GENERAL NOTES CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES. 2. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. 3. EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/SHEATHING. INTERIOR DIMENSIONING IS TO CENTRE-LINE OF PARTITION. 4. WHERE NOTED BY "ENG." OR "ENGINEERED", ALL STRUCTURE SHALL BE ENGINEERED BY CERTIFIED STRUCTURAL ENGINEER, INCLUDING, BUT NOT LIMITED TO: SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS "ENGINEERED". ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL. 5. ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE, AND SHALL CONFORM TO CURRENT RESIDENTIAL STANDARDS AND THE BRITISH COLUMBIA BUILDING CODE 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE. 6.IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED, AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING 1. PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9. 8. ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING 16 TO BE IN ACCORDANCE WITH B.C.B.C. 2018 AND GOOD CONSTRUCTION 9. PROVIDE MINIMUM OF 8" (200mm) CLEARANCE FROM GRADE TO WOOD CLADDING MATERIALS. EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6" (150mm) ABOVE ADJACENT GRADE. IDALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2018 PART 9 WHERE SUPPORTING FLOOR OR ROOF LOADS. 1. INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.10.19. - INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 9.32.42. 12. ALL WOOD IN CONTACT WITH CONCRETE INCLUDING SILL PLATES MUST BE PRESSURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL. 13.ALL NOTED "ENGINEERED" COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS. 14.5UPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW CRITERION FOR AIRTIGHTNESS, WATERTIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (security). ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR NAPS-RATINGS FOR ALL WINDOWS WITHIN 2 METRES OF GRADE THE RELEVANT STANDARD REQUIRES THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOW UNITS OR WINDOWS ARE TO ENGINEERED WITH SEALED DRAWINGS AND LETTERS OF ASSURANCE, WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE. | 15.INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" (865mm) MIN. to 38" (965mm. MAX. ABOVE NOSING. 16.INSTALL GUARDRAIL AT ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm. ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42" (1070mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE, OTHERWISE 36" (915mm) GUARDRAIL CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SHOE TO RESIST LATERAL LOADS PER B.C.B.C. 2018. OTHER GLAZED RAILINGS ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED W/ SEALED DWGS. AND LETTERS OF ASSURANCE. 7.INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT WALLBOARD (min. 6" - 150mm) ON FRAMING AS SUBSTRATE AROUND ALL WALL & CEILING AREAS OF STEAM, SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL WET AREAS TO MIN 6'-0" 18.PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING BUILDING CODE AND BY-LAWS. MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION. 19.PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND CERTIFIED CONTRACTOR. RECEPTACLES AND APPLIANCE LOCATIONS TO BE APPROVED BY OWNER STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER. THE B.C.B.C. 2012 PART 9. COMPACT ACCORDING TO BUILDING ELEVATIONS.

20.ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIE

1. FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF

22. VERIFY EXISTING AND PROPOSED GRADES PRIOR TO SETTING OUT AND CUT, FILL, $\pmb{\sharp}$

23. ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES, AND MILLWORK TO OWNER'S APPROVAL

24.STAIR TREADS TO BE CONSTRUCTED OF PLYWOOD OR OTHER ENGINEERED PRODUCT, FASTENED WITH SCREWS AND SUB-FLOOR ADHESIVE.

25. ALL FLOOR SHEATHING MUST BE SECURED WITH 1 5/8"(40mm)

GALVANIZED OR COATED FLOOR SCREWS ON 6' O.C.(150mm) 26.50LID EAVE PROTECTION ON OVERHANG IS REQUIRED ON ALL SHAKE ROOFS.

27. TEMPORARY HEAT AND/OR FANS REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN THE DRYING OF INTERIOR FRAMEWORK.

28.MOISTURE CONTENT OF THE INTERIOR FRAME MUST NOT EXCEED 19% PRIOR TO APPLICATION

OF VAPOR BARRIER AND DRYWALL. 29. TWO CONTINUOUS LAYERS OF 30MIN. BUILDING PAPER MUST BE APPLIED TO EXTERIOR

SHEATHING EITHER SHUFFLED - OR INSTALLED WITH 22" (550mm) OVERLAP SEAMS HALFLAPPED TO THE 2nd MID-LINE OF THE BUILDING PAPER. 30.POSITIVE SLOPE FLASHINGS MUST BE INSTALLED ABOVE ALL WINDOWS, DOORS, SILLS, VENTS

PENETRATION DEPTH ON COMPETENT BEARING.

AND MATERIAL TRANSITIONS. ALL FLASHINGS MUST BE INSTALLED BEHIND BUILDING PAPER, WITH MECHANICALLY SEAMED END DAMS. ALL FLASHINGS MUST EXTEND A MINIMUM OF I" (25mm) BEYOND BOUNDARY OF THE OPENING TO WHICH THEY ARE APPLIED.

BI. BUILDING PAPER & FELT PRE-STRIPPING, ONLY, TO CONTACT EXTERIOR SHEATHING. SELF-ADHERING MEMBRANES ARE NOT TO CONTACT WOOD SURFACES.

32. ALL RAINSCREEN CAVITIES TO BE VENTED TOP & BOTTOM WITH INSECT PROOF VENT STRIPS.

33.PROVIDE STEPPED FOOTINGS WHERE REQUIRED IN ACCORDANCE WITH EXISTING OR FUTURE GRADES. ALL FOOTINGS MUST REST ON SOLID UNDISTURBED BEARING AT AN ELEVATION BELOW FROST

34.20 Mpa CONCRETE FOUNDATION WALL 8" (200mm) THICK MAY BE A MAXIMUM OF 4" (1.2 m) HIGH FROM GRADE TO U/S FLOOR IF LATERALLY UNSUPPORTED AT THE TOP. REFER TO B.C.B.C. 2018, 9.15.4. - ALL OTHER CONCRETE WALLS TO BE ENGINEERED.

35.PLUMBING PERMIT REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM AND DRAINAGE SYSTEM FOR THE BUILDING.

ENSURE ALL FIXTURES CONFORM TO CURRENT APPROPRIATE CSA STANDARDS.

36.ALL DOOR AND WINDOW SIZES ARE APPROXIMATE AND MUST BE VERIFIED BY THE BUILDER/OWNER PRIOR TO ORDERING.

31.WHERE ALLOWED BY MUNICIPAL AUTHORITY HAVING JURISDICTION, APPROVED HOUSE WRAP, SUCH AS 'TYVEC' OR 'TYPAR' MAY BE USED, IF APPLIED AS SPECIFIED BY THE MANUFACTURER.

38.DESIGNER/DRAFTSPERSON DOES NOT ASSUME LIABILITY FOR ERRORS OR OMISSIONS ON THESE PLANS UNLESS ADVISED IN WRITING BEFORE PROCEEDING WITH CONSTRUCTION.

