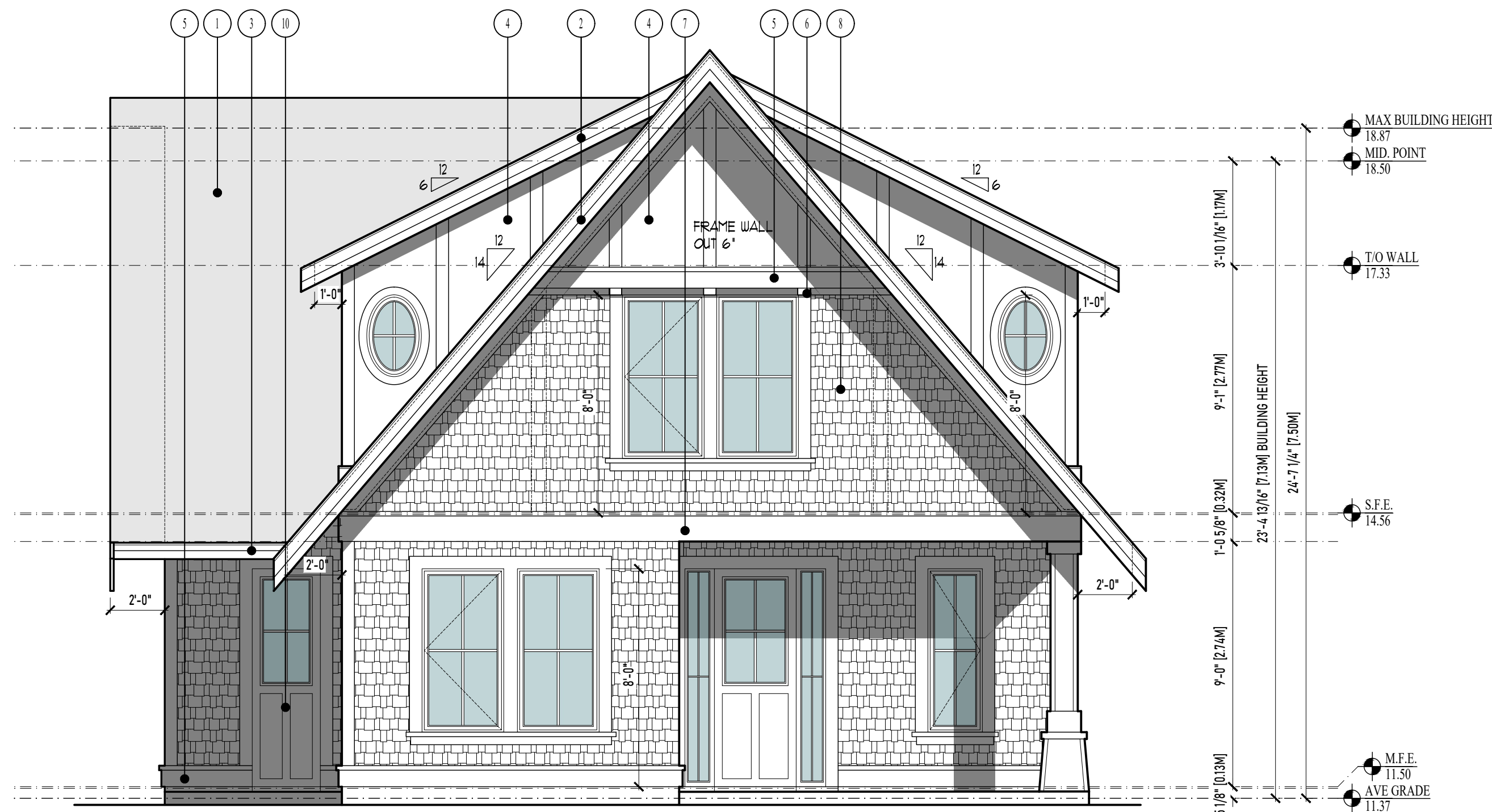
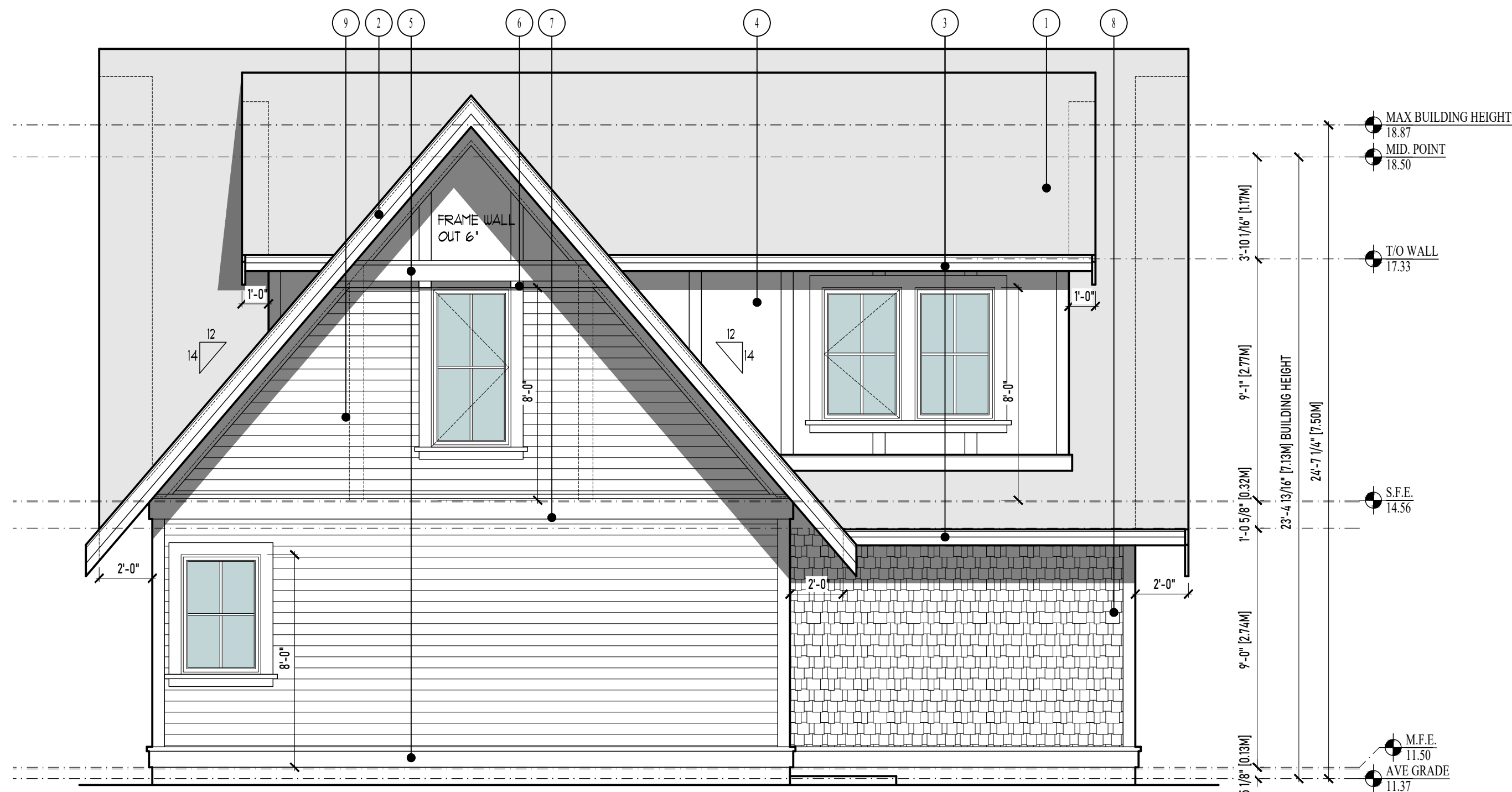


No.	REVISION	DATE
△1	Furnace and HRV removed from plan, indicate crawlspace to be vented as per BCBC 2018,	2022.09.18
△2	habitable room windows indicated	2022.11.01
△3	no changes	2022.11.30
△4	no changes	2022.12.01

