## **GENERAL NOTES** CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES. 2. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. 3. EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/SHEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION. 4. WHERE NOTED BY "ENG." OR "ENGINEERED", ALL STRUCTURE SHALL BE ENGINEERED BY CERTIFIED STRUCTURAL ENGINEER, INCLUDING, BUT NOT LIMITED TO: SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS "ENGINEERED". ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL. 5. ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE, AND SHALL CONFORM TO CURRENT RESIDENTIAL STANDARDS AND THE BRITISH COLUMBIA BUILDING CODE 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE. 6.IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED, AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING . PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9. 8. ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING 16 TO BE IN ACCORDANCE WITH B.C.B.C. 2018 AND GOOD CONSTRUCTION 9. PROVIDE MINIMUM OF 8" (200mm) CLEARANCE FROM GRADE TO WOOD CLADDING MATERIALS. EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6" (150mm) ABOVE ADJACENT GRADE. IDALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2018 PART 9 WHERE SUPPORTING FLOOR OR ROOF LOADS. 1. INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.10.19. - INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 9.32.4.2. 12. ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL PLATES MUST BE PRESSURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL. 13. ALL NOTED "ENGINEERED" COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS. 14.5UPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW CRITERION FOR AIRTIGHTNESS, WATERTIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (security). ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR NAPS-RATINGS FOR ALL WINDOWS WITHIN 2 METRES OF GRADE THE RELEVANT STANDARD REQUIRES THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO ENGINEERED WITH SEALED DRAWINGS AND LETTERS OF ASSURANCE, WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE. | 15.INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" (865mm) MIN. to 38" (965mm, MAX. ABOVE NOSING. 16.INSTALL GUARDRAIL AT ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm. ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42" (1070mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE, OTHERWISE 36" (915mm) GUARDRAIL CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SHOE TO RESIST LATERAL LOADS PER B.C.B.C. 2018. OTHER GLAZED RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED W/ SEALED DWGS. AND LETTERS OF ASSURANCE. 7.INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT WALLBOARD (min. 6" - 150mm) ON FRAMING AS SUBSTRATE AROUND ALL WALL & CEILING AREAS OF STEAM, SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL WET AREAS TO MIN 6'-0" 18.PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING BUILDING CODE AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION. RECEPTACLES AND APPLIANCE LOCATIONS TO BE APPROVED BY OWNER STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER. 1. FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF THE B.C.B.C. 2012 PART 9. COMPACT ACCORDING TO BUILDING ELEVATIONS. FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE. 25. ALL FLOOR SHEATHING MUST BE SECURED WITH 1 5/8"(40mm) GALVANIZED OR COATED FLOOR SCREWS ON 6" O.C.(150mm) 26.50LID EAVE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHAKE ROOFS. THE DRYING OF INTERIOR FRAMEWORK. OF VAPOR BARRIER AND DRYWALL. 29. TWO CONTINUOUS LAYERS OF 30MIN. BUILDING PAPER MUST BE APPLIED TO EXTERIOR

19.PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND CERTIFIED CONTRACTOR. 20 ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIE

22. VERIFY EXISTING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, \$

23. ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES, AND MILLWORK TO OWNER'S APPROVAL

24.STAIR TREADS TO BE CONSTRUCTED OF PLYWOOD OR OTHER ENGINEERED PRODUCT,

27. TEMPORARY HEAT AND/OR FANS REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN

28.MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 19% PRIOR TO APPLICATION

SHEATHING EITHER SHUFFLED - OR INSTALLED WITH 22" (550mm) OVERLAP SEAMS HALFLAPPED TO THE 2nd MID-LINE OF THE BUILDING PAPER. 30.POSITIVE SLOPE FLASHINGS MUST BE INSTALLED ABOVE ALL WINDOWS, DOORS, SILLS, VENTS AND MATERIAL TRANSITIONS. ALL FLASHINGS MUST BE INSTALLED BEHIND BUILDING PAPER,

WITH MECHANICALLY SEAMED END DAMS. ALL FLASHINGS MUST EXTEND A MINIMUM OF I" (25mm) BEYOND BOUNDARY OF THE OPENING TO WHICH THEY ARE APPLIED.

BI. BUILDING PAPER & FELT PRE-STRIPPING, ONLY, TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT WOOD SURFACES. 32. ALL RAINSCREEN CAVITIES TO BE VENTED TOP & BOTTOM WITH INSECT PROOF VENT STRIPS.

33.PROVIDE STEPPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE

GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST PENETRATION DEPTH ON COMPETENT BEARING.

34.20 Mpa CONCRETE FOUNDATION WALL 8" (200mm) THICK MAY BE A MAXIMUM OF 4" (1.2 m) HIGH FROM GRADE TO U/S FLOOR IF LATERALLY UNSUPPORTED AT THE TOP. REFER TO B.C.B.C. 2018, 9.15.4. - ALL OTHER CONCRETE WALLS TO BE ENGINEERED.

35.PLUMBING PERMIT REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM AND DRAINAGE SYSTEM FOR THE BUILDING.

ENSURE ALL FIXTURES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS. 36.ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY THE

BUILDER/OWNER PRIOR TO ORDERING. 31.WHERE ALLOWED BY MUNICIPAL AUTHORITY HAVING JURISDICTION, APPROVED HOUSE WRAP, SUCH AS 'TYVEC' OR 'TYPAR' MAY BE USED, IF APPLIED AS SPECIFIED BY THE MANUFACTURER.

38.DESIGNER/DRAFTSPERSON DOES NOT ASSUME LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS UNLESS ADVISED IN WRITING BEFORE PROCEEDING WITH CONSTRUCTION.

**ABBREVIATIONS** 

A/A ATTIC ACCESS - MIN 24"X36" AFF ABOVE FINISHED FLOOR B.F.E.BASEMENT FLOOR ELEVATION BU BUILT-UP CONT CONTINUOUS

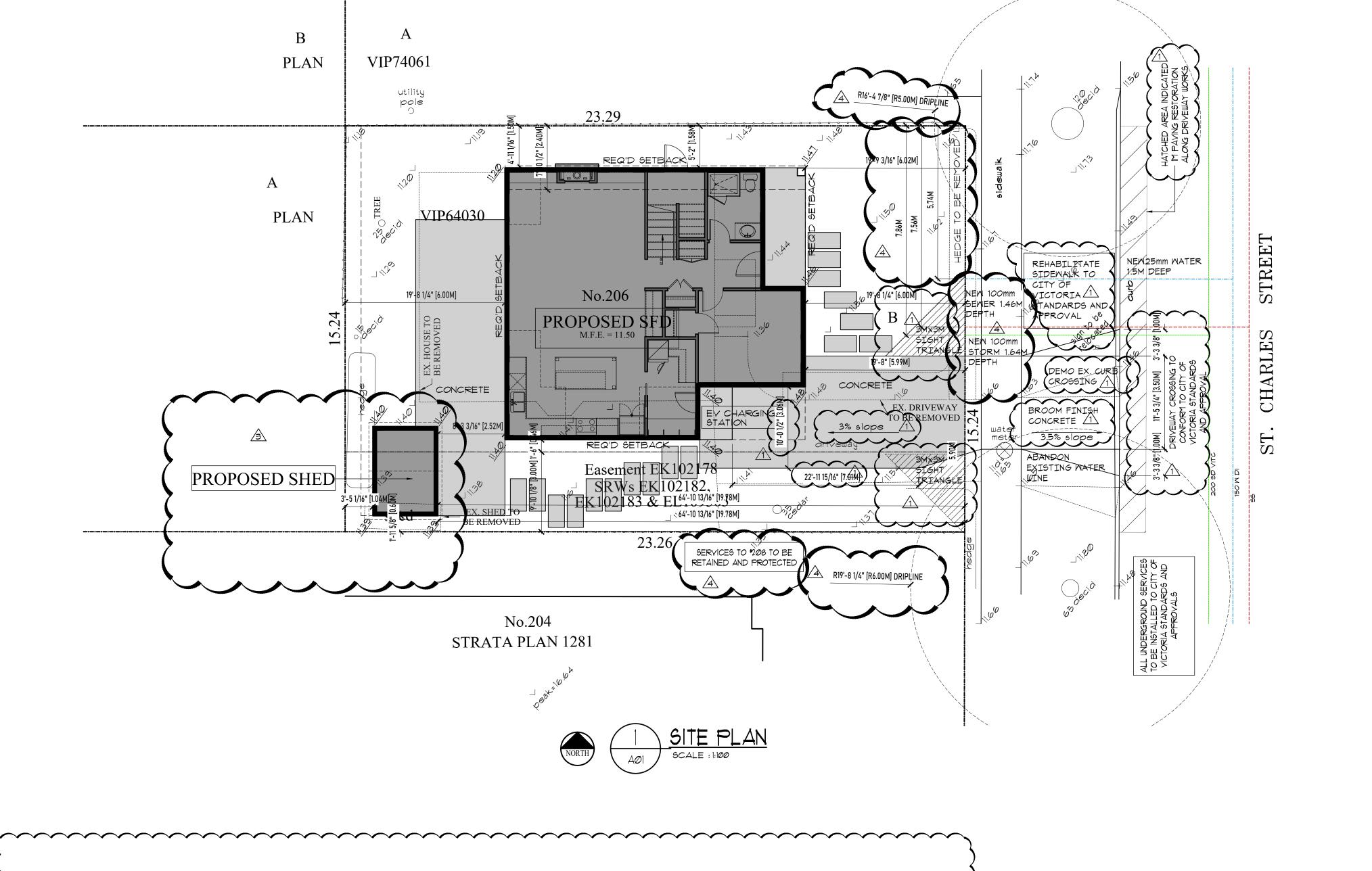
MF.E.MAIN FLOOR ELEVATION

O.C. ON CENTRE

DP DROPPED BEAM EC ENGINEERED CONNECTION REQUIRES STRUCTURAL ENGINEER ENG. ENGINEERED REQUIRES STRUCTURAL ENGINEERING BY P. ENG C/W SEALED DRAWINGS

FL FLUSH BEAM H.H. HEAD HEIGHT

PREF. PREFINISHED Pt.L. POINT LOAD ABOVE R&S ROD & SHELF SPF SPRUCE/PINE/FIR \*2 T#G TONGUE # GROOVE T.O.S.TOP OF SLAB U.F.E. UPPER FLOOR ELEVATION UN.O.UNLESS NOTED OTHERWISE V.O.S. VERIFY ON SITE