ABBREVIATIONS

A/A ATTIC ACCESS - MIN 24"X36" AFF ABOVE FINISHED FLOOR B.F.E.BASEMENT FLOOR ELEVATION BU BUILT-UP

DP DROPPED BEAM

MF.E.MAIN FLOOR ELEVATION

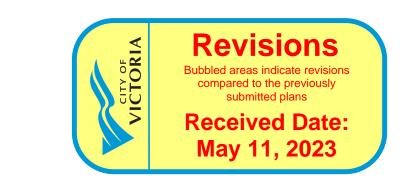
H.H. HEAD HEIGHT

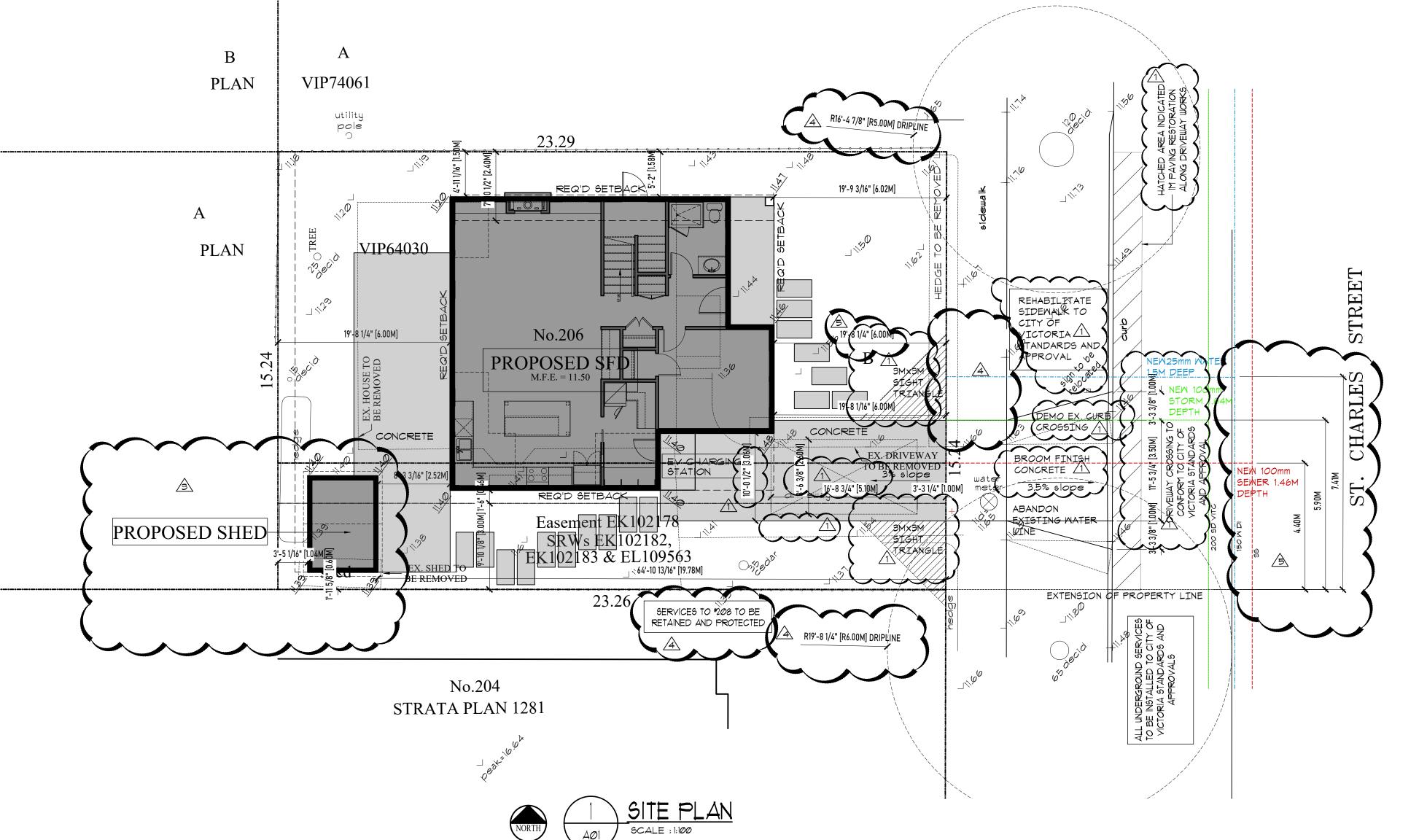
O.C. ON CENTRE

REQUIRES STRUCTURAL ENGINEER ENG. ENGINEERED REQUIRES STRUCTURAL ENGINEERING BY P. ENG C/W SEALED DRAWINGS FL FLUSH BEAM

CONT CONTINUOUS EC ENGINEERED CONNECTION

PREF. PREFINISHED Pt.L. POINT LOAD ABOVE R&S ROD & SHELF SPF SPRUCE/PINE/FIR *2 T#G TONGUE # GROOVE T.O.S.TOP OF SLAB U.F.E. UPPER FLOOR ELEVATION UN.O.UNLESS NOTED OTHERWISE V.O.S. VERIFY ON SITE





 \triangle

Average grade

(total factors

488.93 42.98 11.37

11.38

206 ST. CHARLES STREET - Average Grade Calculation

EGMENT Start Finish Average Distance Factor Total Factors Perimeter perimeter)

11.47 3.77 43.24

11.44 3.96 45.30

4.46 51.13

1.98 22.57

7.32 83.45

42.98 488.93

11.47 11.34 11.28 127.86

11.47

11.40

11.40

11.40 11.20 11.30 10.21 115.37

11.40

11.40 11.40

11.40 11.40

AVERAGE GRADE

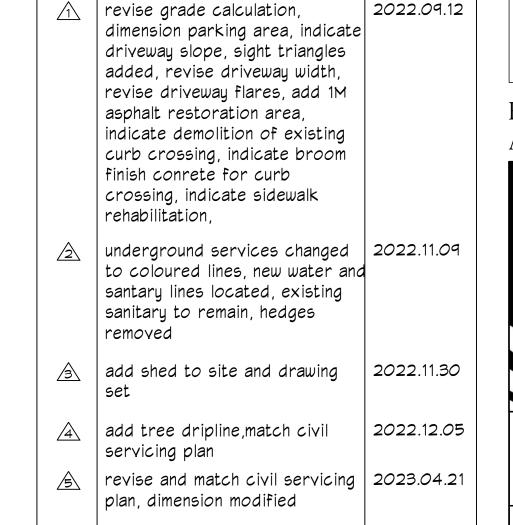
AVERAGE GRADE CALCULATION

= 11.38

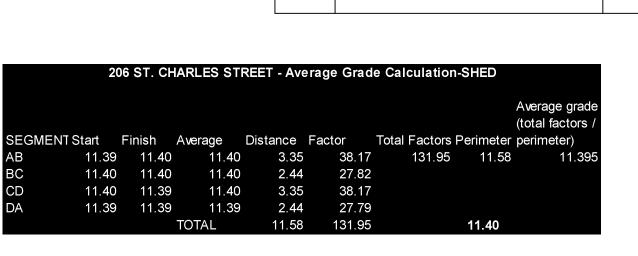
LOCATION:	206 ST. CHARLES STREET - VICTORIA			
BUILDING TYPE:	NEW SFD			
ZONING:	R1-S2			
ZONING REQUIREMENTS	REQUIRED	PROPOSED		COMMENTS
LOT AREA	260 M ²	354.82 M ²	3819.30 FT ²	
LOT WIDTH	10 M MINIMUM	15.24 M	50.00 FT	
LOT DEPTH	NA	76.36 M	23.27 FT	
SETBACKS				
FRONT	6.00 M	6.00 M	19.68 FT	
REAR	6.00 M	6.00 M	19.68 FT	
SIDE NORTH	1.50 M (2.4 TO HABITABLE)	1.58 M	5.18 FT	VARIANCE
SIDE SOUTH	1.50 M (2.4 TO HABITABLE)	3.46 M	11.35 FT	
AVERAGE GRADE	NA	11.38 M	37.33 FT	
BUILDING HEIGHT	7.50 M (TWO STOREYS MAX)	7.12 M	23.35 FT	
BUILDING AREA				
UPPPER FLOOR AREA	NA	89.45 M ²	962.92 FT ²	
MAIN FLOOR AREA	NA	100.50 M ²	1081.87 FT ²	
TOTAL FLOOR AREA	190 M ²	189.95 M ²	2044.79 FT ²	
MAXIMUM F.A.R.	0.60	0.535		
BUILDING FOOTPRINT	NA	107.30 M ²	1155.00 FT ²	
MAXIMUM LA COVERAGE	40%	0.24 %		
SITE IMPERVIOUS AREA	NA	196.39 M ²	2114.10 FT ²	
SITE PERMEABLE AREA	NA	158.43 M ²	1705.20 FT ²	
RAINWATER MANAGEMENT AREA		0 M ²	0 FT ²	

SITE DATA - ACCI	ESSORY B	UILDING		
LOCATION: BUILDING TYPE: ZONING:	206 ST. CHARLES ACCESSORY BUIL R1-S2	STREET - VICTORIA LDING (SHED)	A	
ZONING REQUIREMENTS	REQUIRED	PROPOSED		COMMENTS
SETBACKS				
FRONT	18.00 M	19.78 M	64.89 FT	
REAR	0.60 M	1.04 M	3.41 FT	
SIDE NORTH	0.60 M	11.29 M	37.04 FT	
SIDE SOUTH	0.60 M	0.60 M	1.96 FT	
FROM BUILDING	2.40 M	2.52 M	8.26 FT	
AVERAGE GRADE	NA	11.40 M	37.40 FT	
BUILDING HEIGHT	4.00 M	3.74 M	12.27 FT	
BUILDING AREA				
TOTAL FLOOR AREA ACCRSSORY BLDG	NA	8.91 M ²	96.00 FT ²	
TOTAL FLOOR AREA ALL ACCESSORY BLDG	37.00 M^2	8.91 M ²	96.00 FT ²	
BUILDING FOOTPRINT HOUSE	Q16Q0	107.30 M^2	1155.00 FT ²	
BUILDING FOOTPRINT ACCESSORY BLDG	NA	8.91 M^2	96.00 FT ²	
TOTAL BUILDING FOOTPRINT	NA	116.21 M ²	1251.00 FT ²	
MAXIMUM LOT COVERAGE	40.00%	32.75 %		
REAR YARD AREA	NA	91.45 M ²	984.44 FT ²	
MAXIMUM LOT COVERAGE ACCESSORY	30.00%	9.74 %		