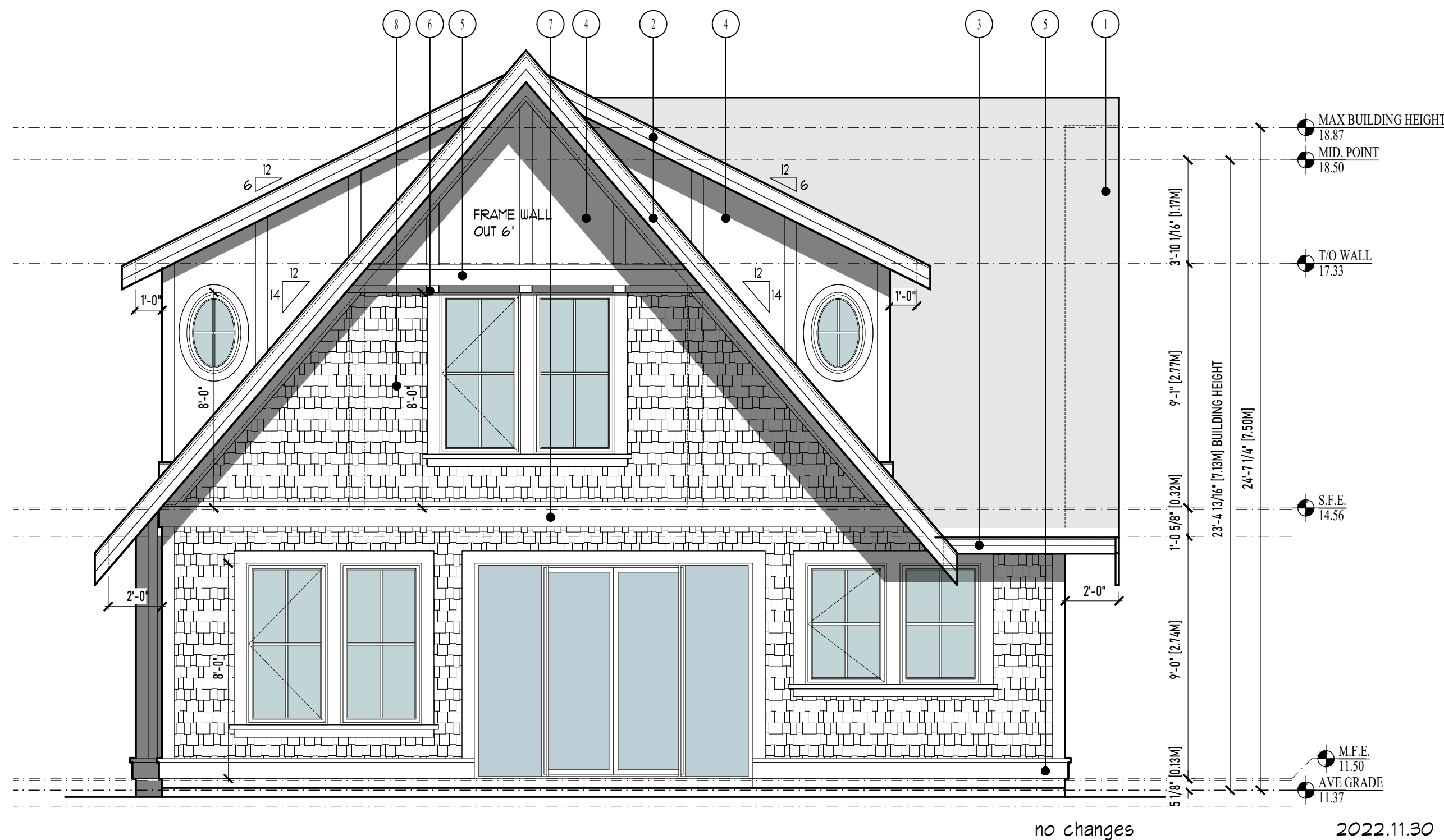


1 FRONT ELEVATION
SCALE : 1/4"=1'-0"



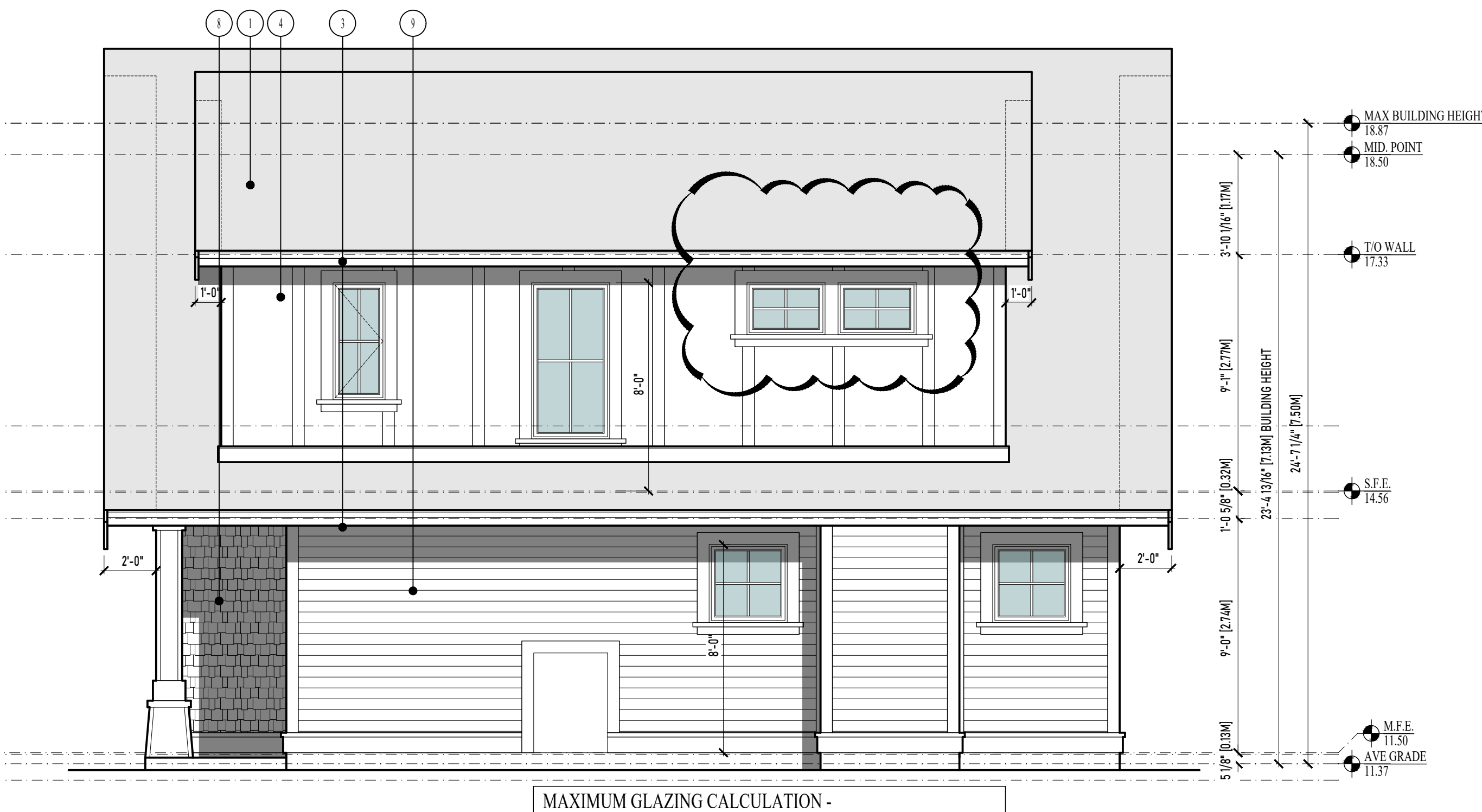
2 SOUTH ELEVATION
SCALE : 1/4"=1'-0"

MAXIMUM GLAZING CALCULATION - SOUTH ELEVATION	
DISTANCE TO PROPERTY LINE	3.45 M (11.31')
EXPOSED BUILDING FACE AREA	65.11 M ² (702.01 SF)
GLAZING AREA	43.0 M ² (463.4 SF)
PERCENTAGE	65.4% (ALLOWED 65.5%)



3 REAR ELEVATION
SCALE : 1/4"=1'-0"

No.	REVISION	DATE
1	no changes	2022.09.12
2	habitable room windows indicated	2022.11.03
3	no changes	2022.11.30
4	no changes	2022.12.05



4 NORTH ELEVATION
SCALE : 1/4"=1'-0"

MAXIMUM GLAZING CALCULATION - NORTH ELEVATION	
DISTANCE TO PROPERTY LINE	1.58 M (5.18')
EXPOSED BUILDING FACE AREA	65.11 M ² (702.01 SF)
GLAZING AREA	3.63 M ² (39.15 SF)
PERCENTAGE	5.6% (ALLOWED 8.6%)

FINISH SCHEDULE

- 1 ASPHALT SHINGLES
COLOUR: -
MANUFACTURER: -
- 2 2X6 OVER 2X10 FASCIA BOARDS - PAINT
COLOUR: -
MANUFACTURER: -
- 3 2X4 OVER 2X8 FASCIA BOARDS - PAINT
COLOUR: -
MANUFACTURER: -
- 4 CEMENTITIOUS PANEL C/W 5.5" BATTONS - PAINT
COLOUR: -
MANUFACTURER: -
- 5 2X8 BATTON C/W 2" WATERTABLE - PAINT
COLOUR: -
MANUFACTURER: -
- 6 5.5"X3" DENTAL MOULDING - PAINT
COLOUR: -
MANUFACTURER: -
- 7 2X12 BATTON C/W 2" WATERTABLE - PAINT
COLOUR: -
MANUFACTURER: -
- 8 CEMENTITIOUS SHAKES - PAINTED
COLOUR: -
MANUFACTURER: -
- 9 CEMENTITIOUS SIDING - PAINT
COLOUR: -
MANUFACTURER: -
- 10 WOOD DOORS - STAINED
COLOUR: -
MANUFACTURER: -

- WINDOWS TO HAVE 5.5" TRIM C/W 2" WATERTABLE AND 3.5" BASE TRIM - PAINT
- DOORS TO BE TRIMMED WITH 5.5" BOARDS - PAINT

GENERAL NOTES:
- WINDOW OPERATION SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS
- FLASH OVER ALL MATERIAL TRANSITIONS, AND DOOR & WINDOW HEADS
- NO COMBED-FACED TRIM
- ALL COLOURS BY DESIGNED AND OWNER

RE-ISSUED FOR BP
OCTOBER 4, 2022



1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-3144
Fax: (250) 360-2115

Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

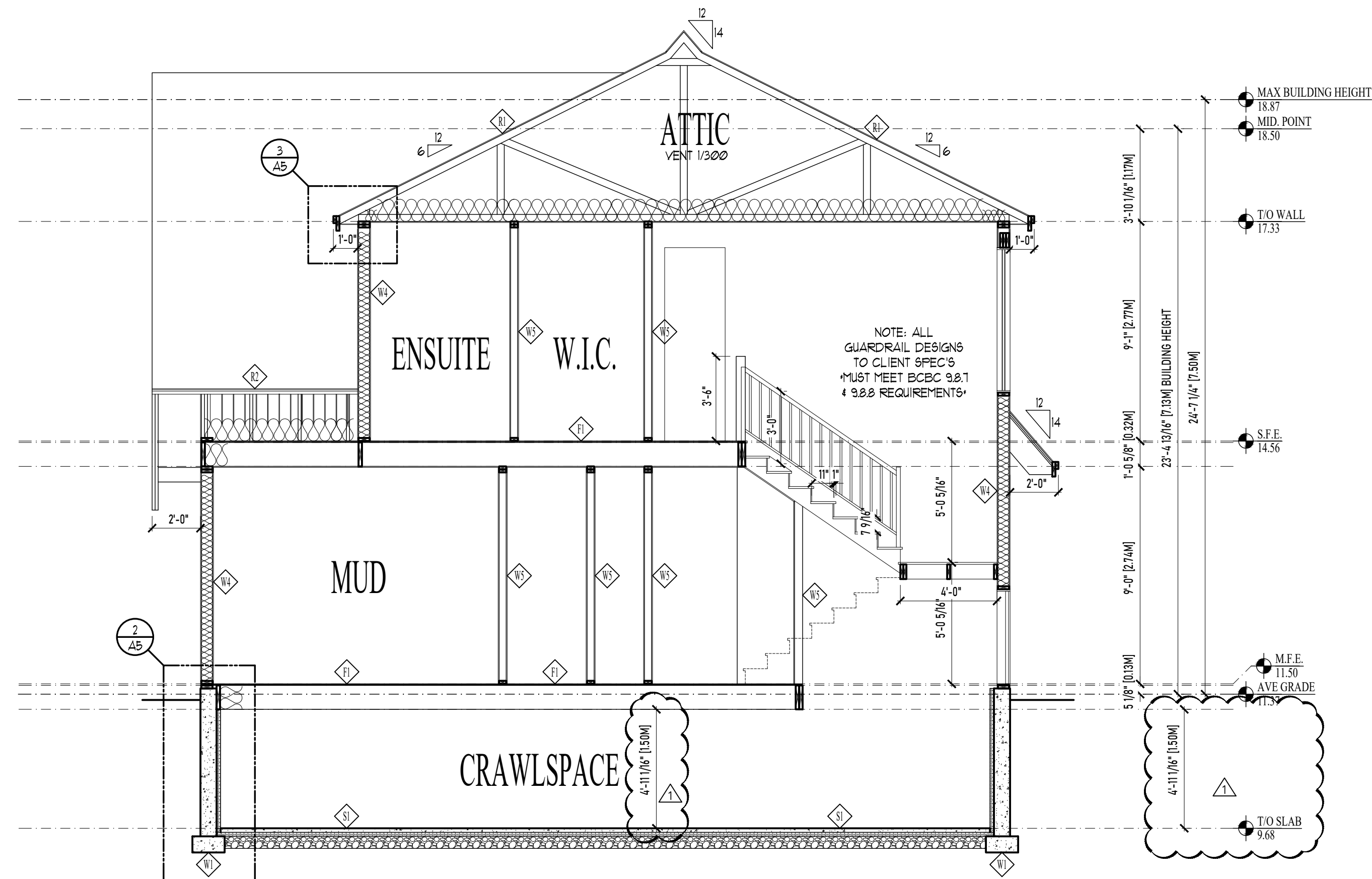
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Project:
NEW SFD @ 206
ST.CHARLES STREET