 $\triangle$ 

Average grade

(total factors

488.93 42.98 11.37

11.38

206 ST. CHARLES STREET - Average Grade Calculation

EGMENT Start Finish Average Distance Factor Total Factors Perimeter perimeter)

11.47 3.77 43.24

11.44 3.96 45.30

4.46 51.13

1.98 22.57

7.32 83.45

42.98 488.93

11.47 11.34 11.28 127.86

11.47

11.40

11.40

11.40 11.20 11.30 10.21 115.37

11.40

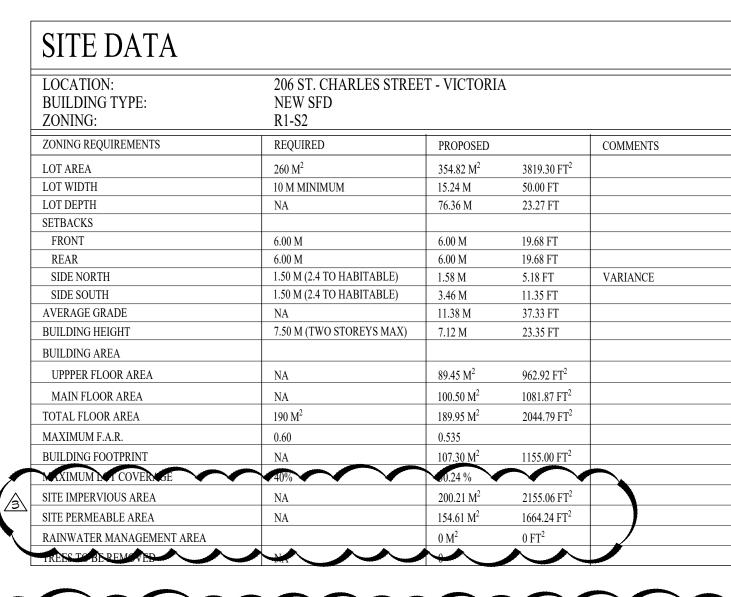
11.40 11.40

11.40 11.40

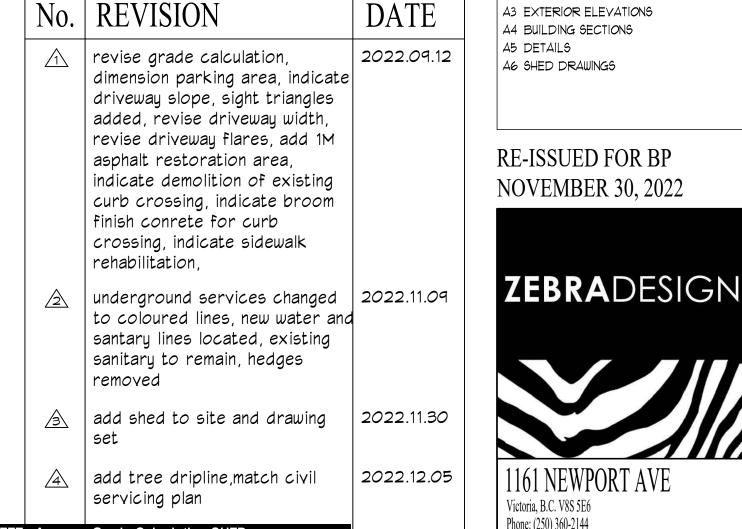
AVERAGE GRADE

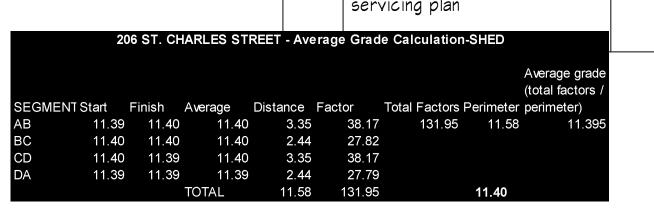
AVERAGE GRADE CALCULATION

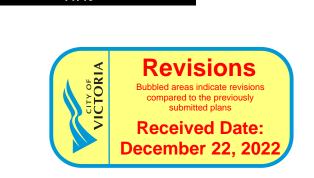
= 11.38



SITE DATA - ACCI	ESSORY B	UILDING		
LOCATION: BUILDING TYPE: ZONING:	206 ST. CHARLES ACCESSORY BUI R1-S2	STREET - VICTORIA LDING (SHED)	A	
ZONING REQUIREMENTS	REQUIRED	PROPOSED		COMMENTS
SETBACKS				
FRONT	18.00 M	19.78 M	64.89 FT	
REAR	0.60 M	1.04 M	3.41 FT	
SIDE NORTH	0.60 M	11.29 M	37.04 FT	
SIDE SOUTH	0.60 M	0.60 M	1.96 FT	
FROM BUILDING	2.40 M	2.52 M	8.26 FT	
AVERAGE GRADE	NA	11.40 M	37.40 FT	
BUILDING HEIGHT	4.00 M	3.74 M	12.27 FT	
BUILDING AREA				
TOTAL FLOOR AREA ACCRSSORY BLDG	NA	8.91 M <sup>2</sup>	96.00 FT <sup>2</sup>	
TOTAL FLOOR AREA ALL ACCESSORY BLDG	$37.00 \text{ M}^2$	8.91 M <sup>2</sup>	96.00 FT <sup>2</sup>	
BUILDING FOOTPRINT HOUSE	Q160	107.30 M <sup>2</sup>	1155.00 FT <sup>2</sup>	
BUILDING FOOTPRINT ACCESSORY BLDG	NA	8.91 M <sup>2</sup>	$96.00  FT^2$	
TOTAL BUILDING FOOTPRINT	NA	116.21 M <sup>2</sup>	1251.00 FT <sup>2</sup>	
MAXIMUM LOT COVERAGE	40.00%	32.75 %		
REAR YARD AREA	NA	91.45 M <sup>2</sup>	984.44 FT <sup>2</sup>	
MAXIMUM LOT COVERAGE ACCESSORY	30.00%	9.74 %		

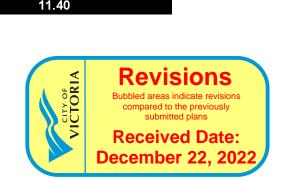






AVERAGE GRADE CALCULATION-SHED AØ1

8' [2.44M]



Revision:

AL SITE PLAN, AND SITE DATA

A3 EXTERIOR ELEVATIONS

A4 BUILDING SECTIONS

A6 SHED DRAWINGS

A2 FLOOR PLANS

A5 DETAILS

Victoria, B.C. V8S 5E6

Phone: (250) 360-2144

Drawn By: LOUIS HORVAT

AS NOTED

NEW SFD @ 206

ST.CHARLES STREET

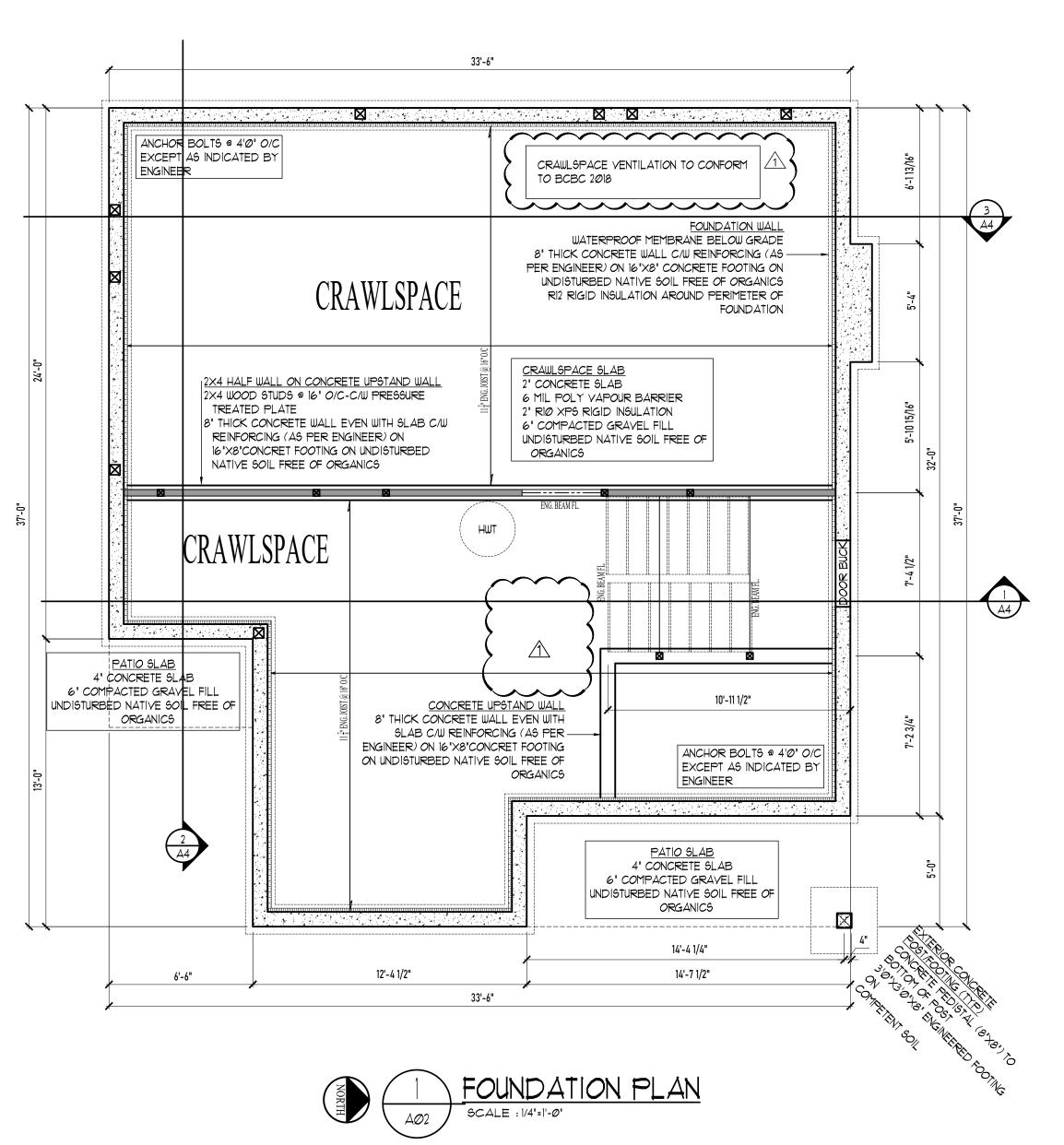
APRIL 27. 2022

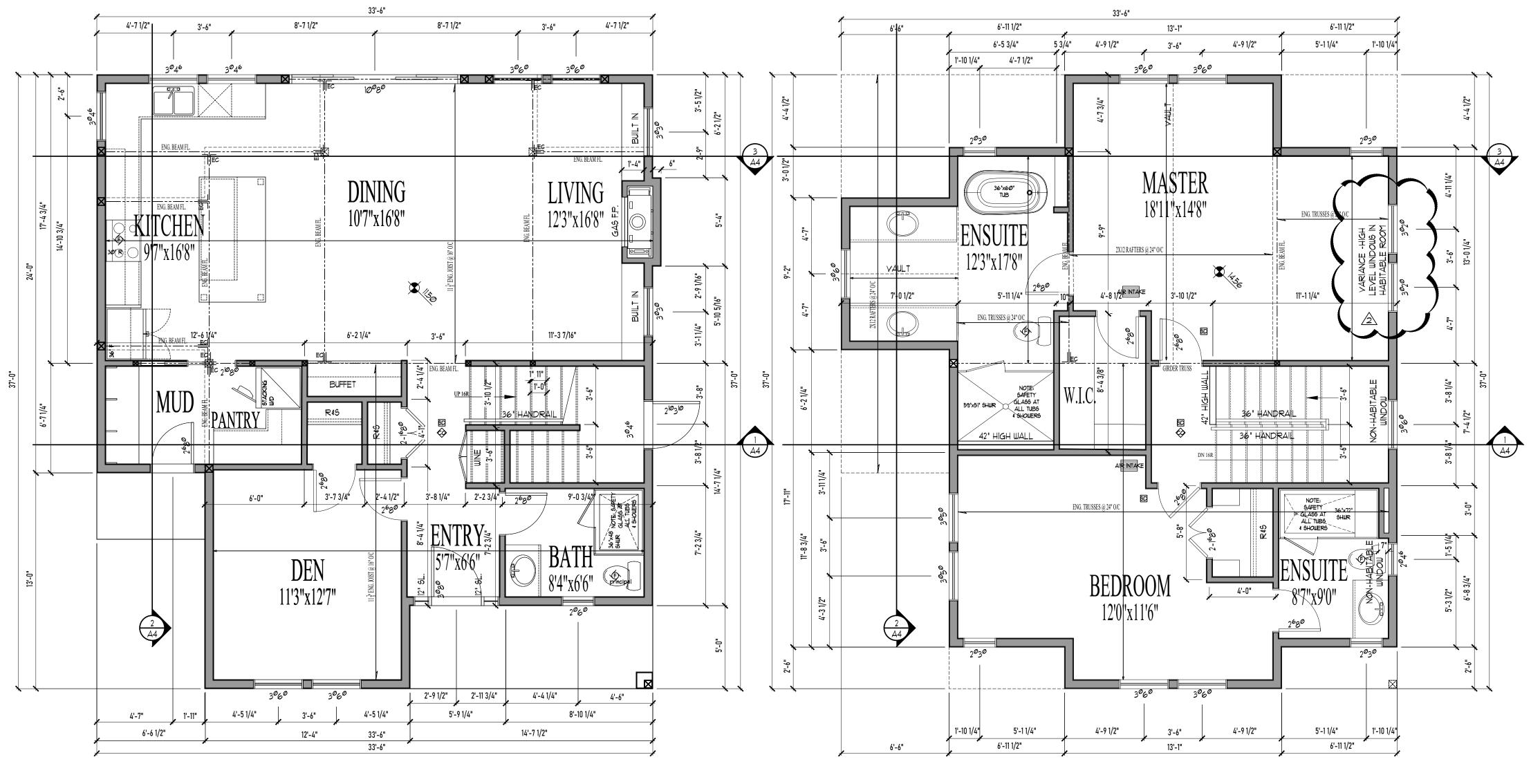
Fax: (250) 360-2115

Scale:

Title:

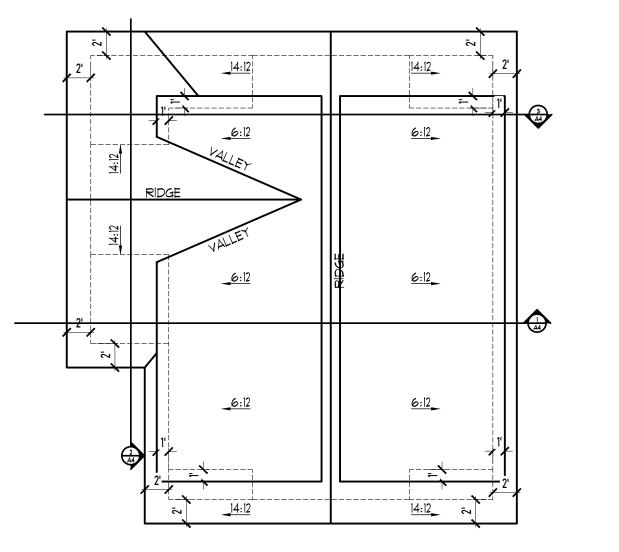
SITE PLAN







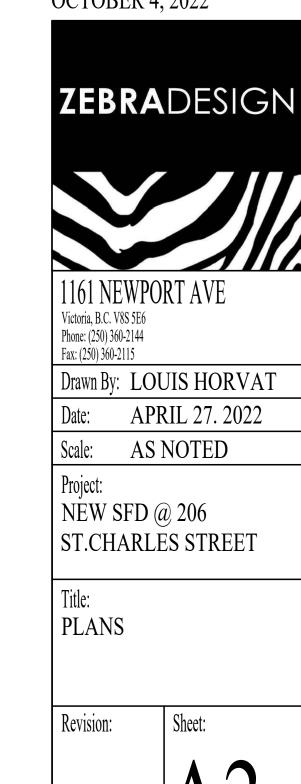


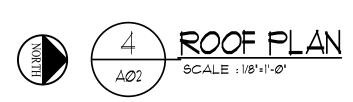


F) principal	FAN
	SMOKE DETECTOR
<b>�</b>	CARBON MONOXIDE DETECTOR-INTERCONNECTED ON ALL FLOORS
	FLUE PROPOSED FINISH GEO. ELEVATION
	ENGINEERED CONNECTION
	COLUMN COLUMN - POINT LOAD ABOVE SHEAR WALL
Œ.	CENTER LINE
AIR INTAKE	AIR INTAKE VENT

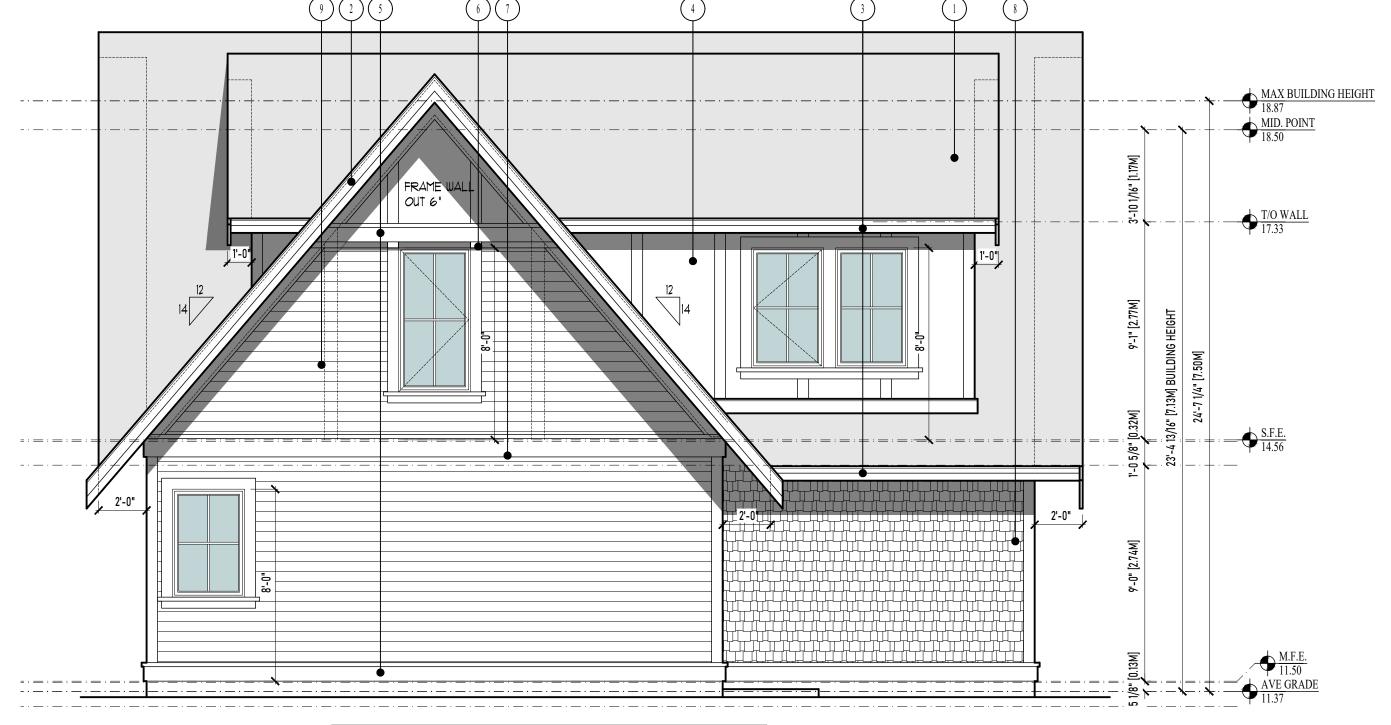
No.	REVISION	DATE
Â	furnace and HRV removed from plan, indicate crawlspace to be vented as per BCBC 2018,	2022.09.12
2	habitable room windows indicated	2022.11.03
B	no changes	2022.11.30
4	no changes	2022.12.05

RE-ISSUED FOR BP OCTOBER 4, 2022









MAXIMUM GLAZING CALCULATION -

3.45 M (11.31') 65.77 M² (708.01 SF)

4.30 M² ( 46.34 SF)

6.54% (ALLOWED 15.53%)