2022.09.12



No. | REVISION





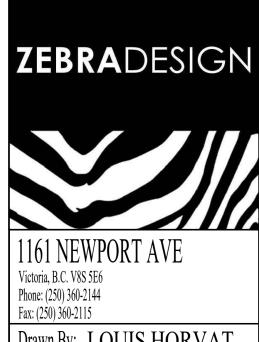
8' [2.44M]

AL SITE PLAN, AND SITE DATA A2 FLOOR PLANS

A3 EXTERIOR ELEVATIONS A4 BUILDING SECTIONS A5 DETAILS

A6 SHED DRAWINGS

RE-ISSUED FOR BP APRIL 21, 2023

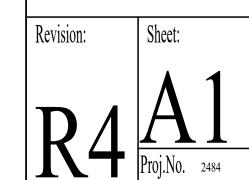


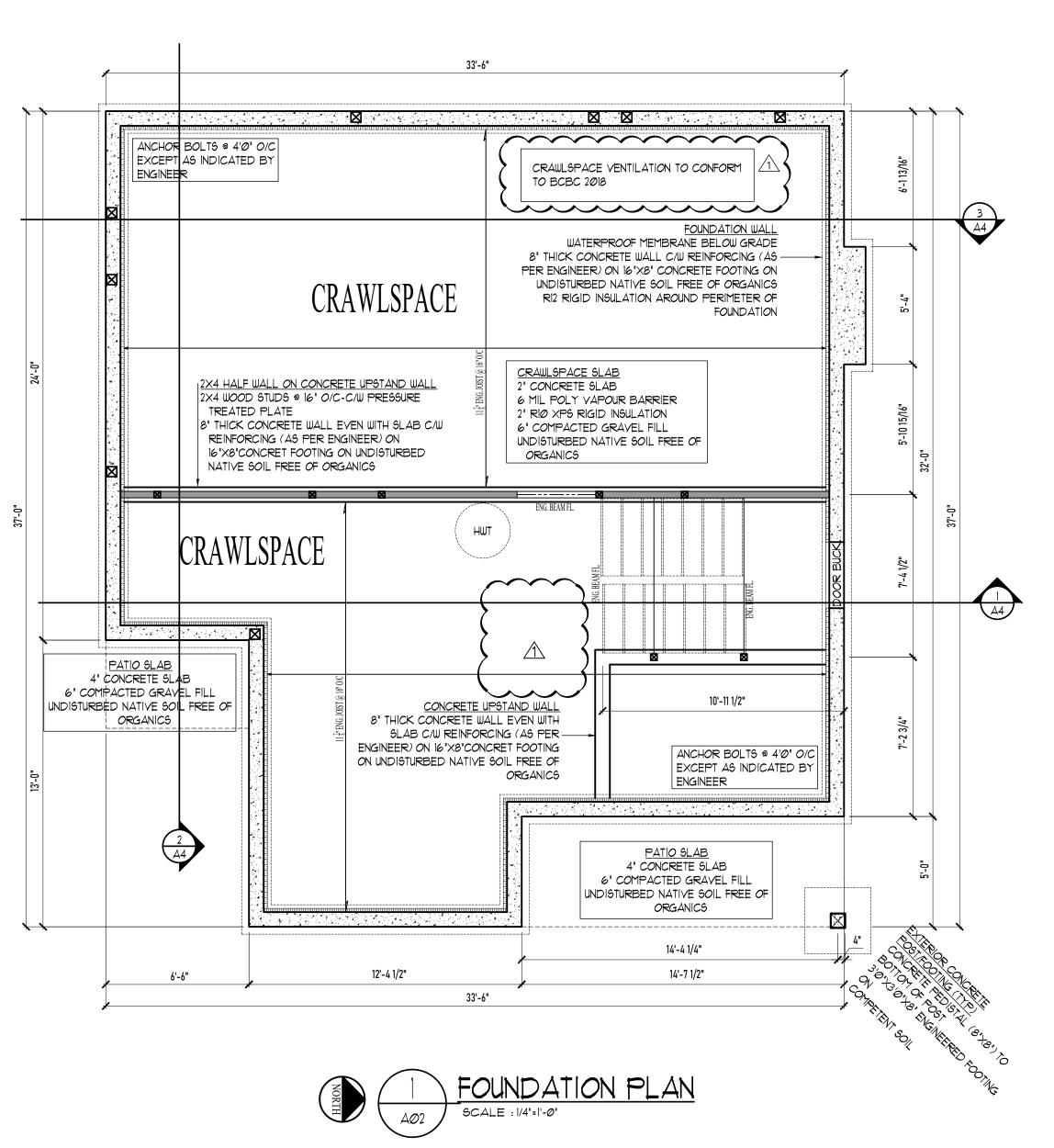
Drawn By: LOUIS HORVAT APRIL 27. 2022 AS NOTED Scale:

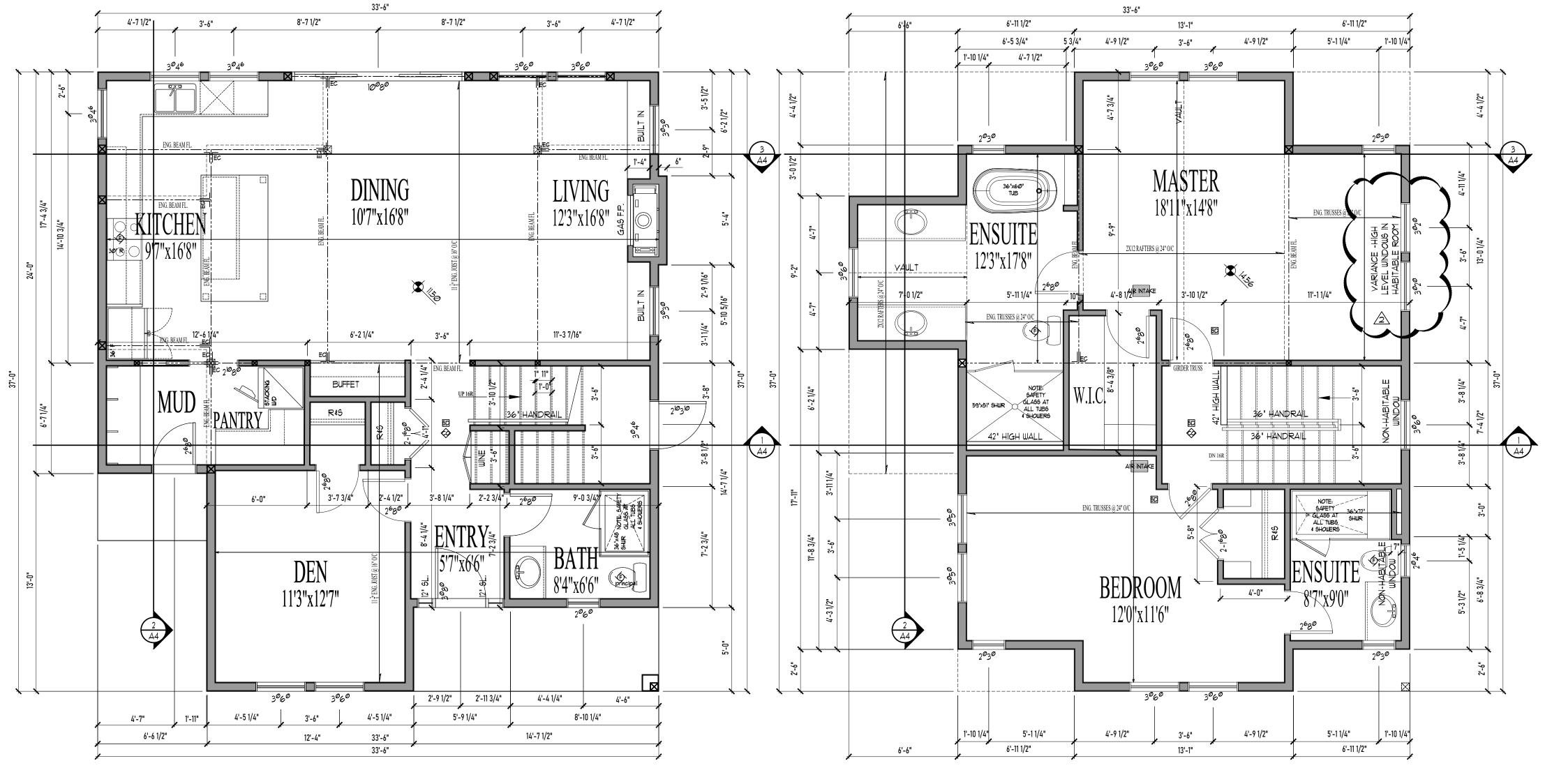
NEW SFD @ 206

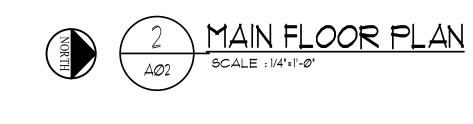
ST.CHARLES STREET

SITE PLAN

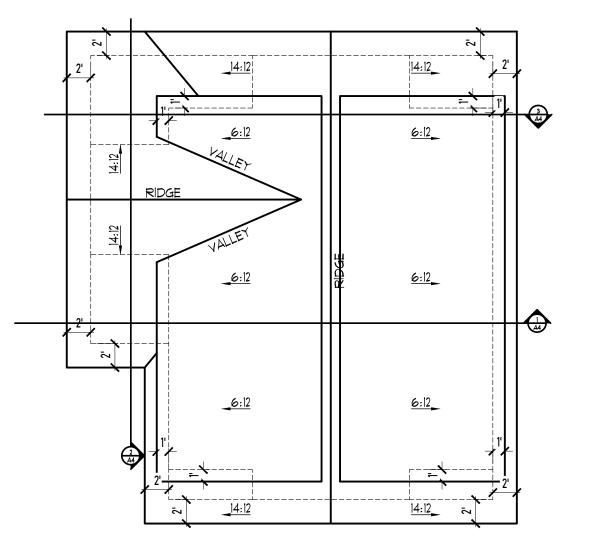












SYMI	BOL LEGEND
(F) principal	FAN
6D	SMOKE DETECTOR
♦	CARBON MONOXIDE DETECTOR-INTERCONNECTED ON ALL FLOORS
	FLUE PROPOSED FINISH GEO. ELEVATION
EGL `	ENGINEERED CONNECTION
	COLUMN COLUMN - POINT LOAD ABOVE SHEAR WALL
Ę	CENTER LINE
AIR INTAKE	AIR INTAKE VENT
AIRINTAKE	AIR INTAKE VENT

No.	REVISION	DATE
Â	furnace and HRV removed from plan, indicate crawlspace to be vented as per BCBC 2018,	2022.09.12
2	habitable room windows indicated	2022.11.03
<u>\$</u>	no changes	2022.11.30
4	no changes	2022.12.05
<u></u>	no changes	2023.04.21

ZEBRADESIGN

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115 Drawn By: LOUIS HORVAT

RE-ISSUED FOR BP

APRIL 21, 2023

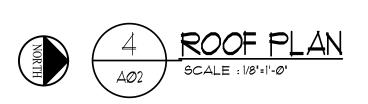
APRIL 27. 2022 AS NOTED

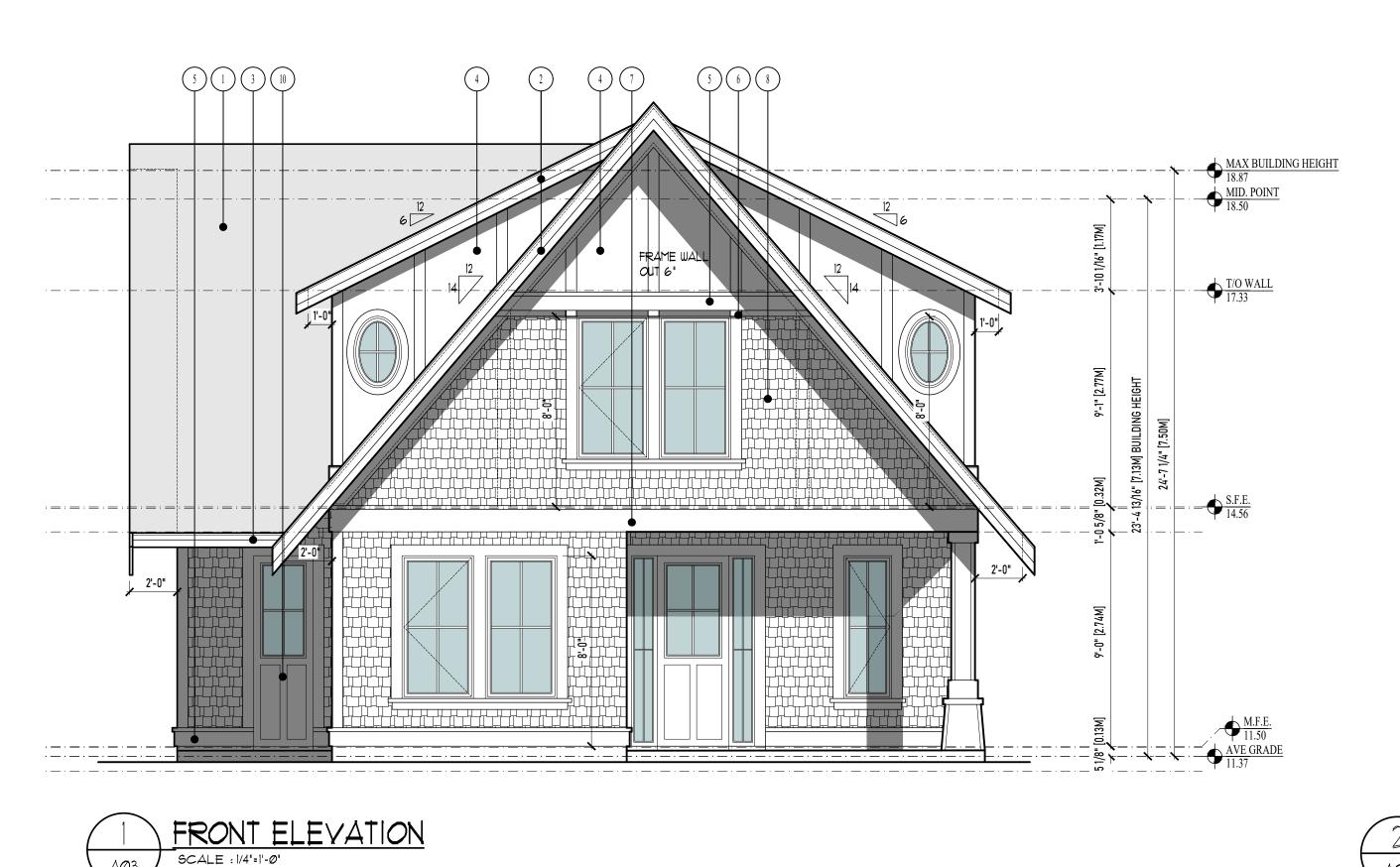
Project: NEW SFD @ 206

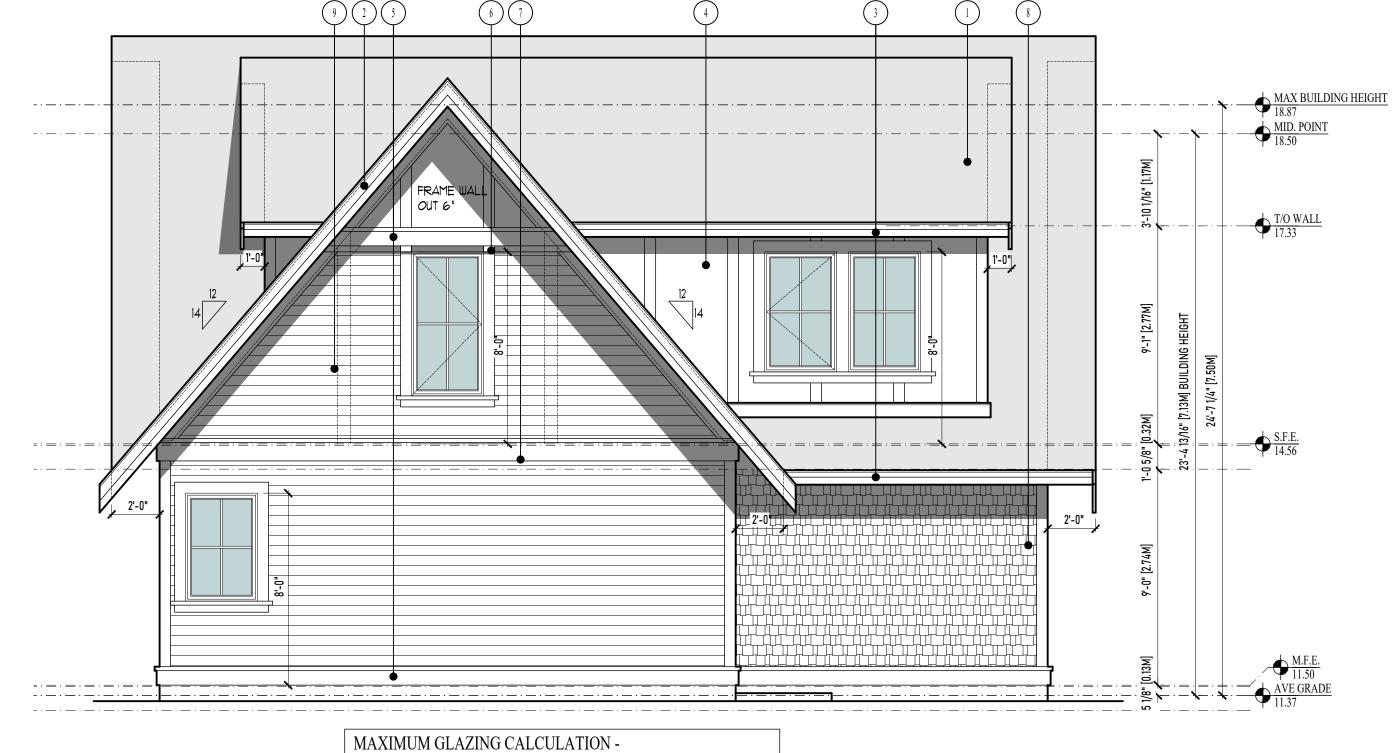
ST.CHARLES STREET

Title: PLANS

Revision:







3.45 M (11.31') 65.77 M² (708.01 SF)

4.30 M² (46.34 SF)

6.54% (ALLOWED 15.53%)

SOUTH ELEVATION

GLAZING AREA PERCENTAGE

DISTANCE TO PROPERTY LINE EXPOSED BUILDING FACE AREA

SOUTH ELEVATION

2022.09.12

2022.11.03

2022.11.30

2022.12.05

2023.04.21

no changes

indicated

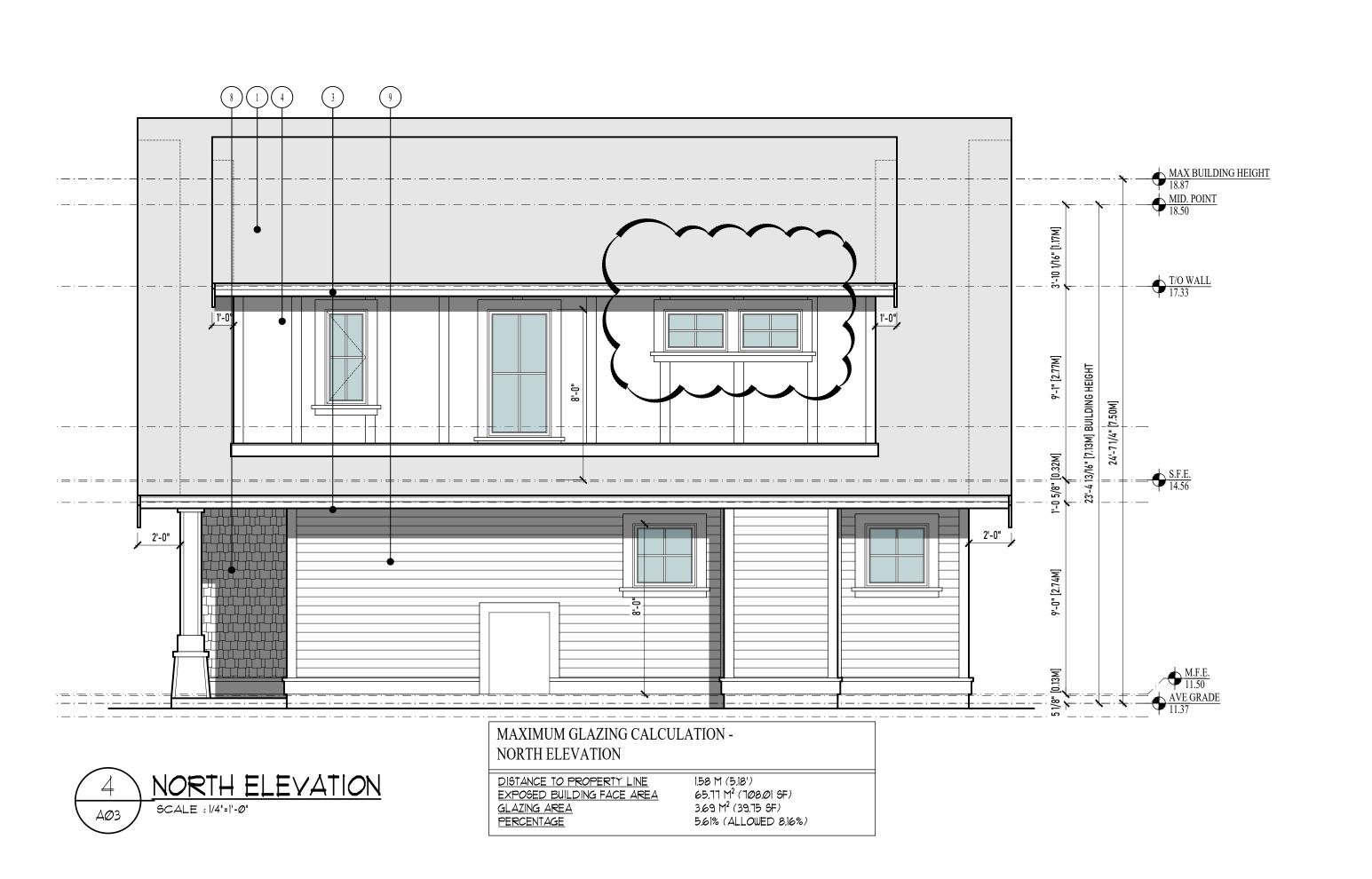
no changes

no changes

no changes

habitable room windows

TRATE OF THE PARTY OF THE PARTY



FINISH SCHEDULE ASPHALT SHINGLES COLOUR: -MANUFACTURER: -2 2X6 OVER 2X10 FASCIA BOARDS - PAINT COLOUR: -MANUFACTURER: -(3) 2X4 OVER 2X8 FASCIA BOARDS - PAINT COLOUR: -MANUFACTURER: -(4) CEMENTITIOUS PANEL C/W 5.5" BATTONS - PAINT COLOUR: -MANUFACTURER: -(5) 2X8 BATTON C/W 2" WATERTABLE - PAINT COLOUR: -MANUFACTURER: -6 5.5"X3" DENTAL MOULDING - PAINT COLOUR: -MANUFACTURER: -(1) 2X12 BATTON C/W 2" WATERTABLE - PAINT COLOUR: -MANUFACTURER: -(8) CEMENTITIOUS SHAKES - PAINTED COLOUR: -MANUFACTURER: -(9) CEMENTITIOUS SIDING - PAINT COLOUR: -MANUFACTURER: -(10) WOOD DOORS - STAINED COLOUR: -MANUFACTURER: -WINDOWS TO HAVE 5.5" TRIM C/W 2" WATERTABLE AND 3.5" BASE TRIM - PAINT DOORS TO BE TRIMED WITH 5.5" BOARDS - PAINT GENERAL NOTES:

WINDOW OPERATION SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018

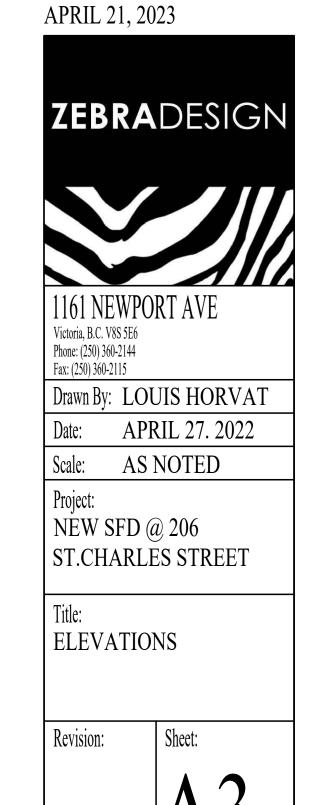
FLASH OVER ALL MATERIAL TRANSITIONS, AND

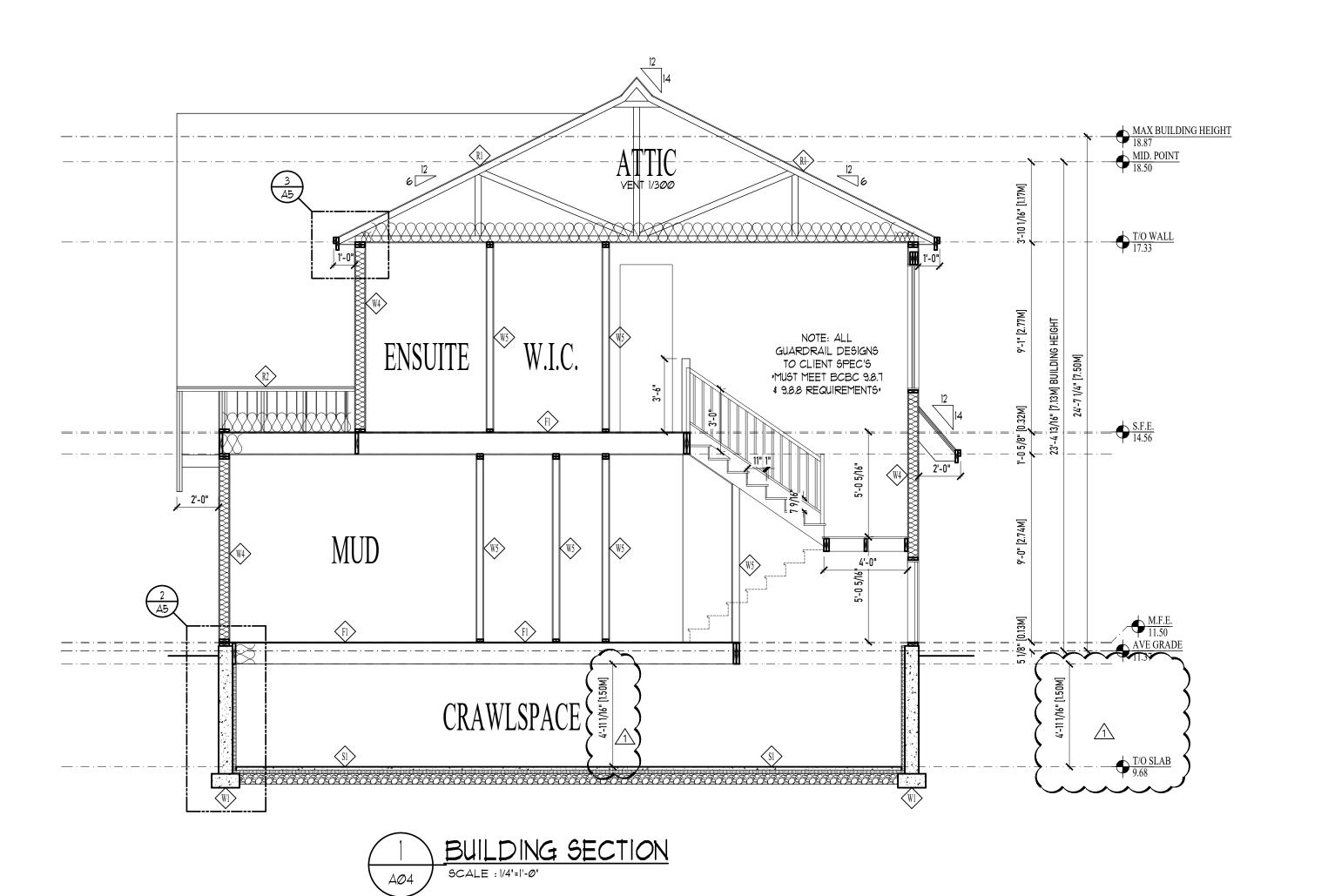
ALL COLOURS BY DESIGNED AND OWNER

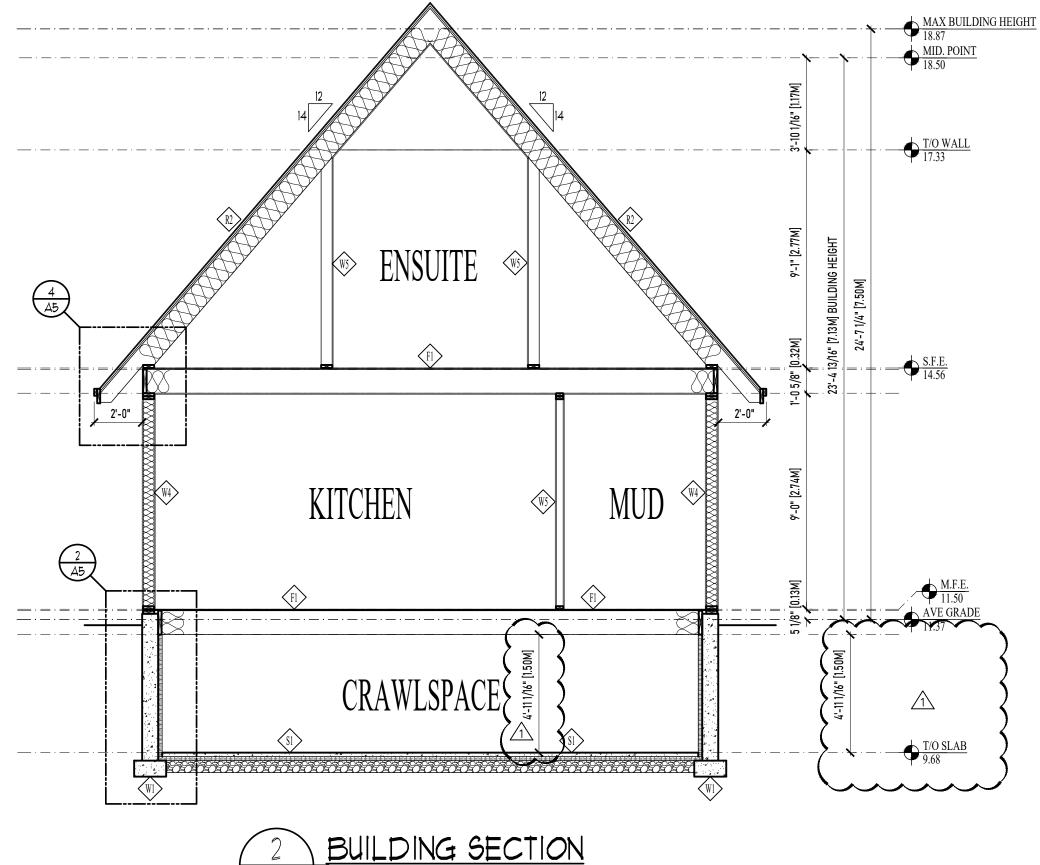
REQUIREMENTS FOR EGRESS

DOOR & WINDOWS HEADS NO COMBED-FACED TRIM

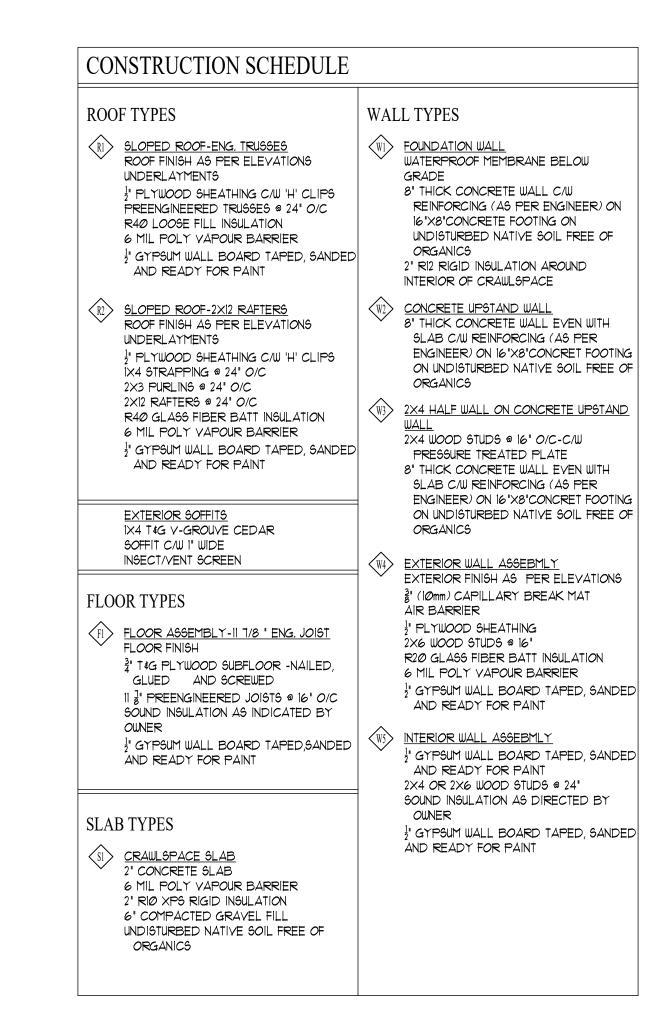
RE-ISSUED FOR BP



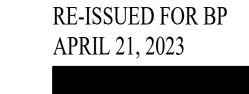


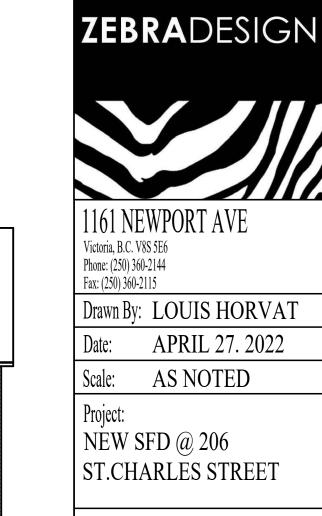


SCALE : 1/4"=1'-0"



No.	REVISION	DATE
\triangle	adjust crawlspace dimension	2022.09.12
À	no changes	2022.11.30
<u> </u>	no changes	2022.12.05
<u>s</u>	no changes	2023.04.2