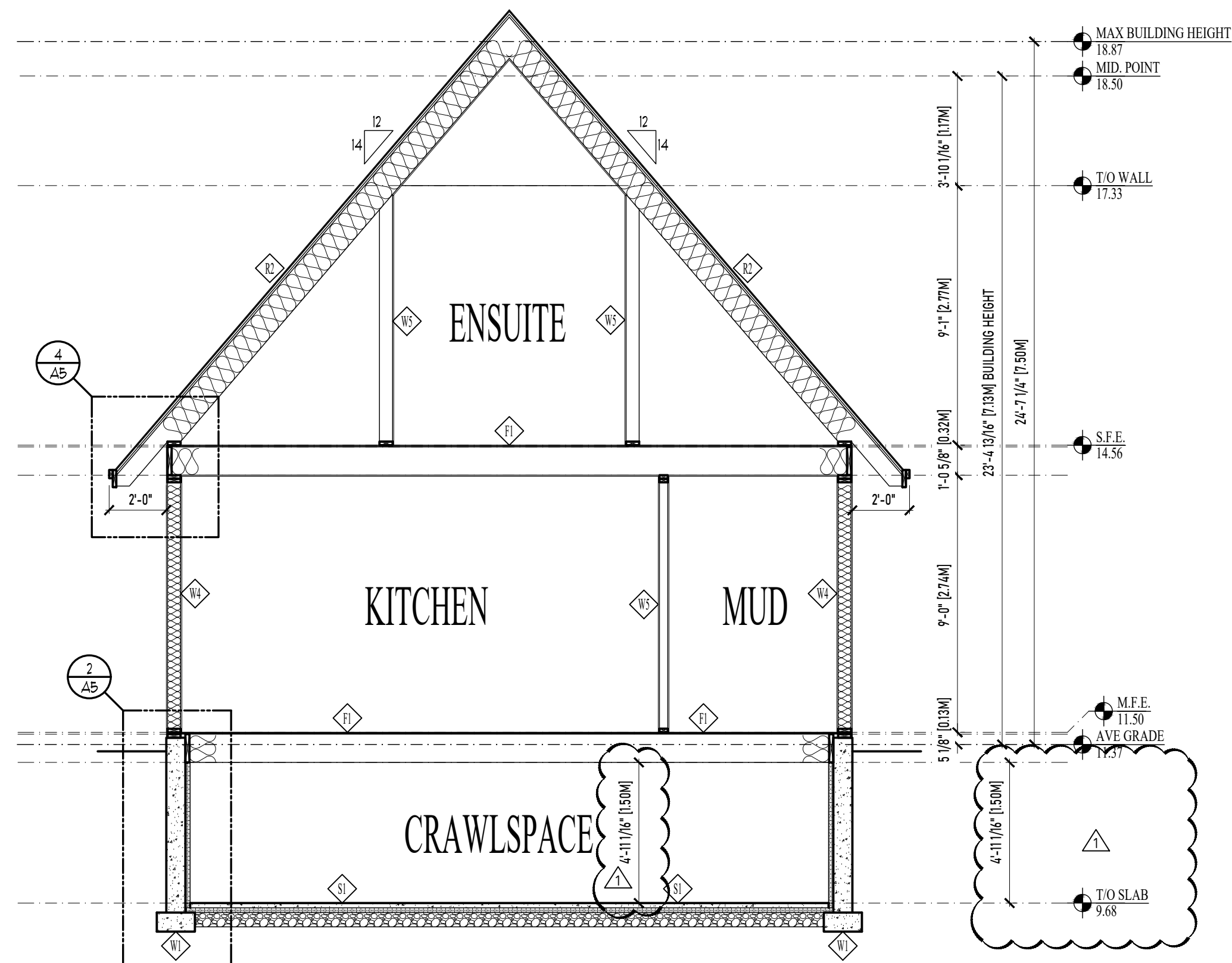
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Revision: Sheet:

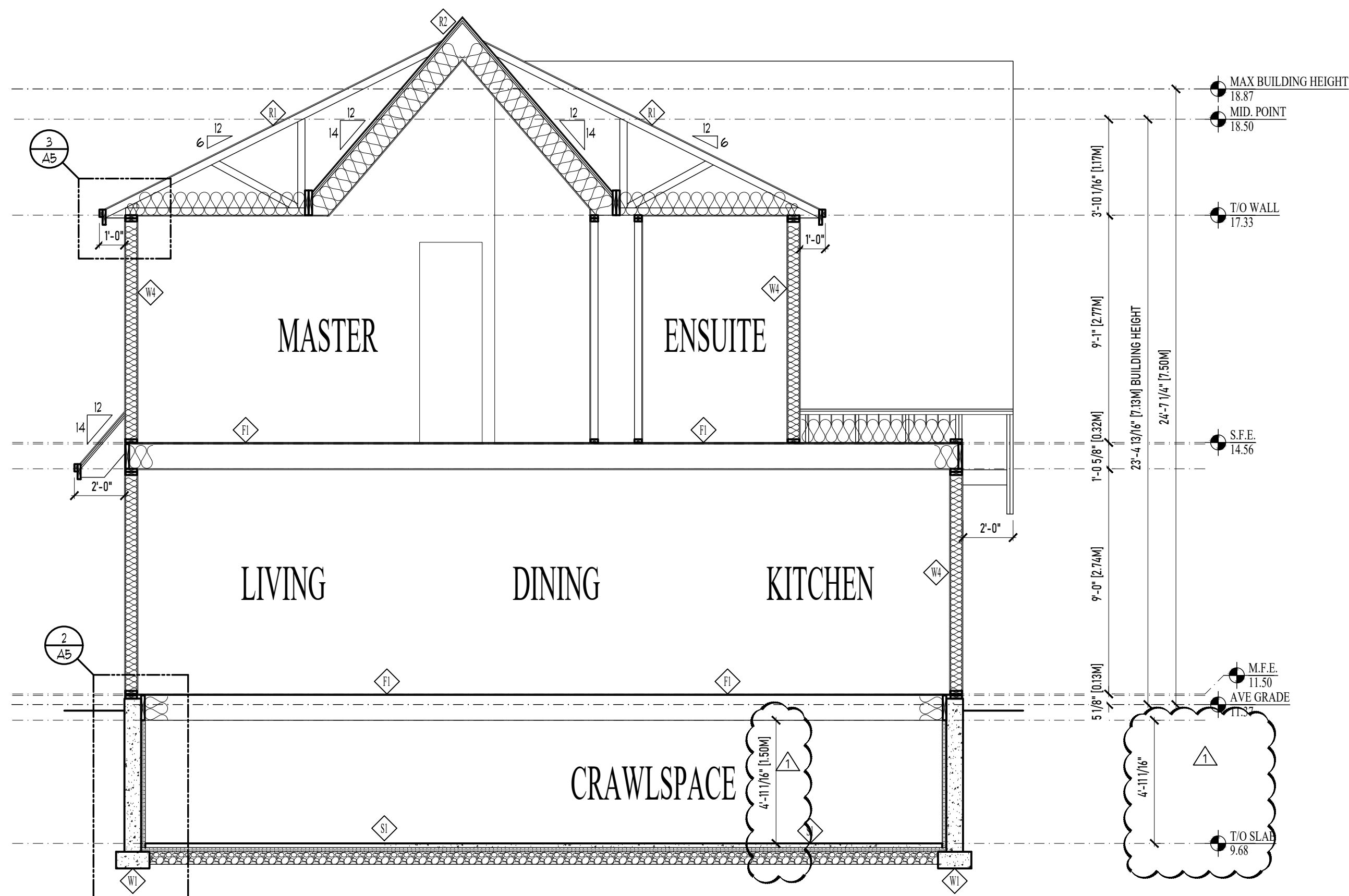
R3 A3
Proj.No. 2484



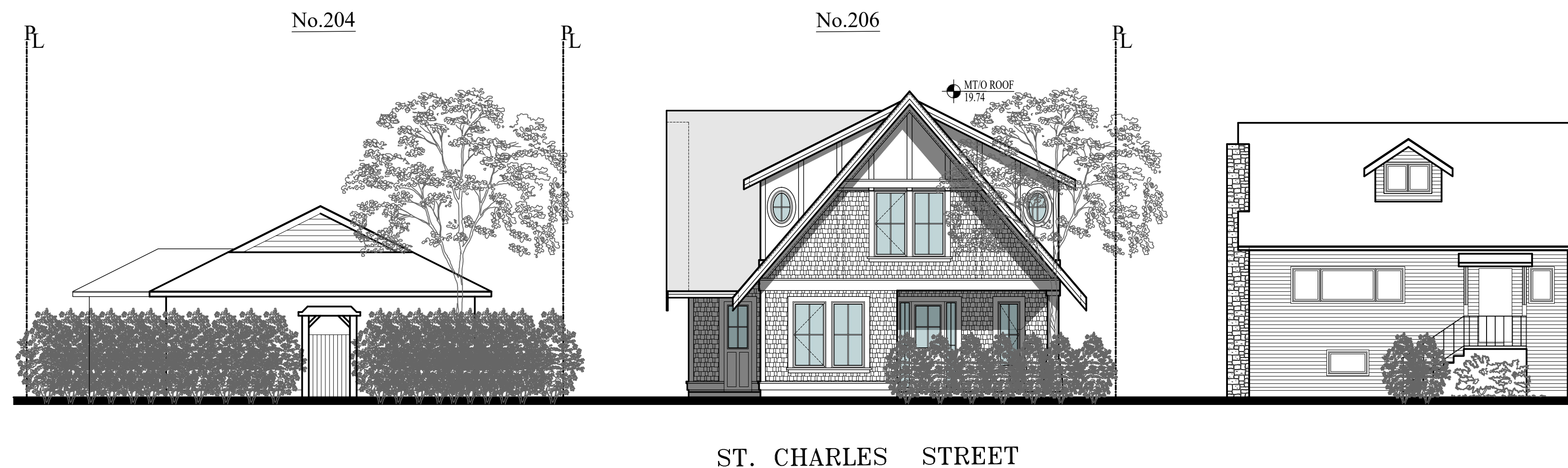
1 BUILDING SECTION
SCALE : 1/4"=1'-0"



