leaders, corrected and lower trunk	Within building footprint	Remove
NT2	Y	On	Lumpkin	Lonicera sp.	20	1	2	Fair to good	Fair to good	Good	Overhanging stem, small shadowed	Within building footprint	Remove

Prepared by: Tamarack Urban Forestry Consultants Ltd.
P: (250) 478-4733
F: (250) 478-7050
Email: info@tamarackurbanforestry.com

TREE PRESERVATION SUMMARY

	Count	Multiplier	Total
ONSITE Minimum replacement tree requirement			
A. Protected Trees Removed	1	X 1	A. 1
B. Replacement Trees Proposed per Schedule "E", Part 1	0	X 1	B. 0
C. Replacement Trees Proposed per Schedule "E", Part 2	4	X 0.5	C. 2
D. Replacement Trees Proposed per Schedule "E", Part 3	0	X 1	D. 0
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number			E. 2
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 0
ONSITE Minimum trees per lot requirement (onsite trees)			
G. Tree minimum on lot			G. *10
H. Protected trees retained (other than specimen trees)	0	X 1	H. 0
I. Specimen trees retained	0	X 3	I. 0
J. Trees per lot deficit (G - (B+C+H+I)) Record 0 if negative number			J. 8
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees Removed	1	X 1	K. 1
L. Replacement trees proposed per Schedule "E", Part 1 or Part 3	0	X 1	L. 0
M. Replacement trees proposed from Schedule "E", Part 2	0	X 0.5	M. 0
N. Total replacement trees proposed (L+ M) Round down to nearest whole number			N. 0
O. Offsite replacement tree deficit (K - N) Record 0 if negative number			O. 1
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F, or J., whichever is the greater number			P. 10
Q. Offsite trees proposed for cash-in-lieu Enter O			Q. 1
R. Cash-in-lieu proposed ((P+Q) X \$2,000)			R. \$22,000.00

Existing Tree Legend:

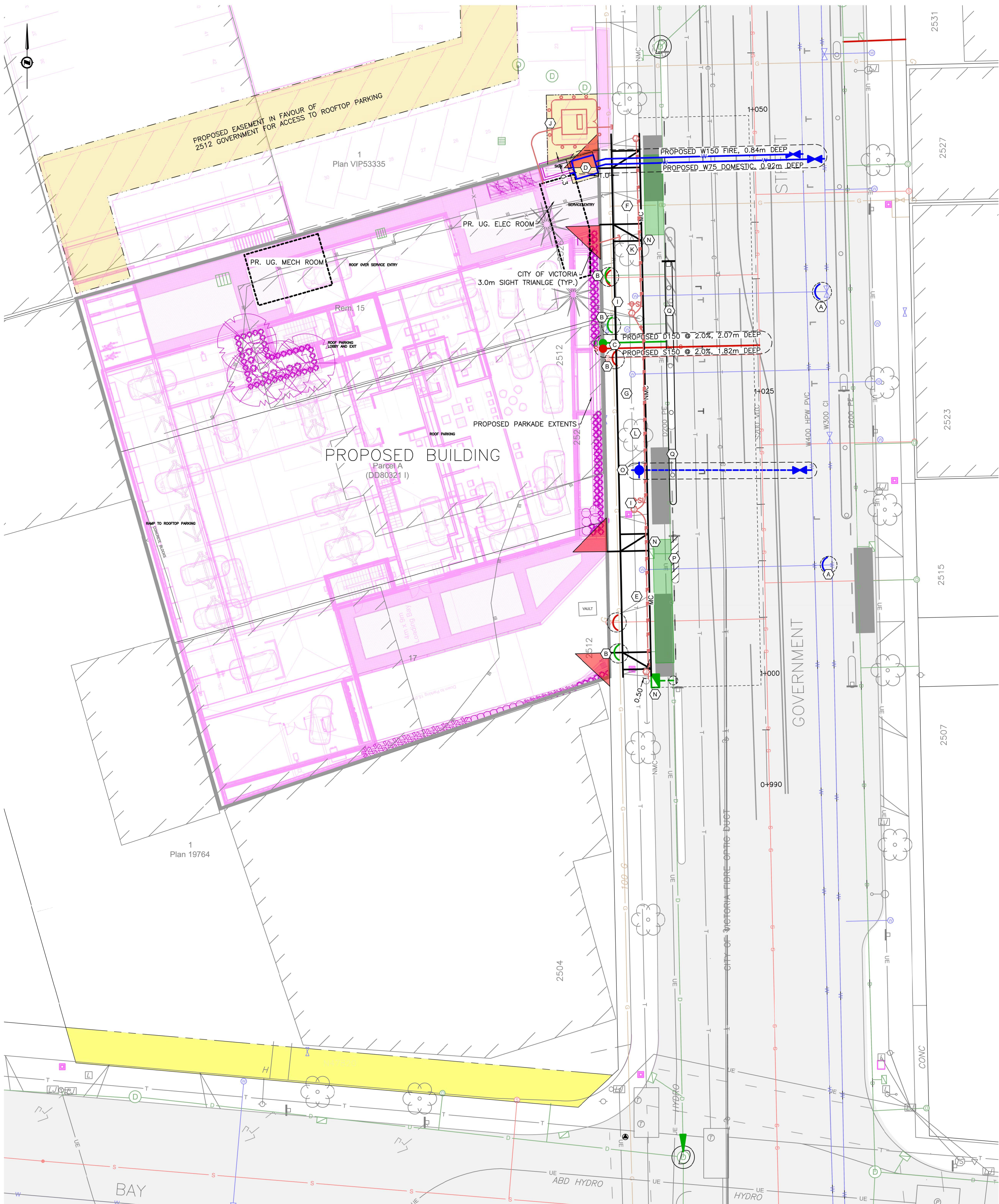
- Retained Tree
- Retained Tree
 - Crown Spread
 - Tree Tag #. See Tree Inventory for assessment.
 - Protected Root Zone
- Removed Tree
- Removed Tree
 - Protected Root Zone
 - Tree Tag #. See Tree Inventory for assessment.