SOUTH ELEVATION

GLAZING AREA PERCENTAGE

DISTANCE TO PROPERTY LINE EXPOSED BUILDING FACE AREA

SOUTH ELEVATION

2022.11.30

DATE

2022.09.12

2022.11.03

2022.11.30

2022.12.05

no changes

No. REVISION

indicated

no changes

no changes

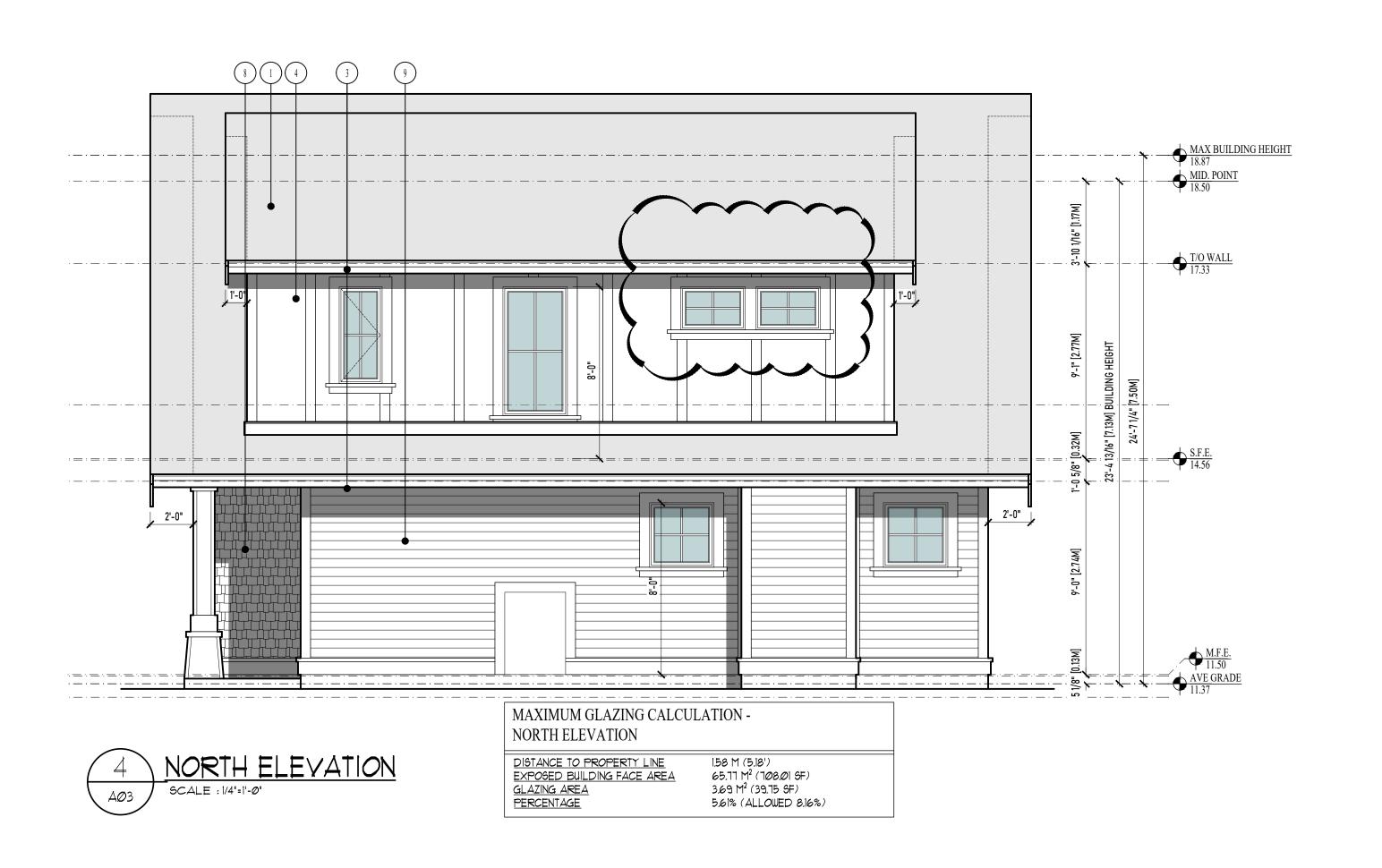
habitable room windows

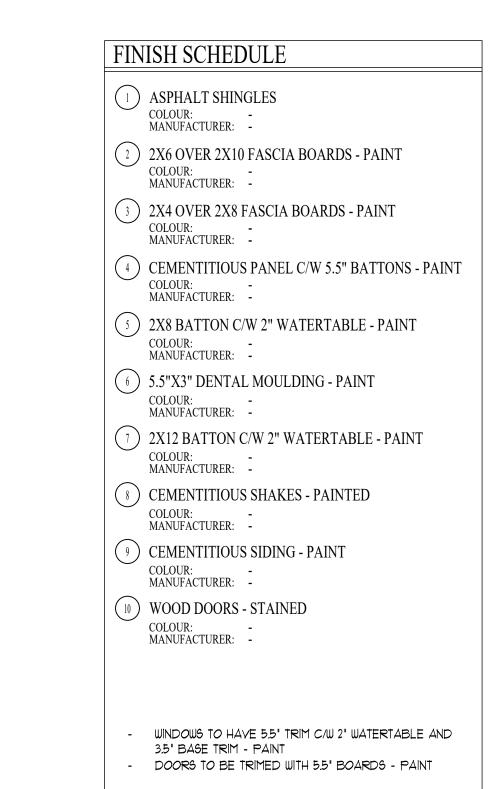
no changes

TO MALE

TO

REAR ELEVATION





WINDOW OPERATION SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018

FLASH OVER ALL MATERIAL TRANSITIONS, AND