2 BUILDING SECTION
SCALE : 1/4"=1'-0"



3 BUILDING SECTION
SCALE : 1/4"=1'-0"



4 STREETSCAPE
SCALE : 1/8"=1'-0"

CONSTRUCTION SCHEDULE	
ROOF TYPES 1. SLOPED ROOF-ENG. TRUSSES ROOF FINISH AS PER ELEVATIONS UNDERLAYMENTS 1" PLYWOOD SHEATHING @ 1/4" CLIPS FREENGINEERED TRUSSES @ 24" O/C R40 LOOSE FILL INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT 2. SLOPED ROOF-2X12 RAFTERS ROOF FINISH AS PER ELEVATIONS UNDERLAYMENTS 1" PLYWOOD SHEATHING @ 1/4" CLIPS 1X4 STRAPPING @ 24" O/C 2X3 FURLINGS @ 24" O/C 2X12 RAFTERS @ 24" O/C R40 GLASS FIBER BATT INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT	WALL TYPES 1. FOUNDATION WALL WATERPROOF MEMBRANE BELOW GRADE 8" THICK CONCRETE WALL @ 1/4" CLIPS REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS 2" RIGID INSULATION AROUND INTERIOR OF CRAWLSPACE 2. CONCRETE UPSTAND WALL 8" THICK CONCRETE WALL EVEN WITH SLAB @ 1/4" CLIPS REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS 3. 2X4 HALF WALL ON CONCRETE UPSTAND WALL 2X4 WOOD STUDS @ 16" O/C @ 1/4" CLIPS PRESSURE TREATED PLATE 8" THICK CONCRETE WALL EVEN WITH SLAB @ 1/4" CLIPS REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS 4. EXTERIOR WALL ASSEMBLY EXTERIOR FINISH AS PER ELEVATIONS 3" (10mm) CAPILLARY BREAK MAT AIR BARRIER 1" PLYWOOD SHEATHING 2X6 WOOD STUDS @ 16" R20 GLASS FIBER BATT INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT 5. INTERIOR WALL ASSEMBLY 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT 2X4 OR 2X6 WOOD STUDS @ 24" SOUND INSULATION AS DIRECTED BY OWNER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT
FLOOR TYPES 1. FLOOR ASSEMBLY-II 1/2" ENG. JOIST FLOOR FINISH 3/4" TAG PLYWOOD SUBFLOOR -NAILED, GLUED AND SCREWED 11 1/2" FREENGINEERED JOISTS @ 16" O/C SOUND INSULATION AS INDICATED BY OWNER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT	
SLAB TYPES 1. CRAWLSPACE SLAB 2" CONCRETE SLAB 6 MIL POLY VAPOUR BARRIER 2" RIGID INSULATION 6" COMPACTED GRAVEL FILL UNDISTURBED NATIVE SOIL FREE OF ORGANICS	

No.	REVISION	DATE
1	adjust crawlspace dimension	2022.09.12
2	no changes	2022.11.30
3	no changes	2022.12.05

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OCTOBER 4, 2022

ZEBRADESIGN

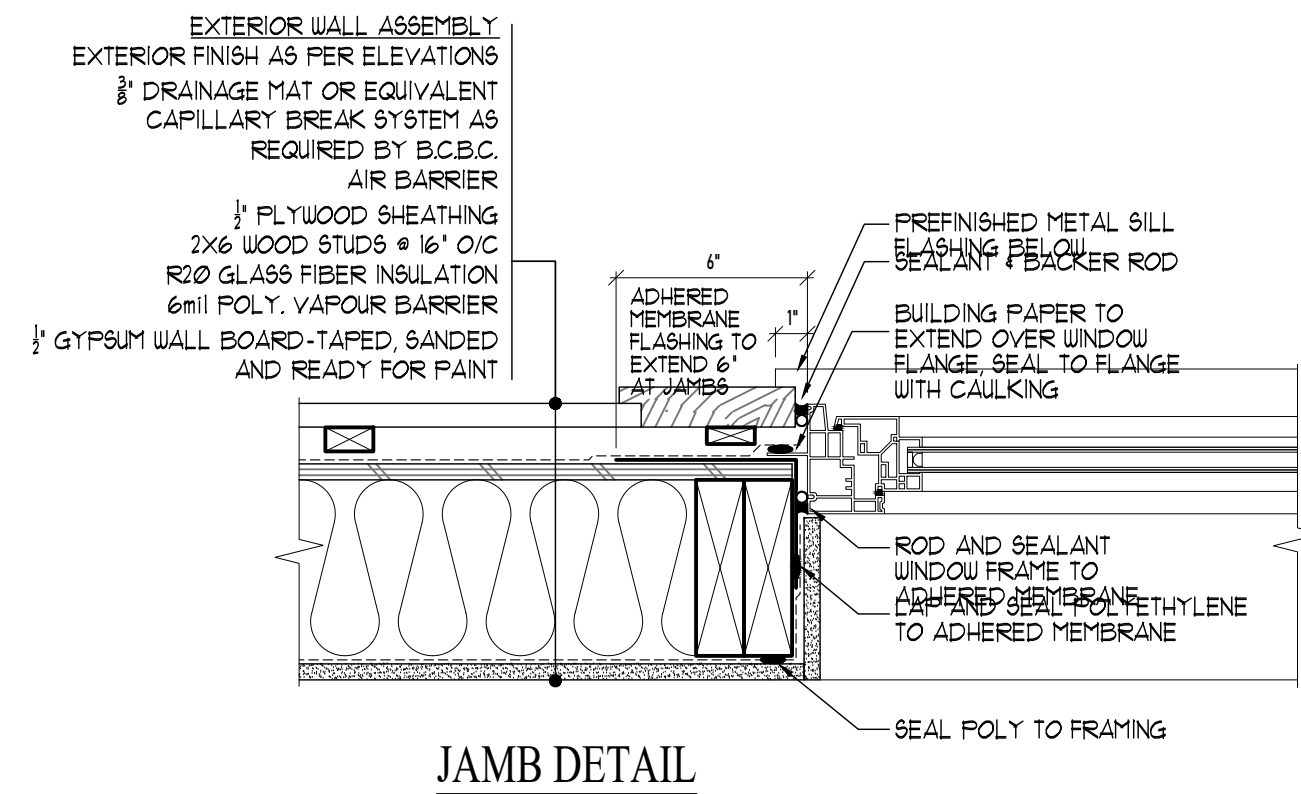
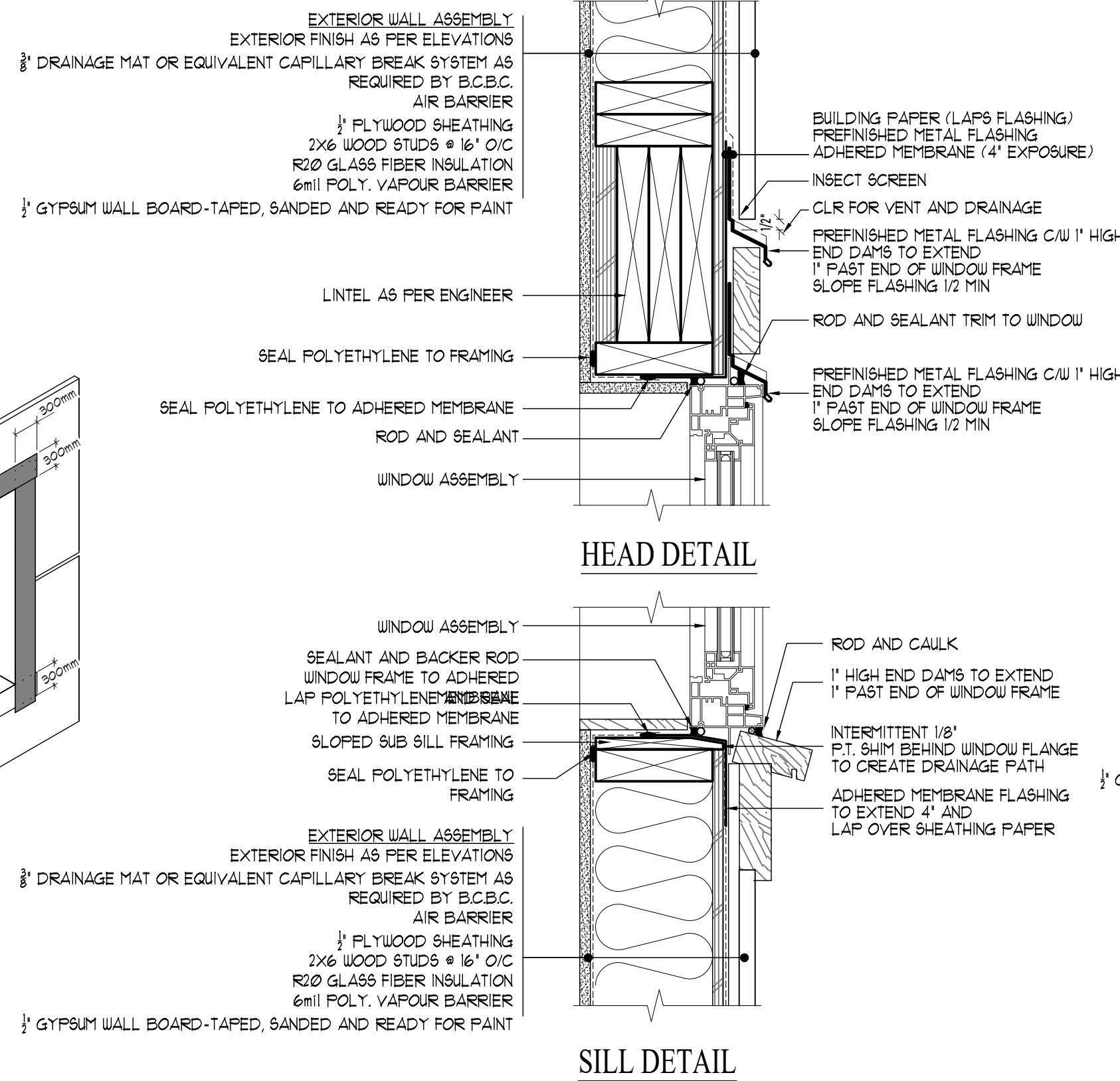
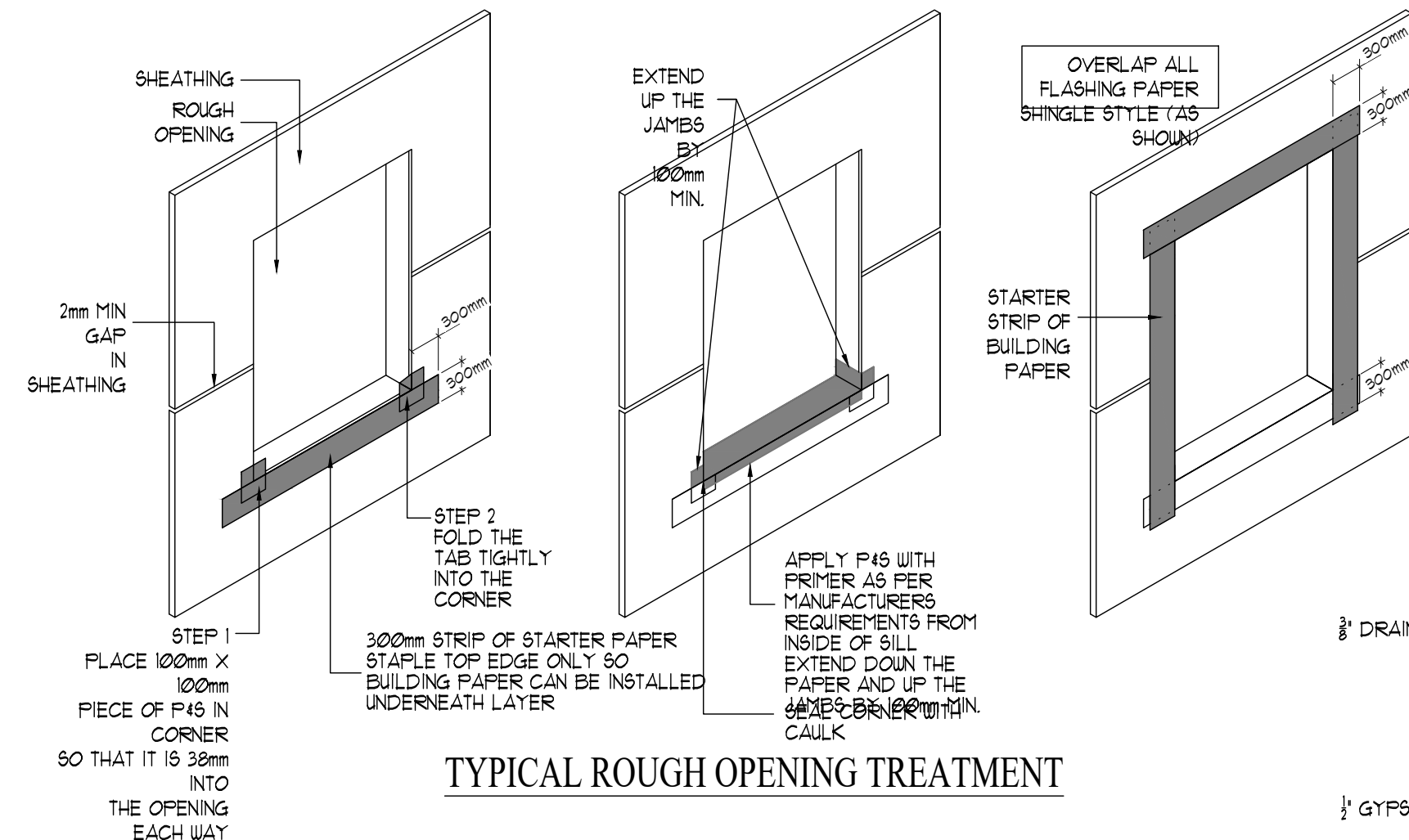
1161 NEWPORT AVE
 Victoria, B.C. V8S 5E6
 Phone: (250) 360-3144
 Fax: (250) 360-2115