Revision D: June 11, 2024
Revision C: Aug 31, 2023
Revision B: May 12, 2023
Revision A: May 2, 2023



Project No: 2512 27 January 2023

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105



SITE SERVICING PLAN
1:200



PRELIMINARY SERVICING PLAN

V:\Projects\31786-2 - JIA - 2512 Government\07 - Engineering\02 - Drawings & Sketches (Eng)\31786-2 - Design.dwg Plot Date: June 18, 2024

SHEET NOTES:

- (A) CITY OF VICTORIA CREWS TO CAP AND ABANDON EXISTING WATER SERVICES AT DEVELOPERS EXPENSE.
- (B) CONTRACTOR TO CAP AND ABANDON EXISTING SEWER AND DRAIN SERVICES DURING DEMOLITION STAGE.
- (C) CITY OF VICTORIA CREWS TO INSTALL SEWER AND DRAIN SERVICE AT DEVELOPERS EXPENSE. DETAILED DESIGN AND SIZING TO BE DETERMINED DURING BUILDING PERMIT STAGE.
- (D) CITY OF VICTORIA WATER CREWS TO INSTALL WATER VAULT C/W DCA, FIRE SUPPLY LINE, AND DOMESTIC WATER SERVICE AT DEVELOPER'S EXPENSE. DETAILED DESIGN SPECS TBD AT BUILDING PERMIT STAGE. PROPOSED SRW ON SITE AS REQUIRED.
- (E) CONTRACTOR TO CONSTRUCT 9.0m DRIVEWAY AS PER CITY OF VICTORIA SD C7B AND HIGHWAYS ACCESS BYLAW. THE DEVELOPER REQUESTS COV TO REDUCE THE MINIMUM CLEARANCE AS PER SECTION 16.4 OF THE HIGHWAY ACCESS BYLAW.
- (F) CONTRACTOR TO CONSTRUCT 5.0m DRIVEWAY AS PER CITY OF VICTORIA SD C7B AND HIGHWAYS ACCESS BYLAW.
- (G) CONTRACTOR TO REMOVE EXISTING SIDEWALK, CURB, AND GUTTER AND CONSTRUCT NEW 3.7m WIDE SIDEWALK, CURB, AND GUTTER.
- (I) PROPOSED STREET LIGHT. FINAL LOCATION AND TYPE TO BE DETERMINED AT BUILDING PERMIT STAGE.
- (J) PROPOSED PMT AND ELECTRICAL SERVICING. SRW REQUIRED ON NEIGHBORING PROPERTY.
- (K) EXISTING TREE TO BE REMOVED FOR NEW DRIVEWAY.
- (L) EXISTING TREE TO BE RETAINED.
- (M)
- (N) EXISTING CATCH BASIN TO BE RELOCATED OUTSIDE OF PROPOSED DRIVEWAY.
- (O) CITY OF VICTORIA TO INSTALL NEW FIRE HYDRANT AND CONNECT TO MUNICIPAL WATER SYSTEM.
- (P) EXISTING ISLAND TO BE REMOVED.
- (Q) EXISTING ISLAND TO BE EXTENDED TO NEW DRIVEWAY CROSSING.

NOTE:
GOVERNMENT STREET HAS CONCRETE ROAD BASE REPAIR. CONTRACTOR TO ADHERE TO CONCRETE ROAD BASE REPAIR AS PER CITY OF VICTORIA SD G5B.

LEGAL DESCRIPTIONS: LOTS 2 AND 3, SECTION 7, VICTORIA DISTRICT, PLAN 9027, EXCEPT PART IN PLAN VIP53056
BENCHMARK: MONUMENT 79-8807 ELEV. 13.490m
NOTE: ALL SEWER, DRAIN, WATER LOCATIONS AND ELEVATIONS DERIVED FROM CITY OF VICTORIA RECORD DRAWINGS.

2512 GOVERNMENT ST. PRELIMINARY CIVIL SERVICING PLAN

Scale 1:200 Drawn By: MJ
Sheet 1 of 1

Eng. Project No. 31786-2



LEGEND

LAMP STANDARD	○ LS	● LS	CLEANOUT	□	DITCH	→
POLE(Hydro, Tel.)	⊕ PP	● PP	CATCHBASIN	■	METER	⊕ BW
U/G WIRING	— UE	—	MANHOLE	⊕	FLUSH VALVE	⊕
GAS	— G	—	SERVICE RISER	⊕	VALVE	⊕
WATER	— W	—	MOUNTABLE CURB	MC	REDUCER	⊕
SEWER	— S	—	NON-MOUNT. CURB	NMC	HYDRANT	⊕
DRAIN	— D	—	EDGE ASPHALT	—	AIR VALVE	⊕

JEA J E ANDERSON & ASSOCIATES

SURVEYORS - ENGINEERS

VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com