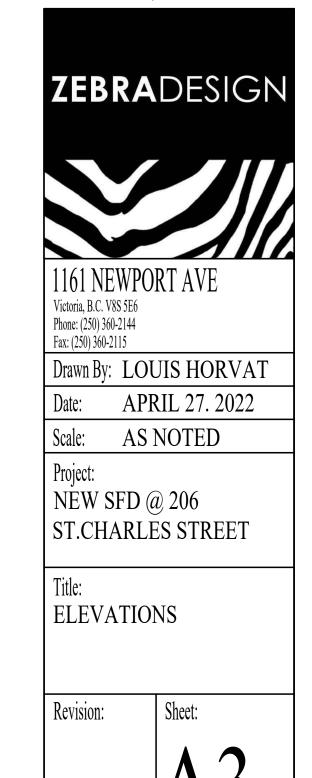
ALL COLOURS BY DESIGNED AND OWNER

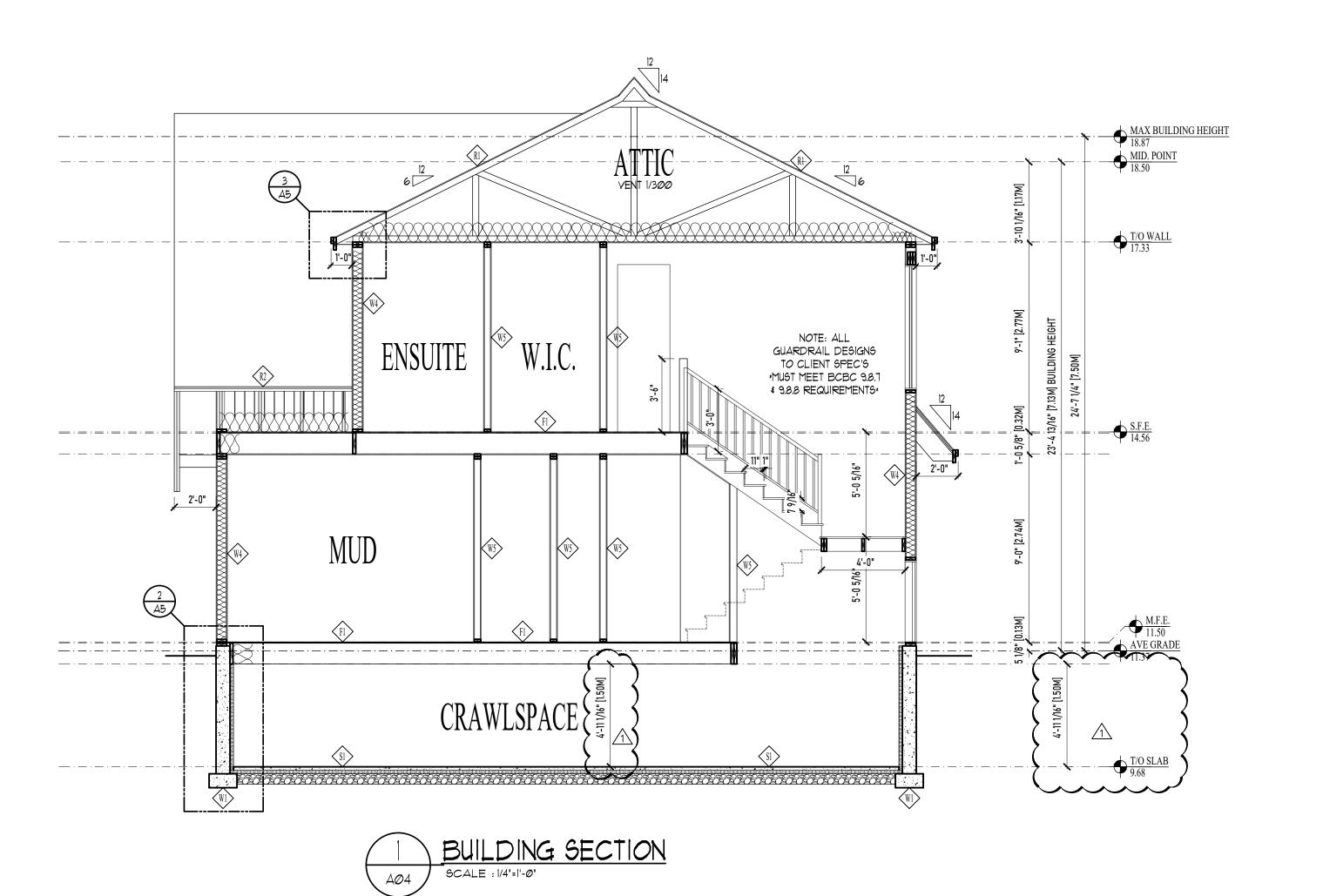
REQUIREMENTS FOR EGRESS

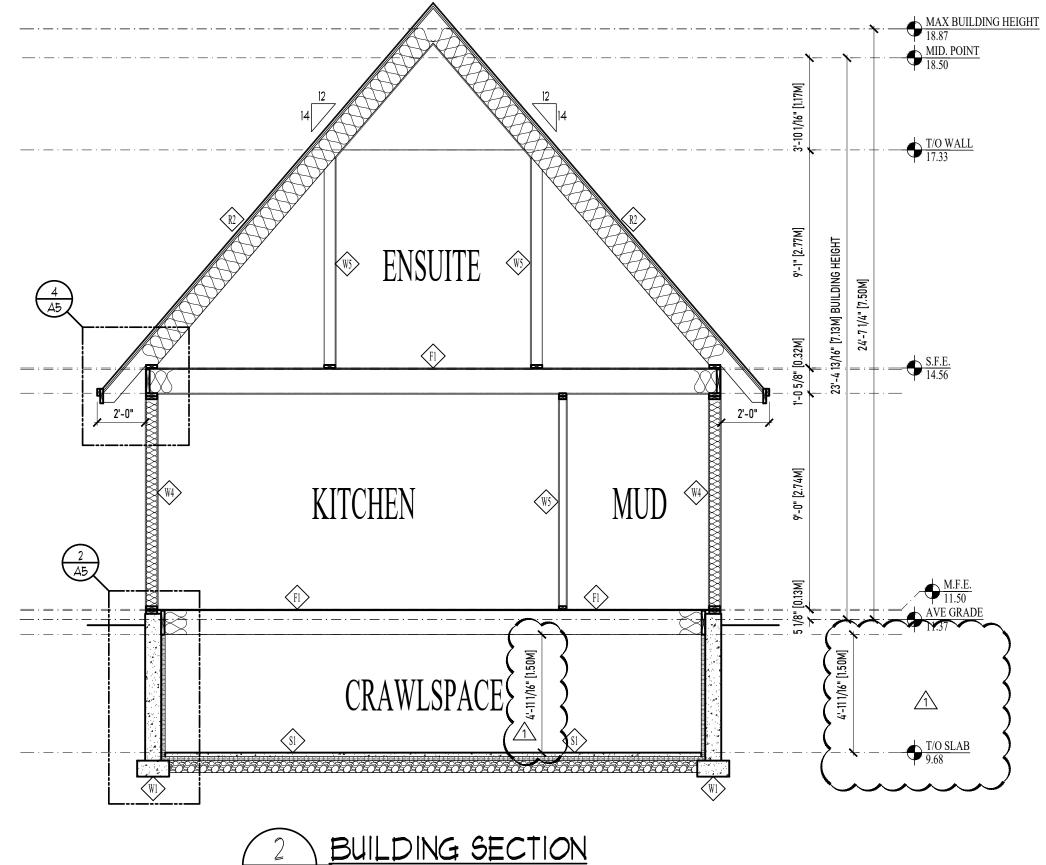
DOOR & WINDOWS HEADS NO COMBED-FACED TRIM

GENERAL NOTES:

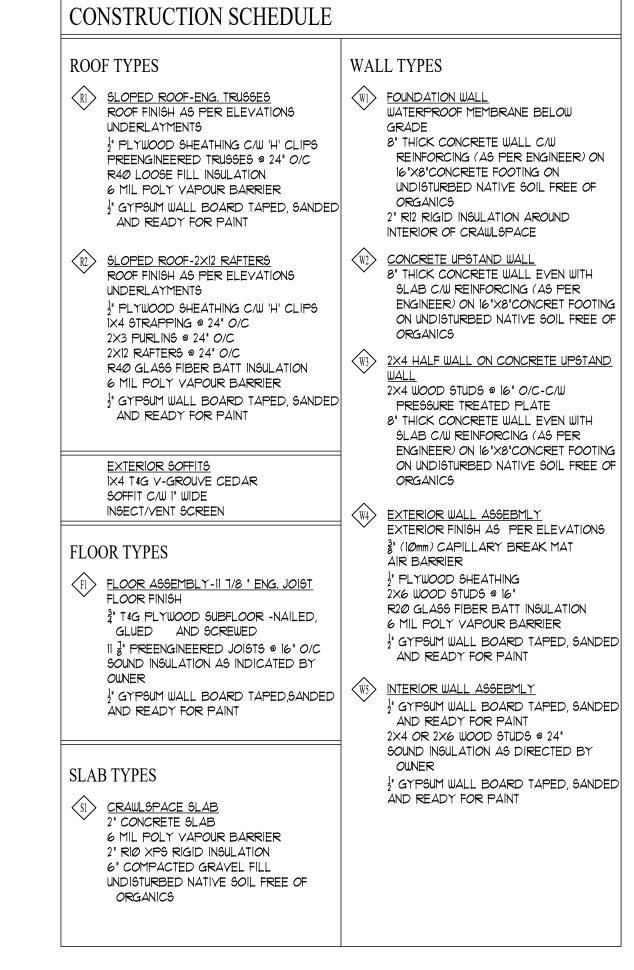
RE-ISSUED FOR BP OCTOBER 4, 2022



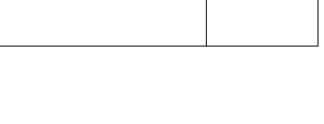




SCALE : 1/4"=1'-0"

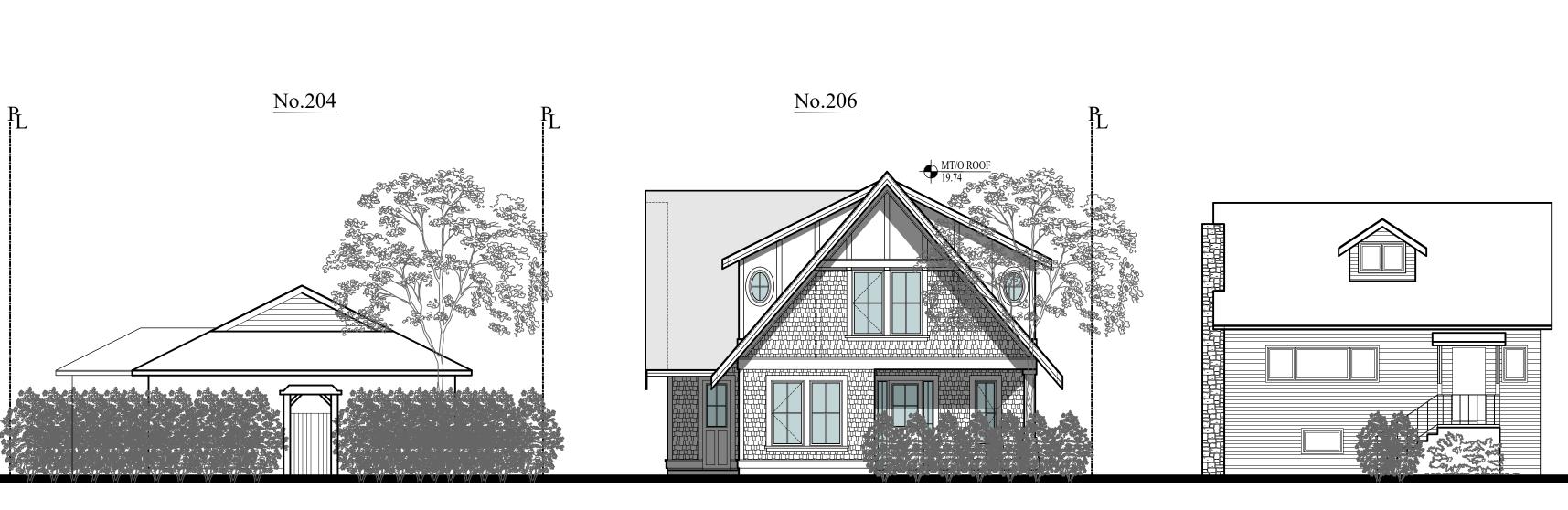


No.	REVISION	DATE
$\triangle$	adjust crawlspace dimension	2022.09.12
À	no changes	2022.11.30
4	no changes	2022.12.05