Drawn By: LOUIS HORVAT
 Date: APRIL 27, 2022
 Scale: AS NOTED

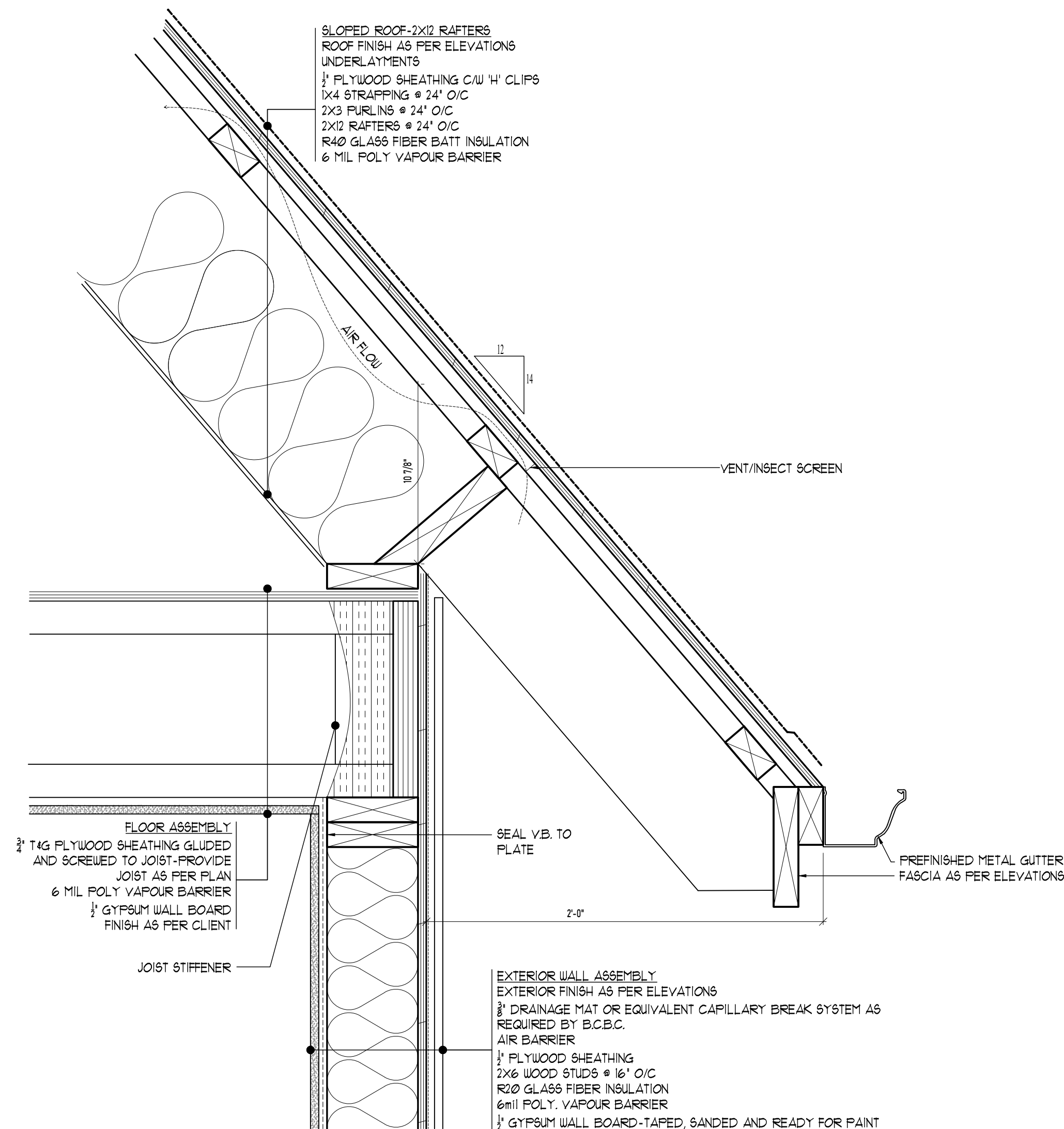
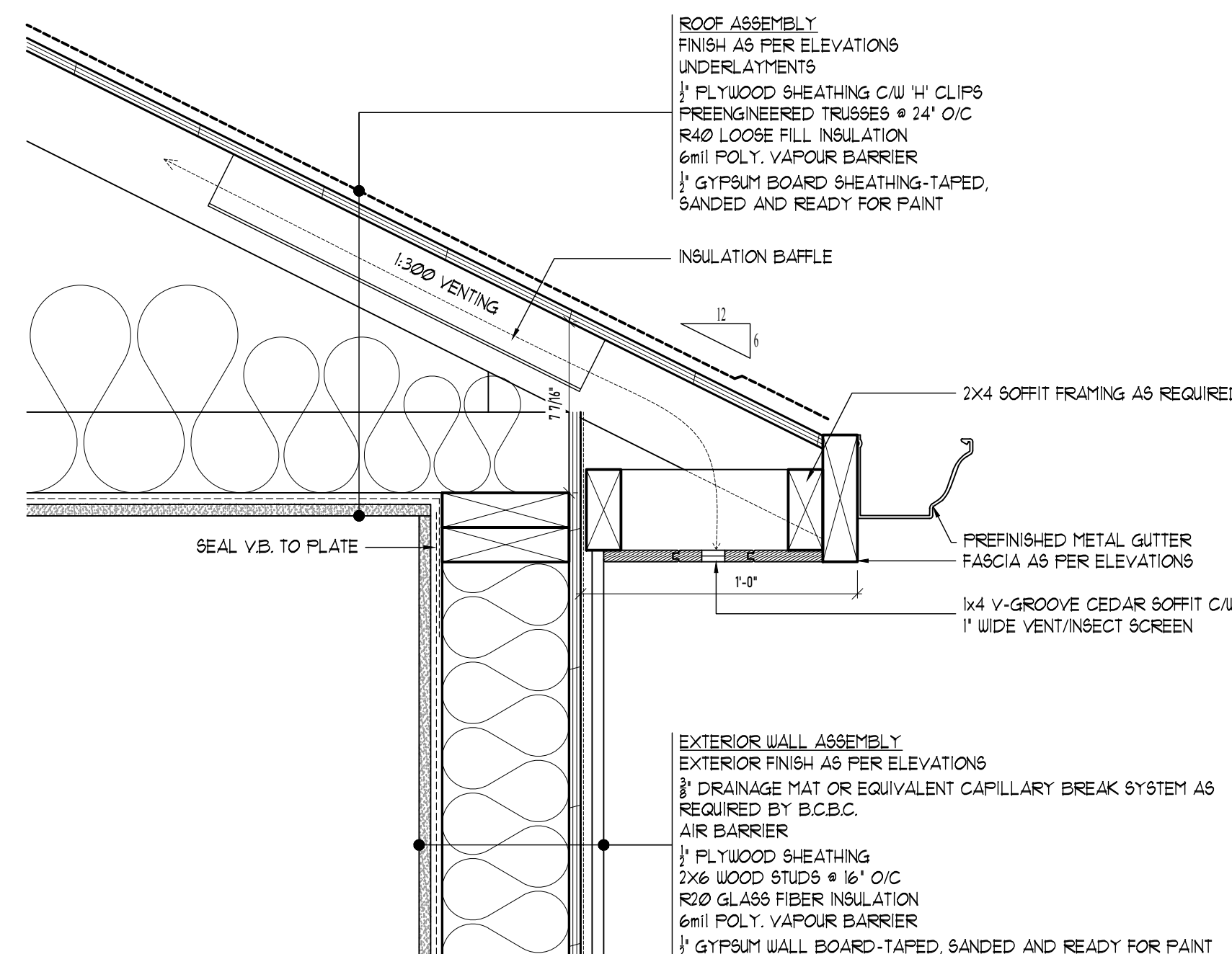
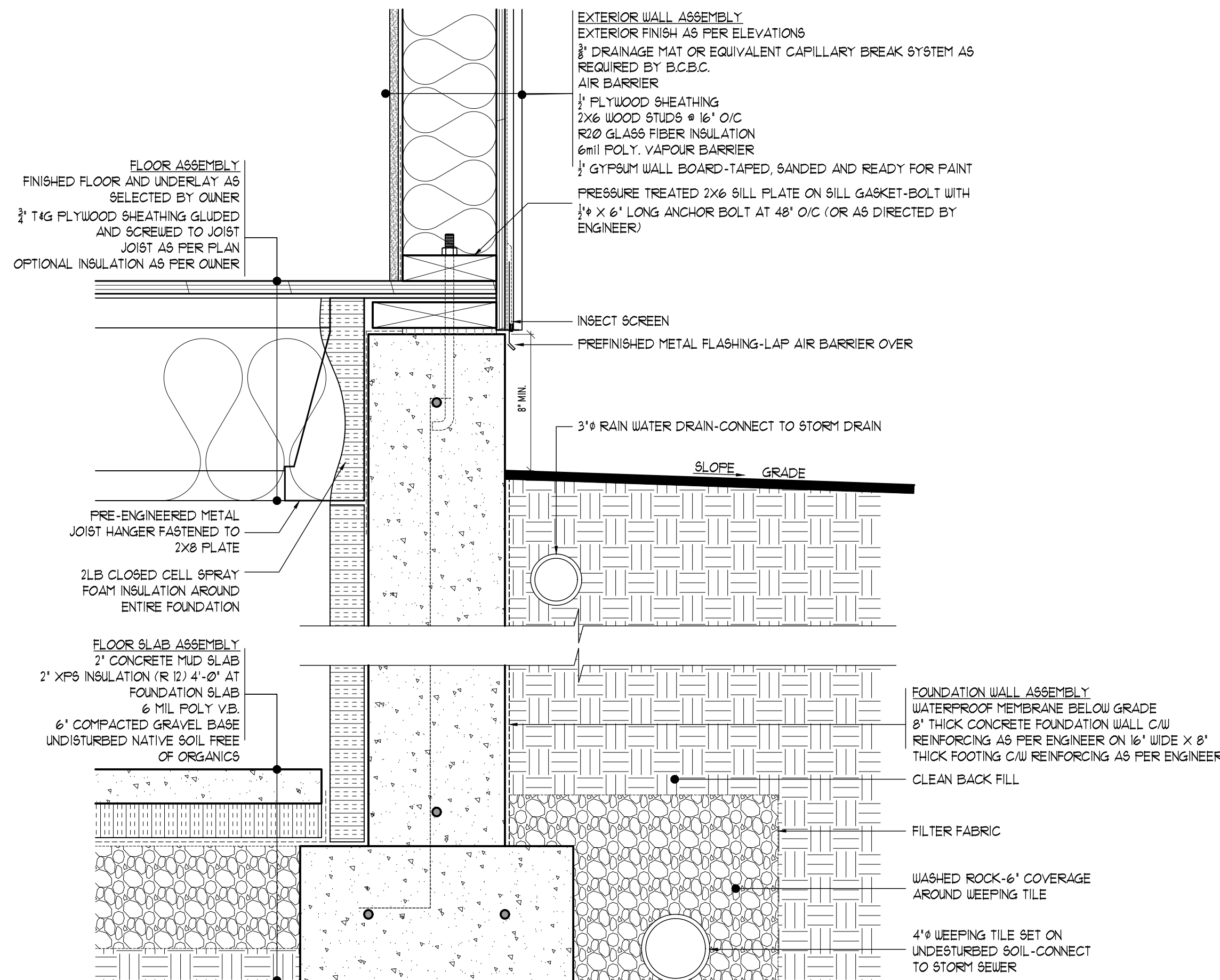
Project:
 NEW SFD @ 206
 ST.CHARLES STREET

Title:
 SECTIONS AND
 STREETSCAPE

Revision: Sheet:
R3 A4
 Proj.No. 2484



No.	REVISION	DATE
1	no changes	2022.09.12
2	no changes	2022.11.30
3	no changes	2022.12.05



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OCTOBER 4, 2022



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Scale: AS NOTED

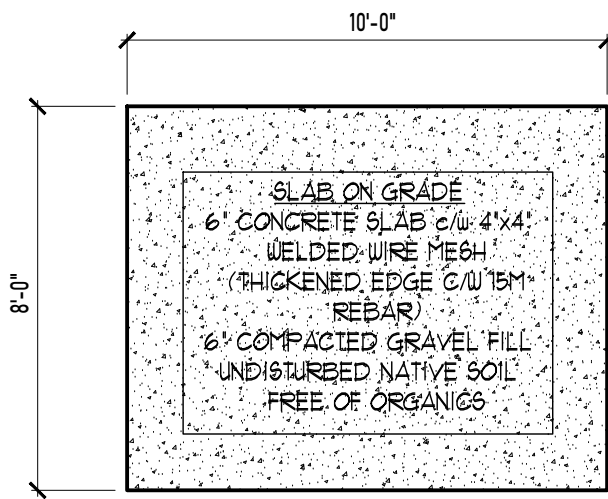
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NEW SFD @ 206
ST.CHARLES STREET

Title:
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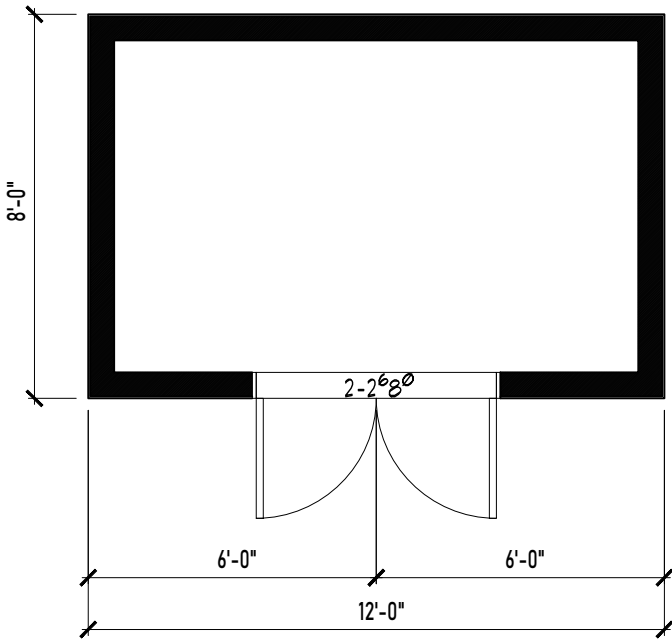
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Sheet:

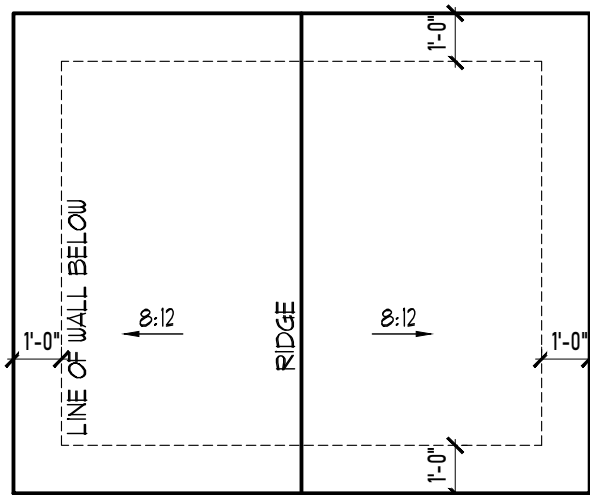
R3 A5
Proj.No. 2484



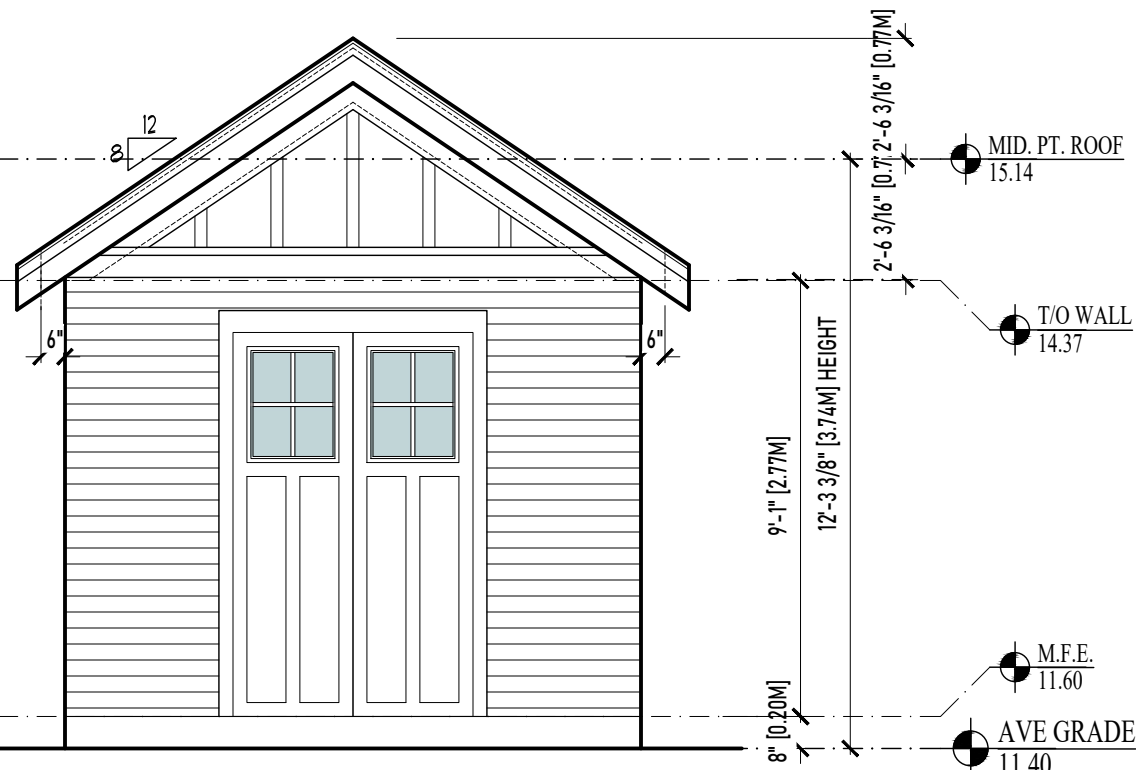
1 FOUNDATION PLAN
SCALE : 1/4"=1'-0"