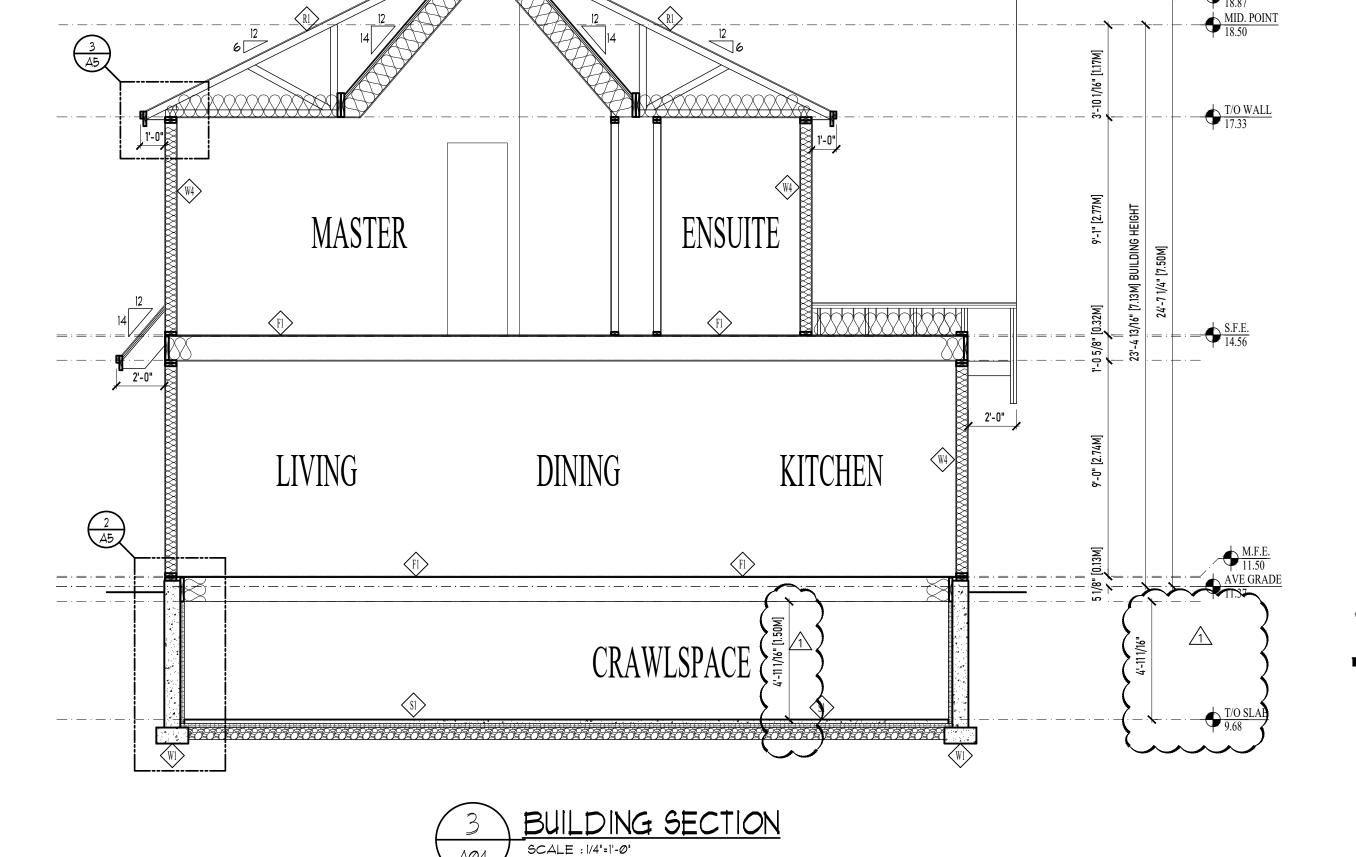
RE-ISSUED FOR BP

OCTOBER 4, 2022

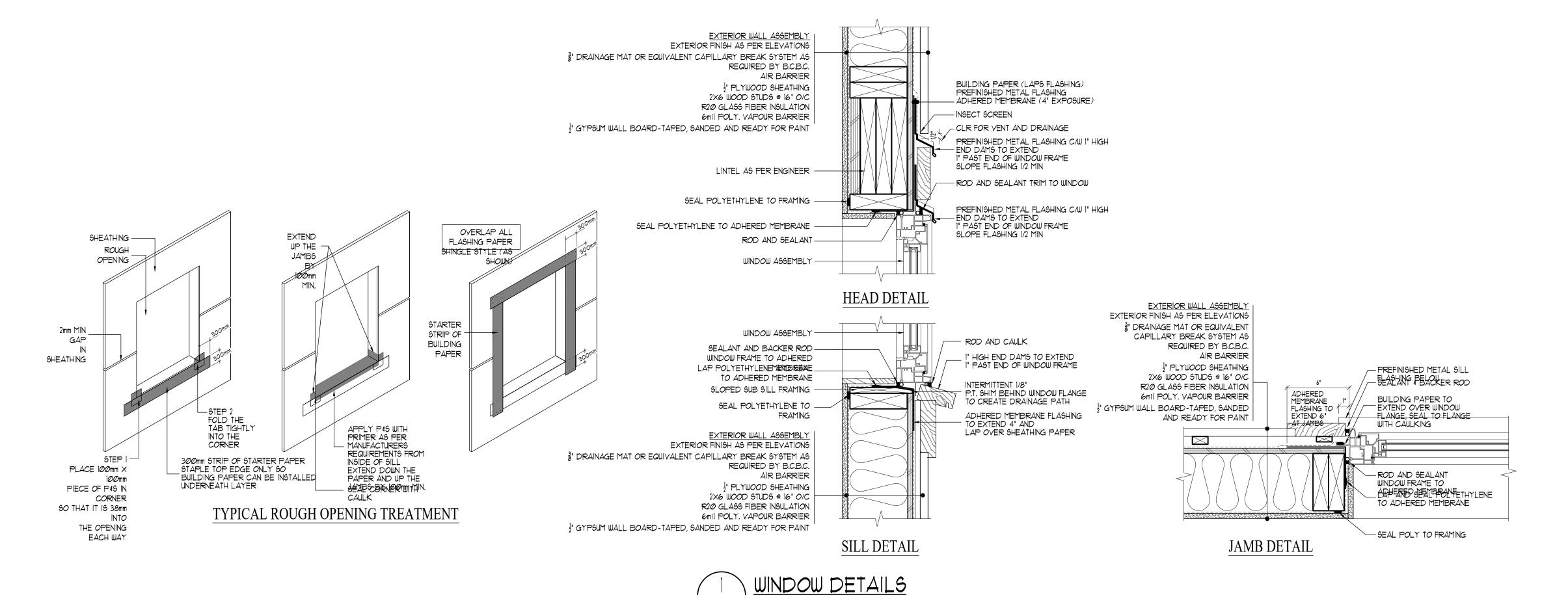


ST. CHARLES STREET



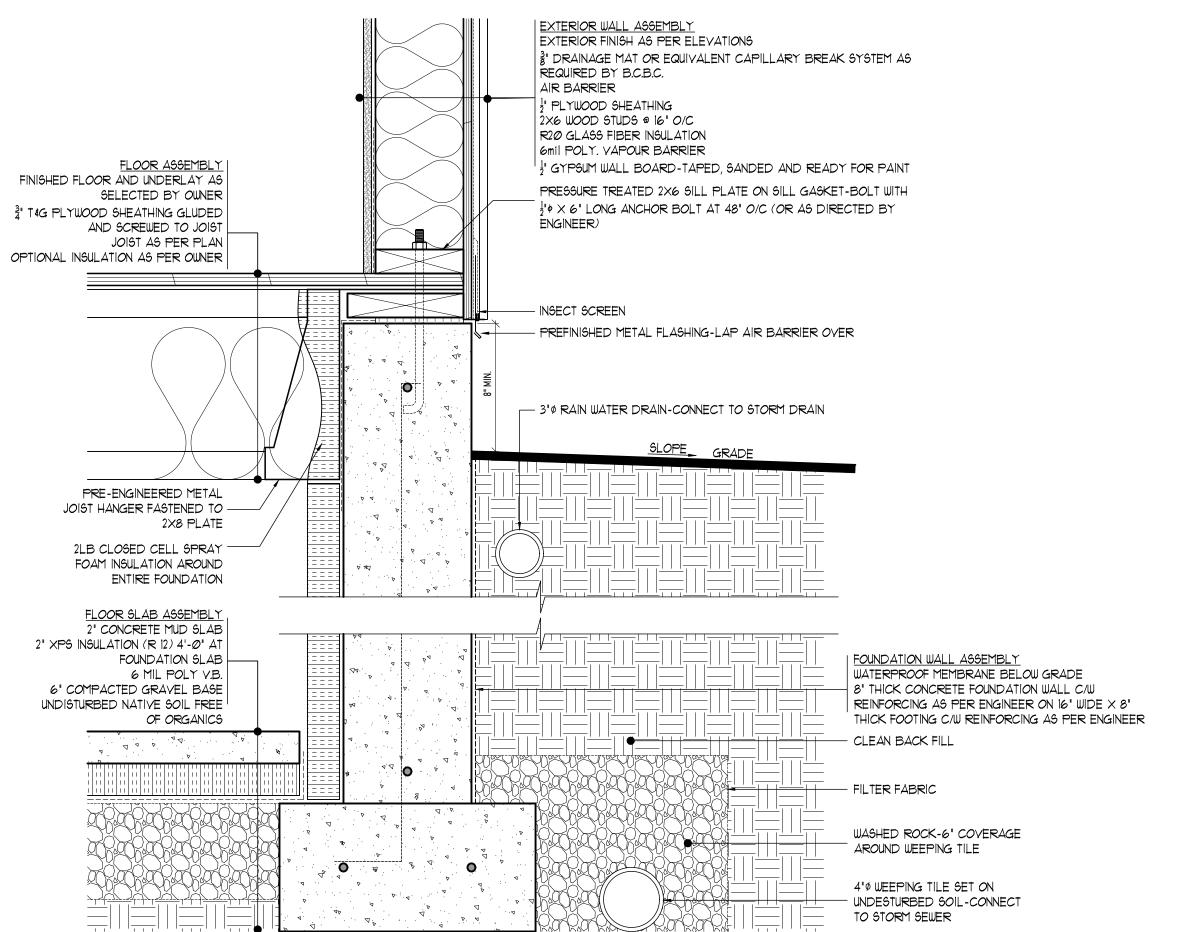


ZEBRADESIGN 1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115 Drawn By: LOUIS HORVAT APRIL 27. 2022 Scale: AS NOTED Project: NEW SFD @ 206 ST.CHARLES STREET SECTIONS AND STREETSCAPE Revision:



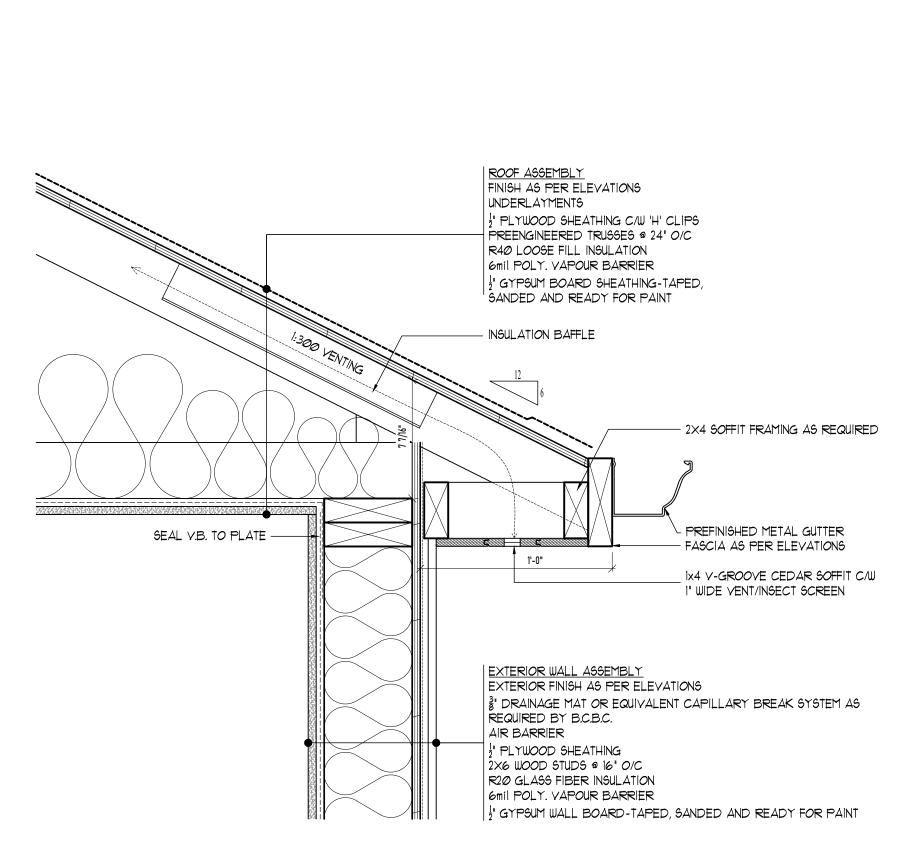
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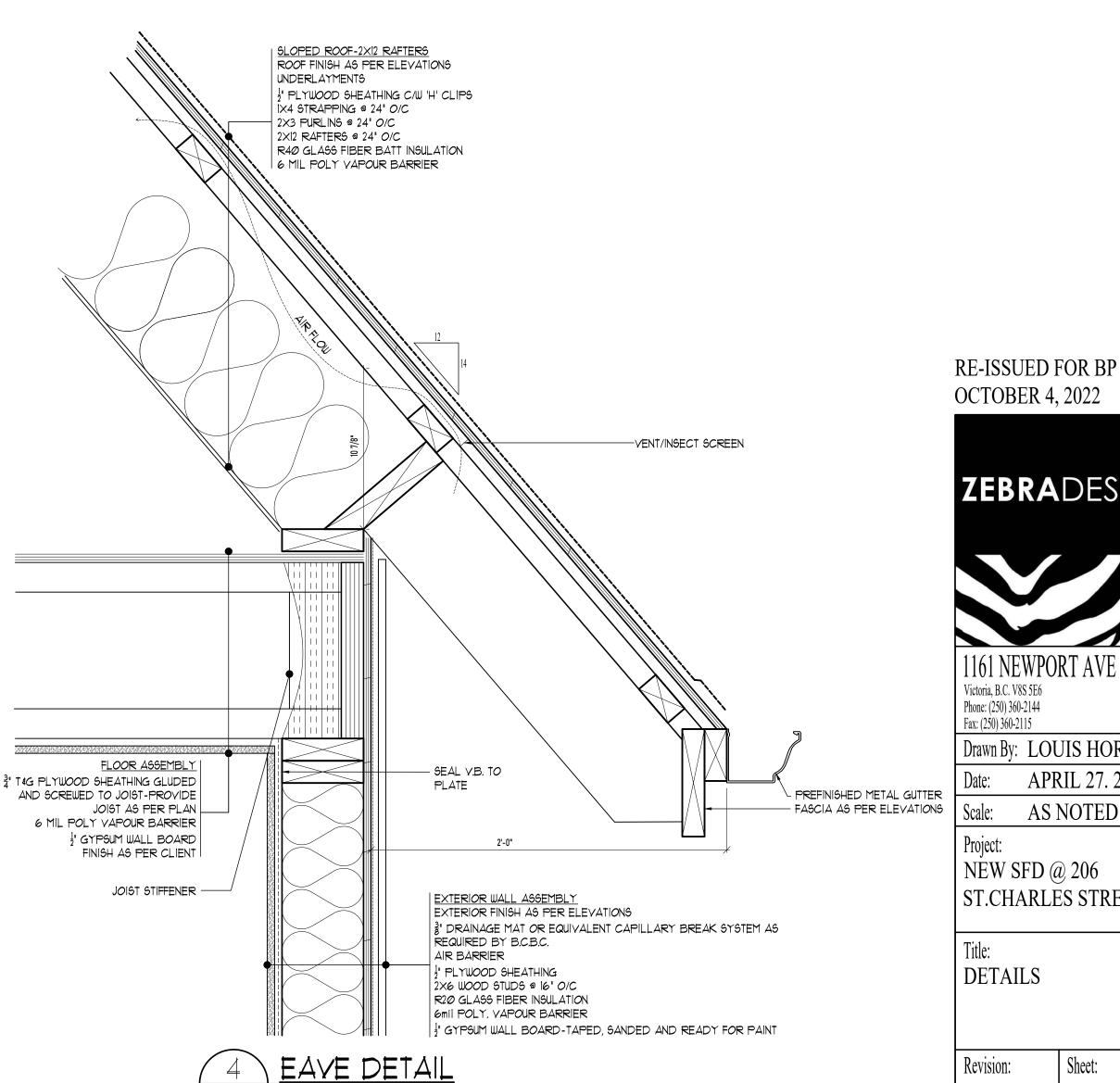
N	0.	REVISION	DATE
	1	no changes	2022.09.12
	<u>\$</u>	no changes	2022.11.30



FOUNDATION DETAIL

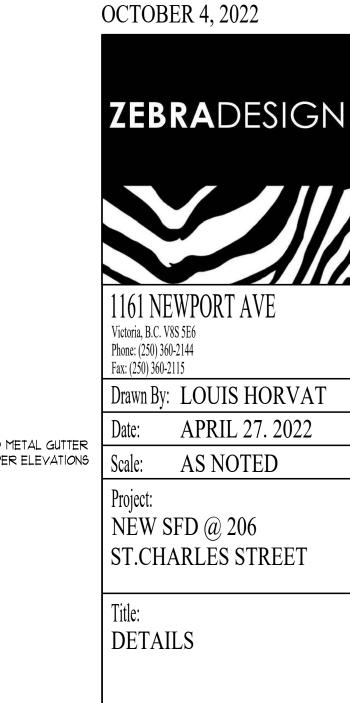
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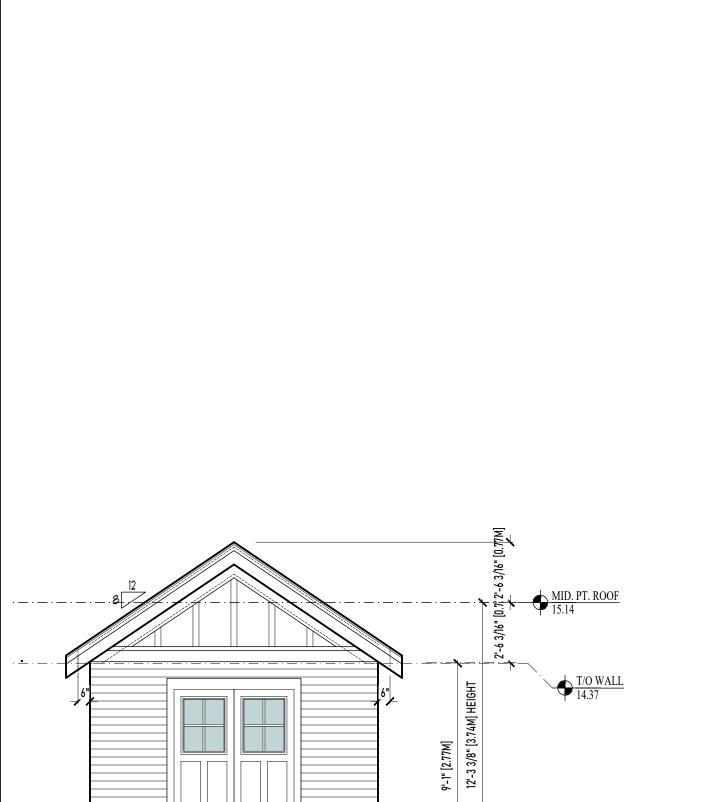




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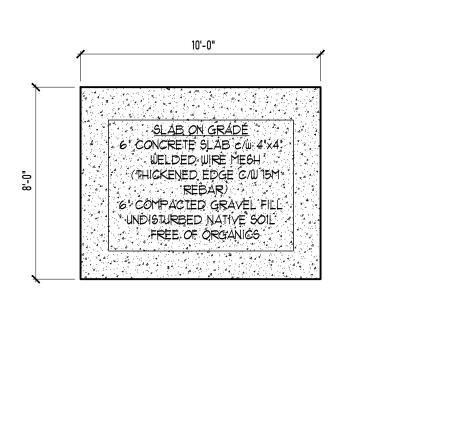




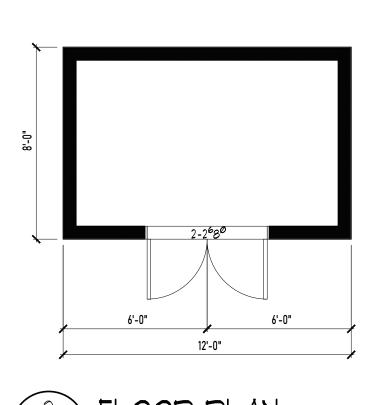


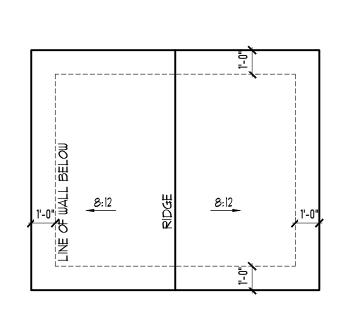
AVE GRADE
11.40





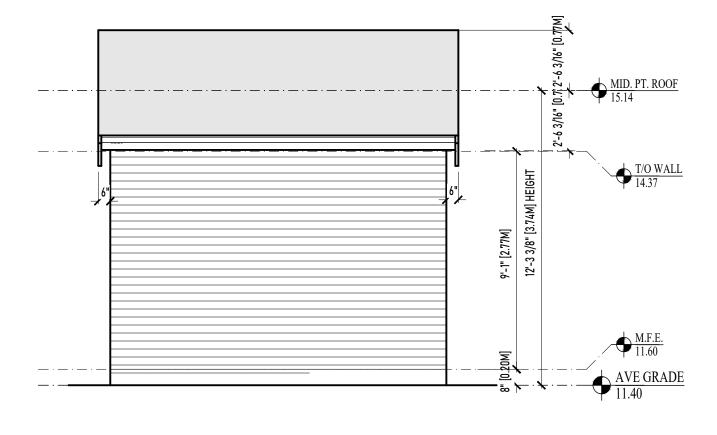
FOUNDATION PLAN SCALE : 1/4"=1"-0"