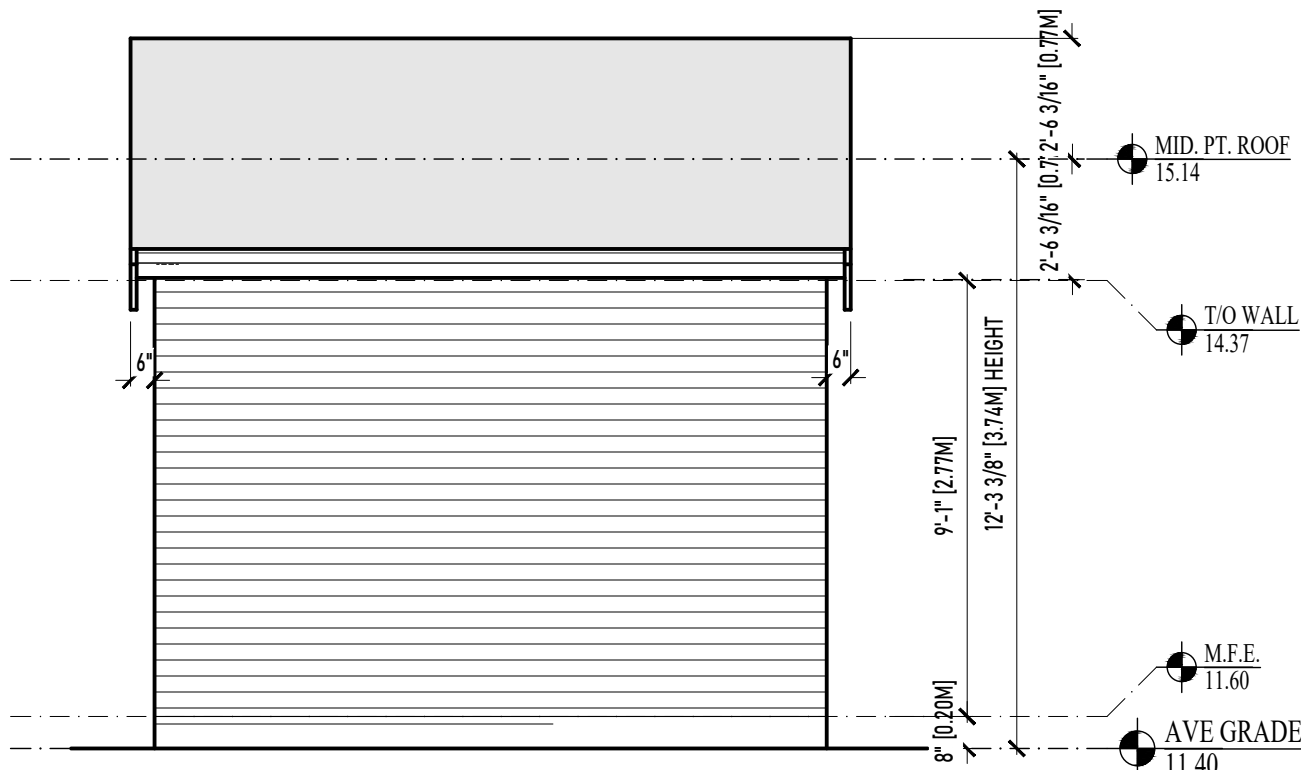
2 FLOOR PLAN
SCALE : 1/4"=1'-0"



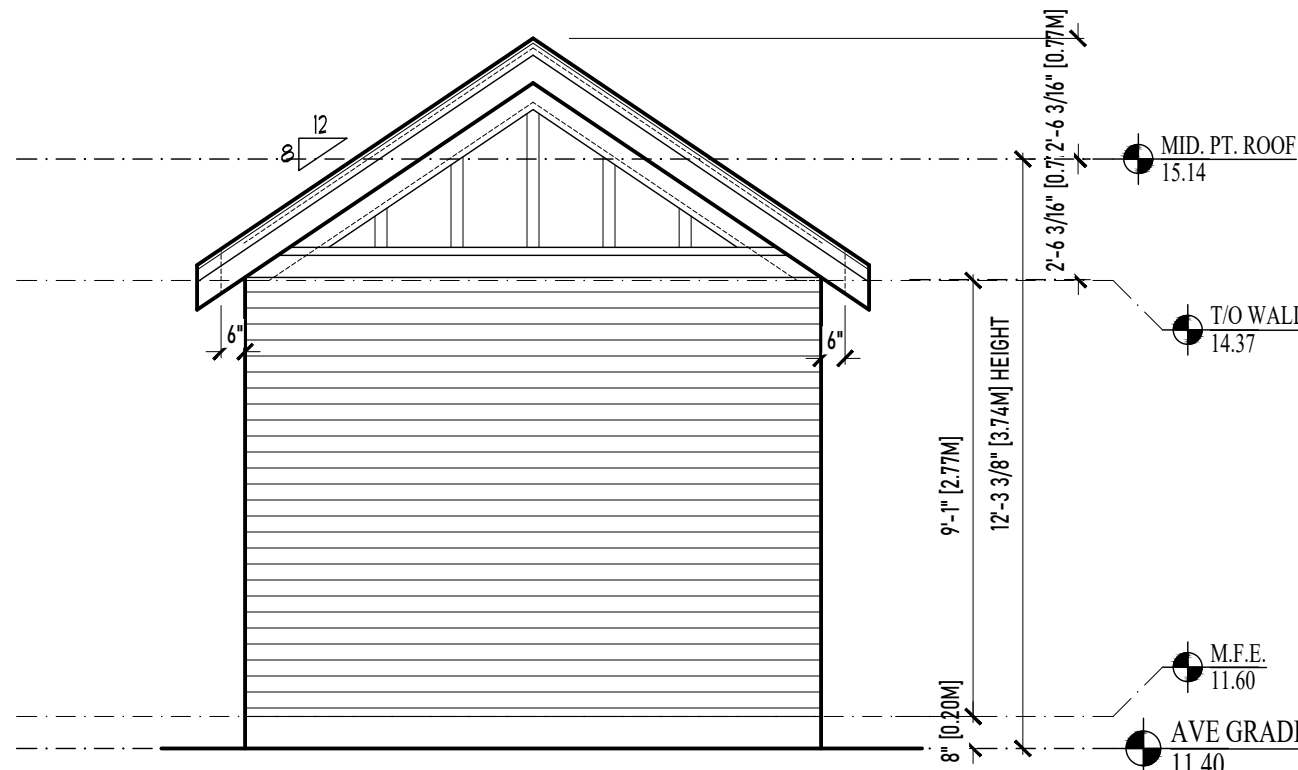
3 ROOF PLAN
SCALE : 1/4"=1'-0"



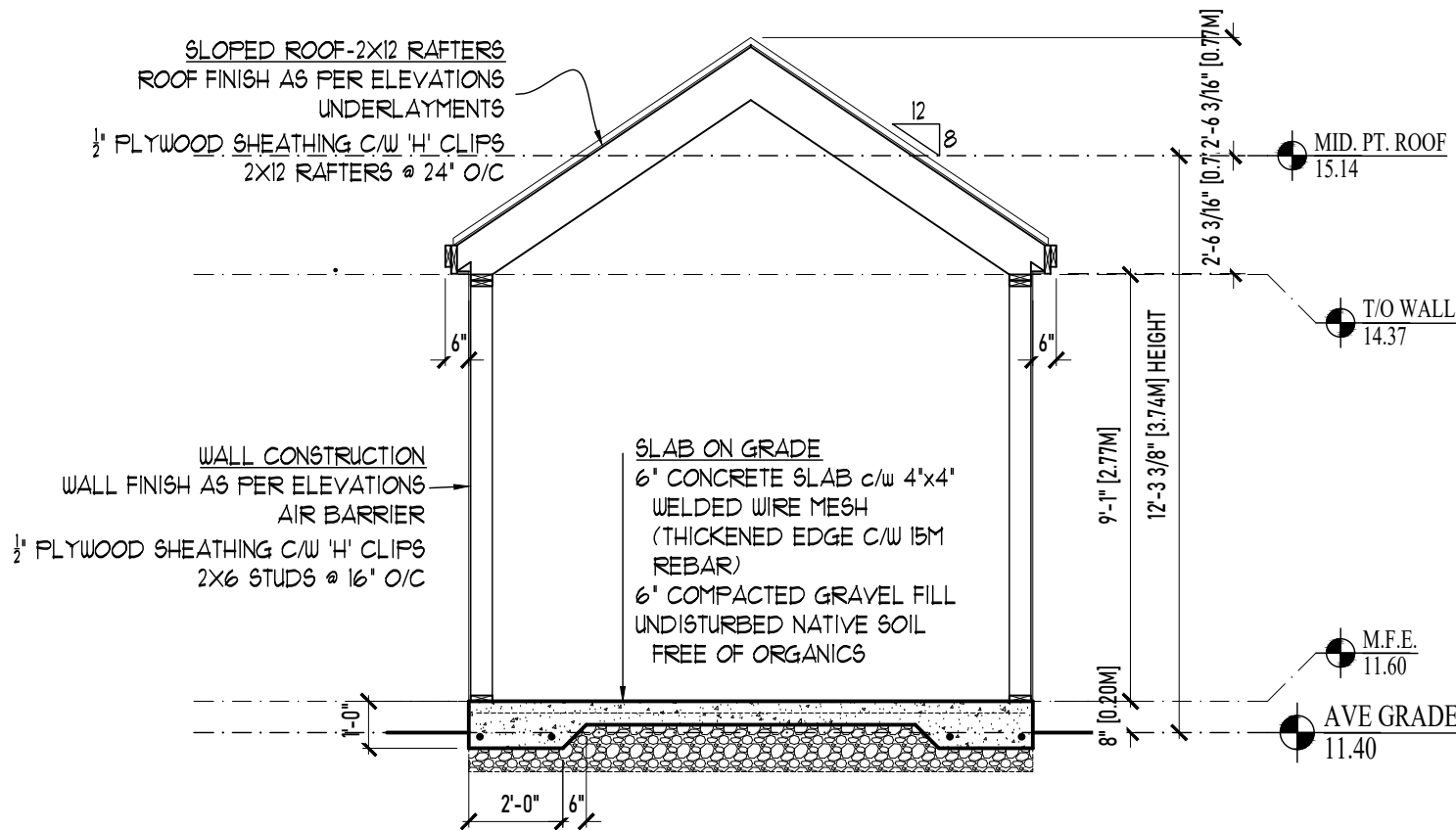
4 FRONT ELEVATION
SCALE : 1/4"=1'-0"



5 SIDE ELEVATION
SCALE : 1/4"=1'-0"



6 REAR ELEVATION
SCALE : 1/4"=1'-0"



7 SECTION
SCALE : 1/4"=1'-0"

No.	REVISION	DATE
1	add shed plans	2022.11.30
2	no changes	2022.12.05

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OCTOBER 4, 2022



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Fax: (250) 360-2115

Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

Scale: AS NOTED

Project:
NEW SFD @ 206
ST.CHARLES STREET

Title:
SHED PLANS,
SECTIONS AND
ELEVATIONS

Revision:

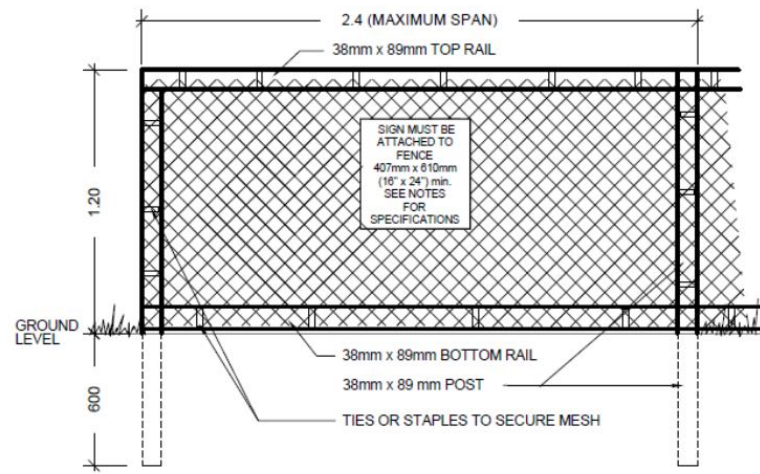
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R3 A6
Proj.No. 2484



TREE PROTECTION SIGN

*Arborist to supervise installation of all works and materials to mitigate construction impacts and placement of temporary barrier fencing.



TREE PROTECTION FENCING

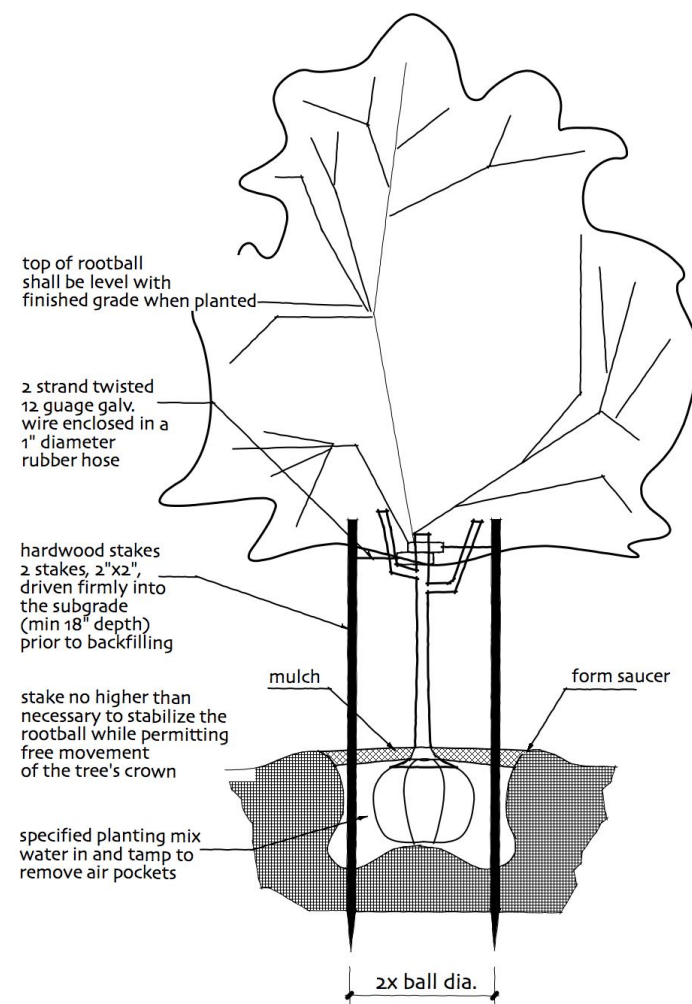
*Specifications for tree protection fencing:

- 1) The fence will be constructed using 38x89mm [2"x4"] wood frame:
 - Top, bottom and posts
 - Use orange snow fencing mesh and secure to the wood frame with "zip" ties or galvanized staples.

- 2) Attach a sign with a minimum size of 407mmx 610mm [16"x24"] with the following wording:
 - A) **DO NOT ENTER** - Tree Protection Zone [for retained trees], or
 - B) **DO NOT ENTER** - Future Tree Planting Zone [for tree planting sites]

This Sign must be affixed on every fence face or at least every ten (10) linear metres.

*In rocky areas, metal posts [T-bar or Rebar] drilled into rock will be accepted.



TREE PLANTING DETAIL
SCALE: NTS



ROCK BOULDERS & COTTAGE STYLE PLANTINGS



DROUGHT RESISTANT PERENNIALS

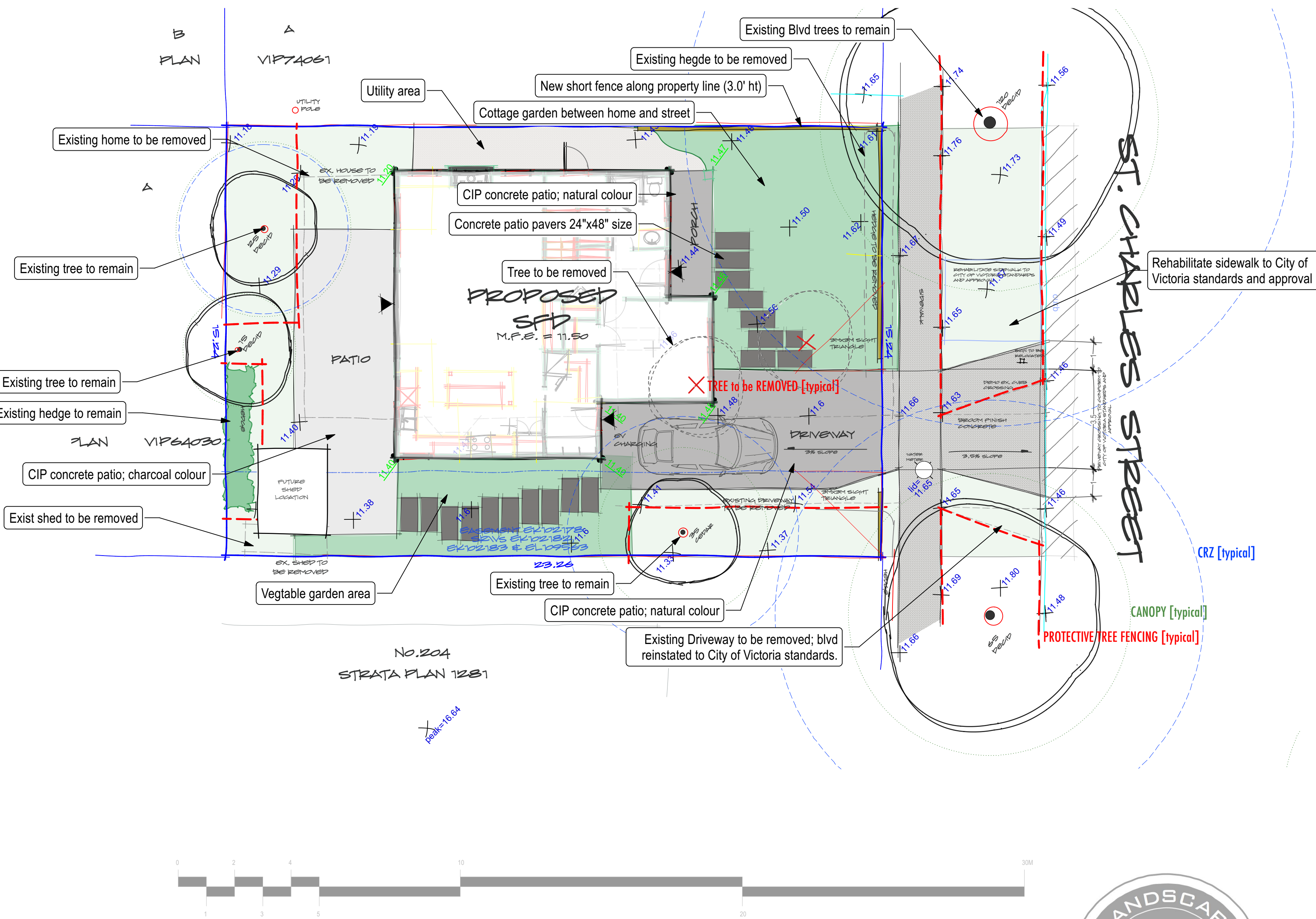


NOTES:

See architectural plans for full site plan and full extent of property.
Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition).
All growing medium to comply to BCLSA/ BCLNA standard designation "1P - Level-1 Well Groomed Areas".
Underground irrigation system to be installed for new garden areas. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IIABC Standards. All irrigation piping under hardsurfaces to be sleeved.
Existing fencing to remain. Any new fencing to meet municipal bylaw requirements.
All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arborist where necessary. See Arborist report for significant trees on this site. Arborist to be retained for removal of trees and for protection of existing where required. Install tree protection fencing for boulevard or protected tree(s) where necessary. Contractor to locate, identify and have crews be aware of all new and existing services on and into the property.
Patio area sizes are approximate and subject to change.
Plant recommendations are subject to change depending on owner's selections and preference.
Vegetable area is shown for approximate location only. Actual plant material for this area to be determined by the homeowner.

RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE /REMARKS
TREES		
Acer palmatum Bloodgood	Bloodgood Japanese Maple	2.4M ht.
Syrax japonica	Japanese Snowbell	3cm. cal. /B&B
SHRUBS & PERENNIALS		
Alchemilla mollis robusta	Lady's Mantle	#1 Pot
Buxus Microphylla Winter Gem	Littleleaf Boxwood	#5 Pot
Ceanothus	California Lilac	1.5M. Ht.
Euonymus Alatus Compacta	Dwarf Burning Bush	#5 Pot
Hamamelis Int. Jellena	Orange Witch Hazel	1.5M. Ht.
Hakonechloa macra aureola	Hakone Grass	#1 Pot
Helleborus argutifolius	Corsican Hellebore	#1 Pot
Hosta Hadspen Blue	Hadspen Blue Hosta	#1 Pot
Lavandula Munstead	English Lavender	#1 Pot
Liriope Muscari	Big Blue Lily Turf	#1 Pot
Polystichum munitum	Western Sword Fern	#3 Pot
Ribes Sang. King Edward	Ornamental Currant	#3 Pot
Rosemary Officinalis	Rosemary	#3 Pot
Rudbeckia Fulgida	Orange Coneflower	#1 Pot
Spiraea japonica Goldflame	Goldflame Spirea	#3 Pot
VINES & GROUNDCOVER		
Arctostaphylos uva ursi	Kinnickinnick	SP3
Thymus pseudolanuginosus	Wooly Thyme	SP3
Parthenocissus Tricus. Veitchii	Boston Ivy	#2 Pot / Staked
FRUIT TREES & VEGETABLES		
- Multiple types and kinds of Veggies for the vegetable garden area		



SKL.01
19.NOV.2022
1:100
LATEST REVISION: 30.NOV.22

206 ST. CHARLES STREET LANDSCAPE LAYOUT