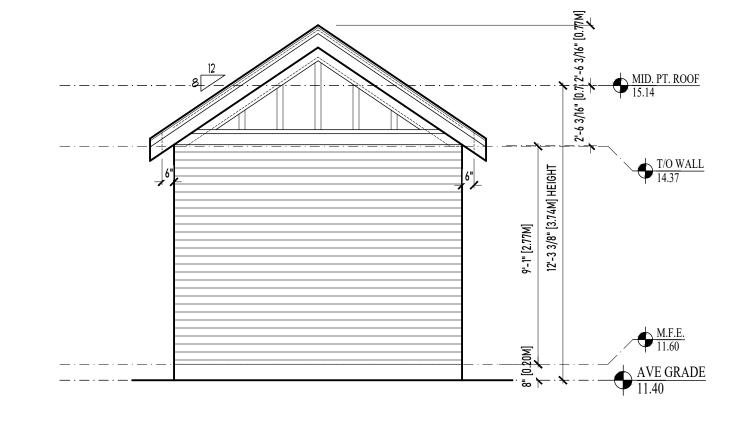




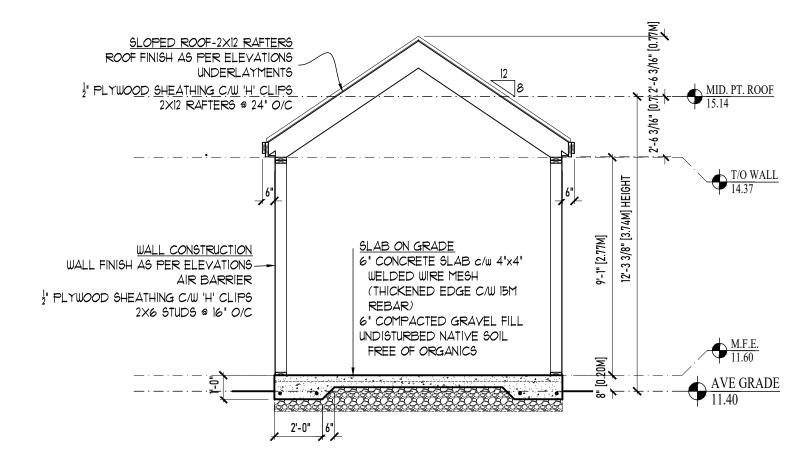






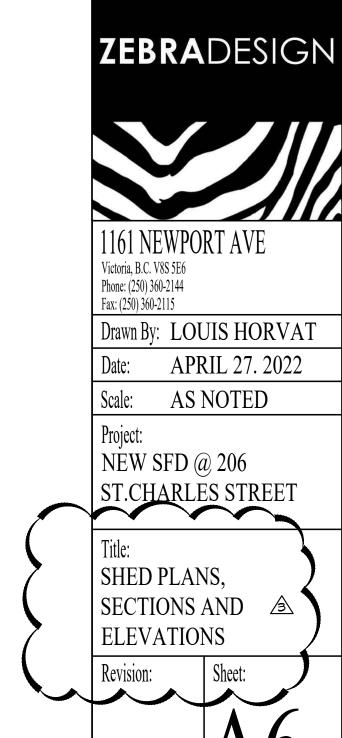








No.	REVISION	DATE
<u>\$</u>	add shed plans no changes	2022.11.30 2022.12.05



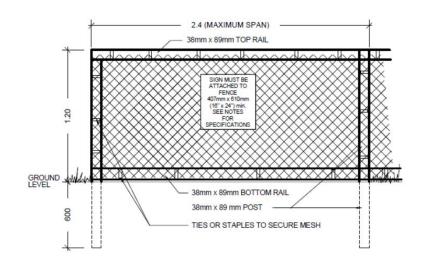
RE-ISSUED FOR BP

OCTOBER 4, 2022



TREE PROTECTION SIGN

\*Arborist to supervise installation of all works and materials to mitigate construction impacts and placement of temporary barrier fencing.



TREE PROTECTION FENCING

\*Specifications for tree protection fencing: 1) the fence will be constructed using 38x89mm [2"x4"] wood frame:

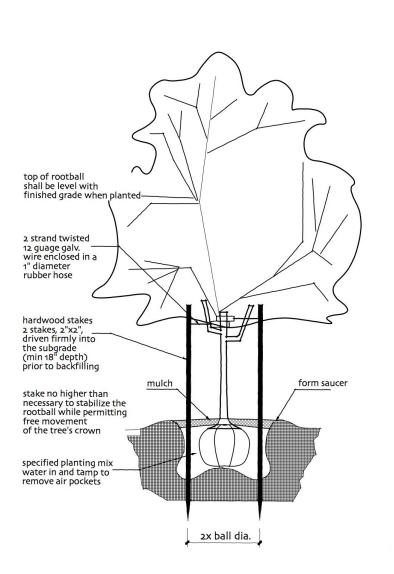
- Use orange snow fencing mesh and secure to the wood frame with "zip" ties or galvanized staples.

2) Attach a sign with a minimum size of 407mmx 610mm [16"x24"] with the

A) **DO NOT ENTER** - Tree Protection Zone [for retained trees], or B) **DO NOT ENTER** - Future Tree Planting Zone [for tree planting sites]

This Sign must be affixed on every fence face or at least every ten (10) linear

\*In rocky areas, metal posts [T-bar or Rebar] drilled into rock will be accepted.



TREE PLANTING DETAIL SCALE: NTS



**ROCK BOULDERS & COTTAGE STYLE PLANTINGS** 



DROUGHT RESISTANT PERENNIALS



## NOTES:

See architectural plans for full site plan and full extent of property.

Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition). All growing medium to comply to BCLSA/ BCLNA standard designation "1P - Level-1 Well Groomed Areas". Underground irrigation system to be installed for new garden areas. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IIABC Standards. All irrigation piping under hardsurfaces to be sleeved.

Exisitng fencing to remain. Any new fencing to meet municpal bylaw requirements. All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be

verified by a surveyor and /or arbourist where necessary. See Arborist report for significant trees on this site. Arborist to be retained for removal of trees and for protection of existing where required. Install tree protection fencing for boulevard or protected tree(s) where necessary. Contractor to locate, identify and have crews be aware of all new and existing services on and into the property. Patio area sizes are approximate and subject to change.

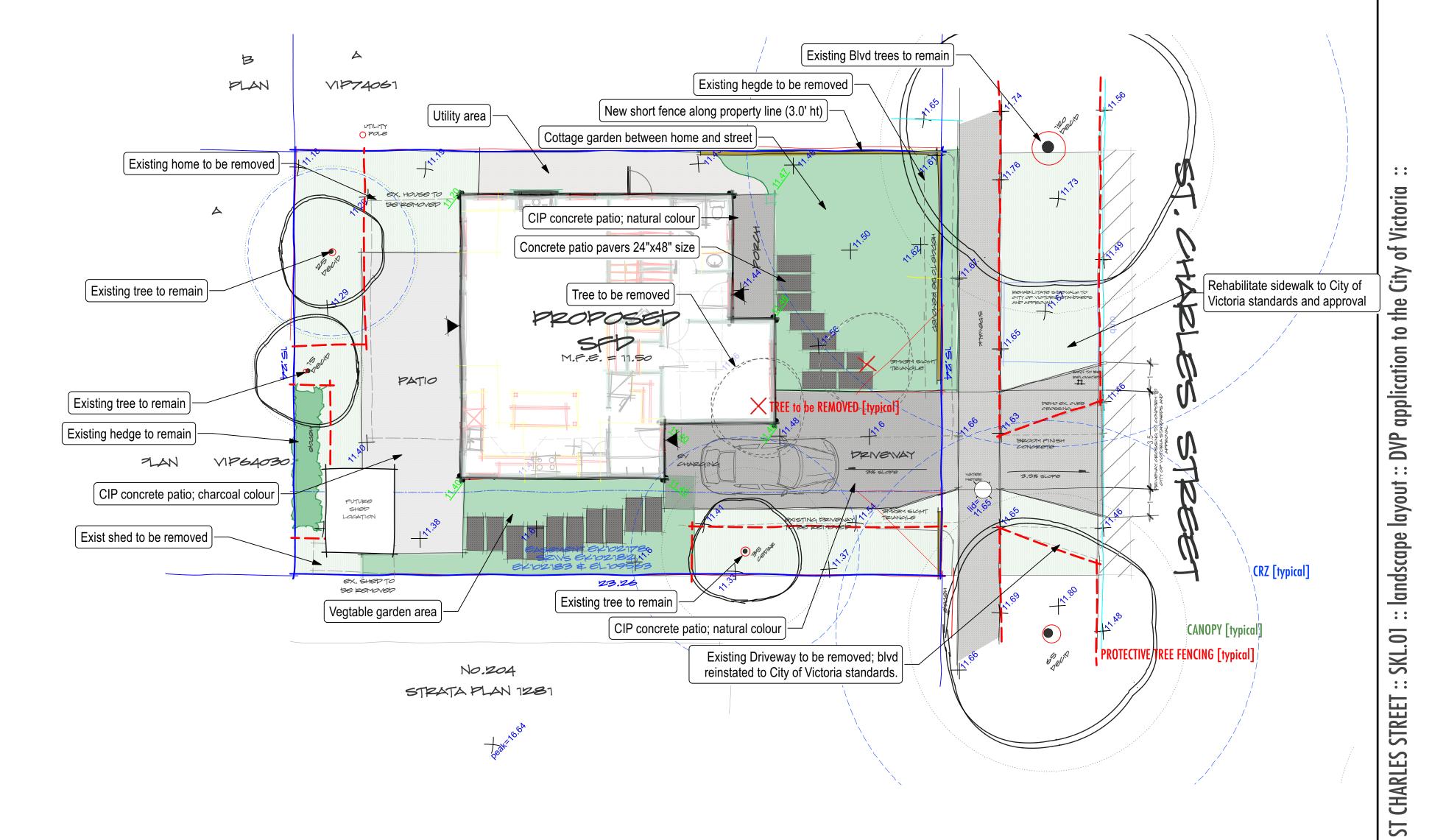
Plant recomendations are subject to change depending on owner's selections and preference. Vegetable area is shown for approximate location only. Actual plant material for this area to be determined by the homeowner.

## RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE /REMARKS
TREES		
Acer palmatum Bloodgood	Bloodgood Japanese Maple	2.4M ht.
Styrax japonica	Japanese Snowbell	3cm. cal. /B&B
SHRUBS & PERENNIALS		
Alchemilla mollis robusta	Lady's Mantlke	#1 Pot
Buxus Microphylla Winter Gem	Littleleaf Boxwood	#5 Pot
Ceanothus	California Lilac	1.5M. Ht.
Euonymus Alatus Compacta	Dwarf Burning Bush	#5 Pot
Hamamellis Int. Jellena	Orange Witch Hazel	1.5M. Ht.
Hakonechloa macra aureola	Hokone Grass	#1 Pot
Helleborus argutifolius	Corsican Hellebore	#1 Pot
Hosta Hadspen Blue	Hadspen Blue Hosta	#1 Pot
Lavandula Munstead	English Lavender	#1 Pot
Liriope Muscari	Big Blue Lily Turf	#1 Pot
Polystichum munitum	Western Sword Fern	#3 Pot
Ribes Sang. King Edward	Ornamental Currant	#5 Pot
Rosemary Officinalis	Rosemary	#3 Pot
Rudbeckia Fulgida	Orange Coneflower	#1 Pot
Spiraea japonica Goldflame	Goldflame Spirea	#3 Pot
VINES & GROUNDCOVER		
Arctostaphylos uva ursi	Kinnickinnick	SP3
Thymus pseudolanuginosus	Wooly Thyme	SP3
Parthenossissus Tricus. Veitchii	Boston Ivy	#2 Pot / Staked

FRUIT TREES & VEGETABLES

- Multiple types and kinds of Veggies for the vegetable garden area



**SKL.01** 19.NOV.2022

LATEST REVISION: 30.NOV.22

206 ST. CHARLES STREET



RESIDENTIAL DEVELOPMENT ::