SECTIONS AND

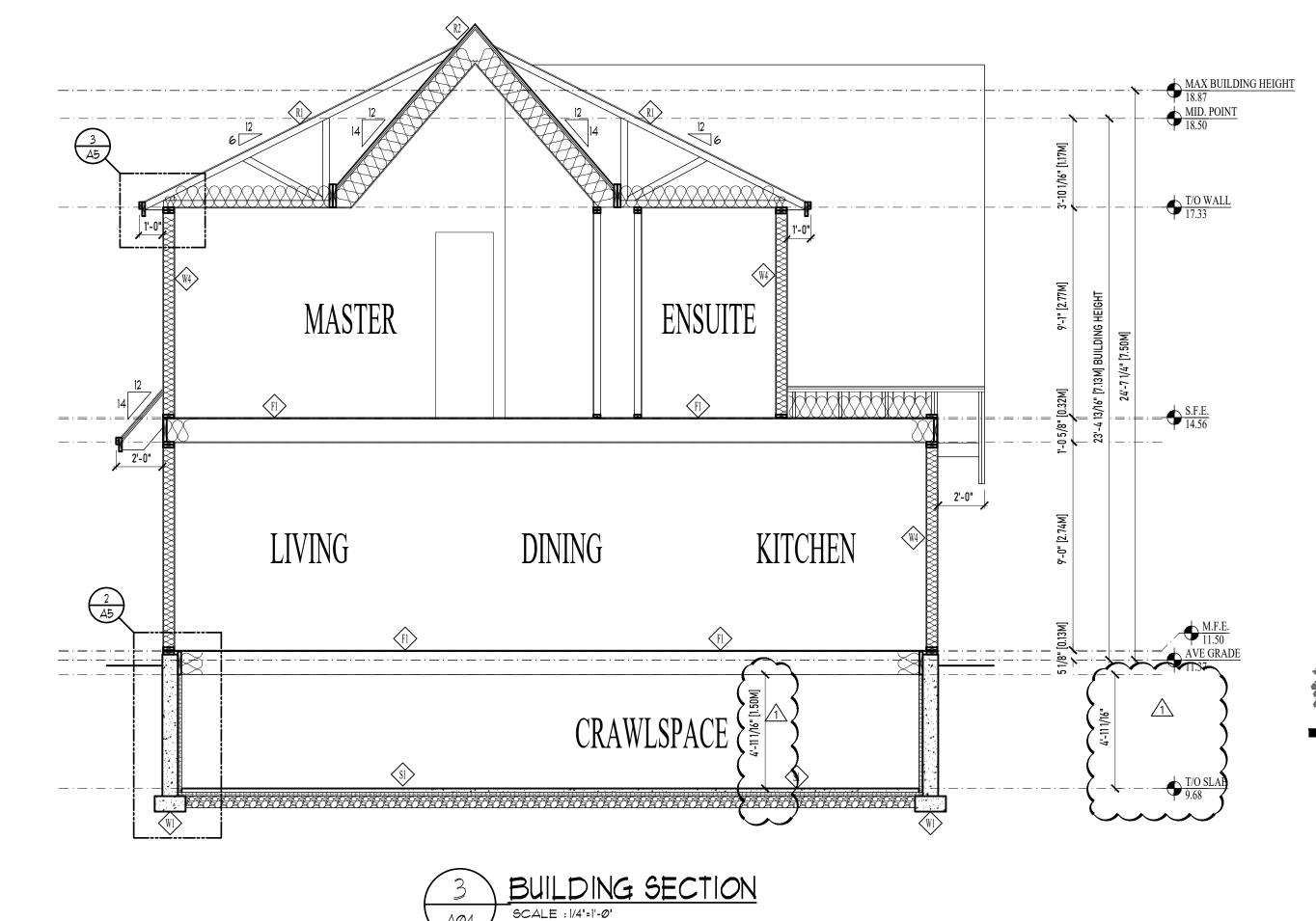
STREETSCAPE

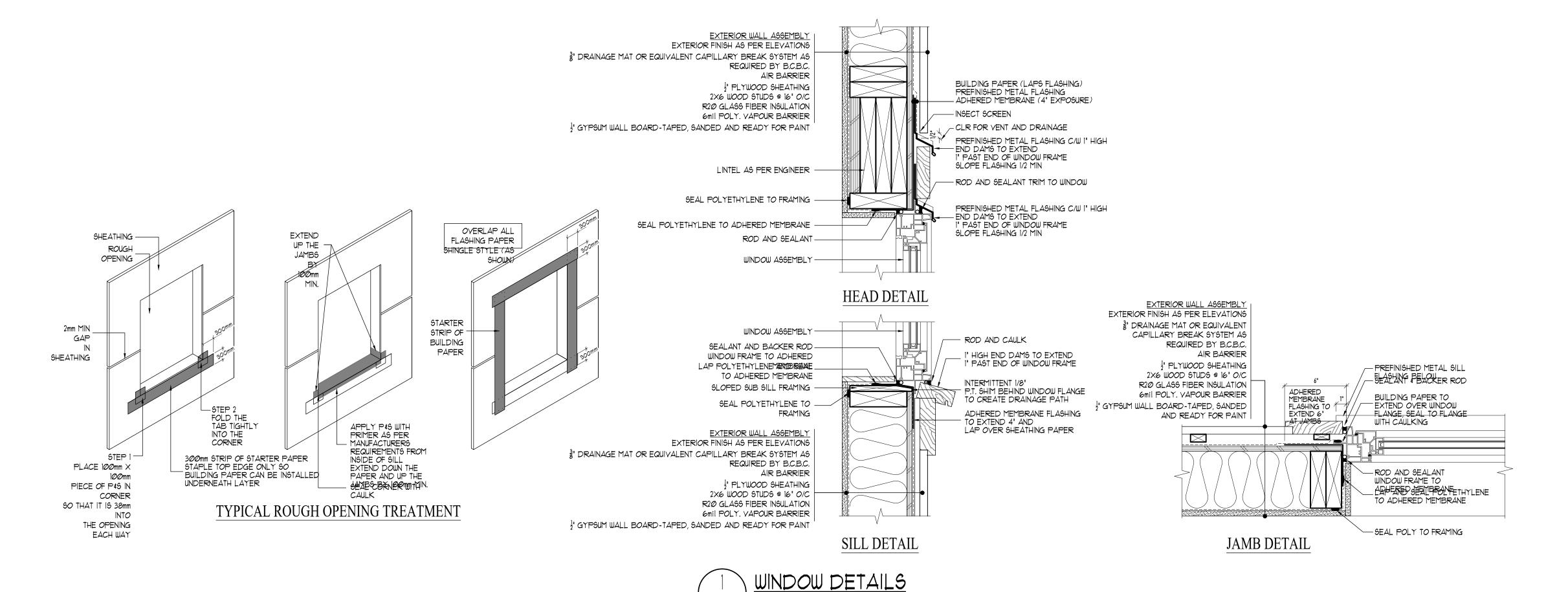
Revision:



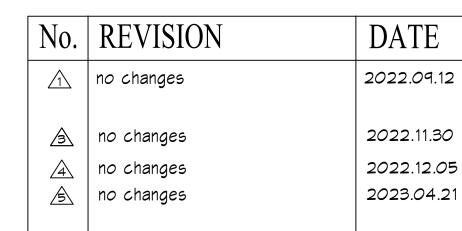
ST. CHARLES STREET

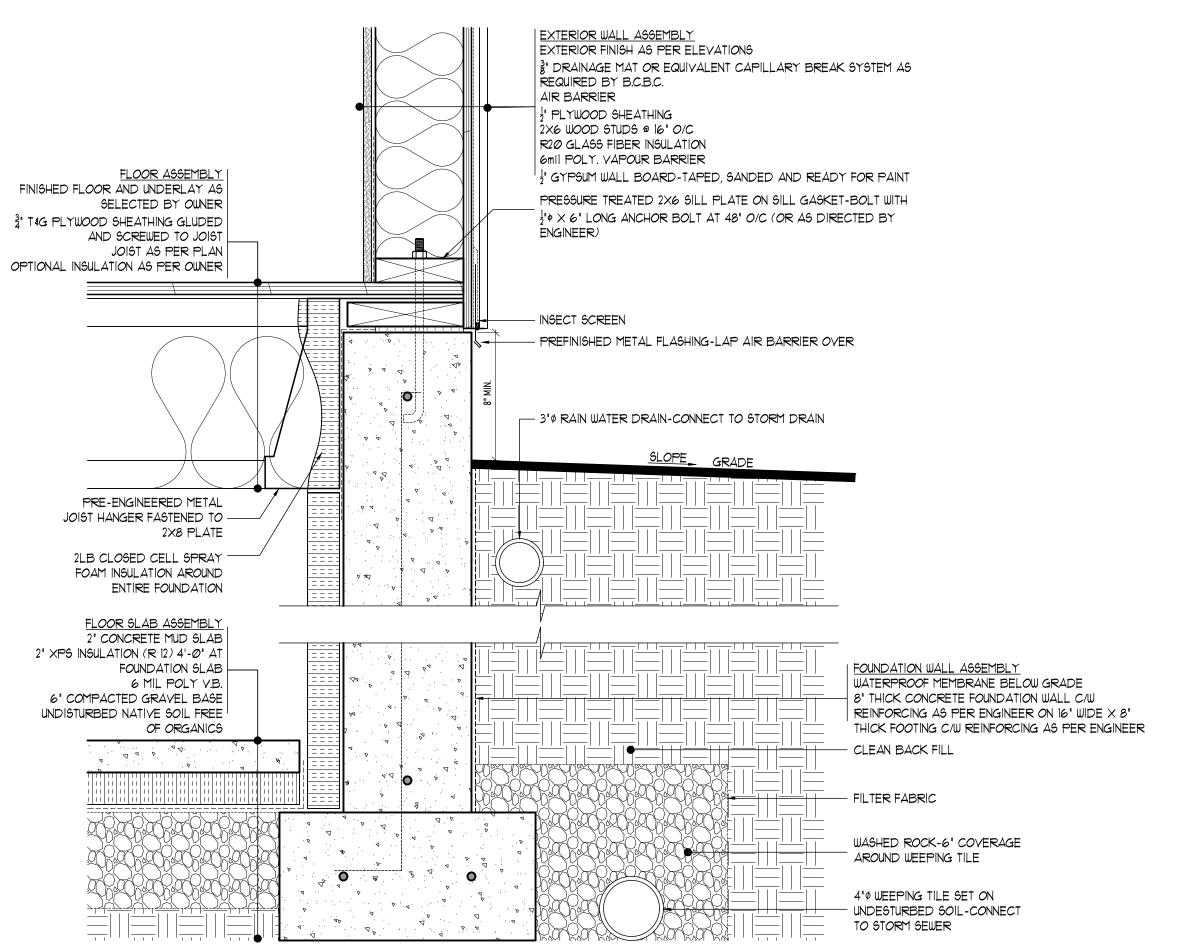






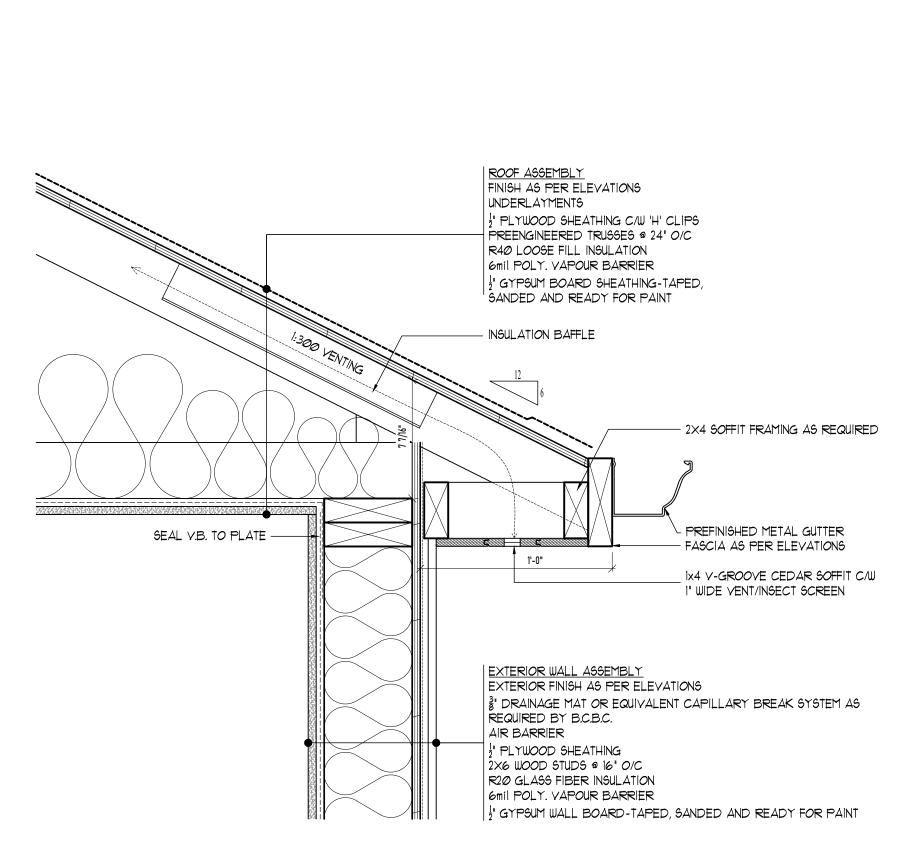
SCALE : 2"=1'-0"

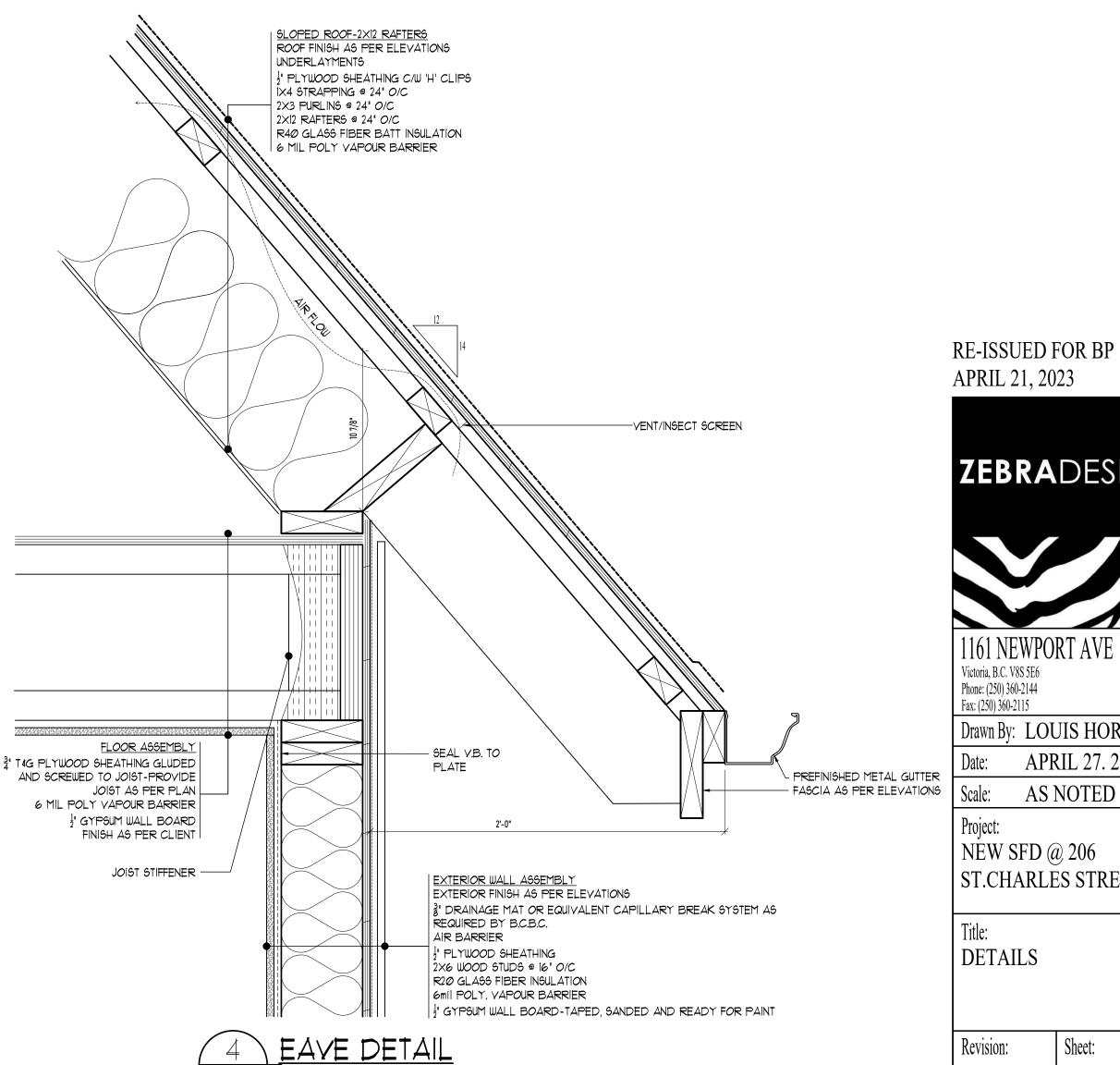




FOUNDATION DETAIL

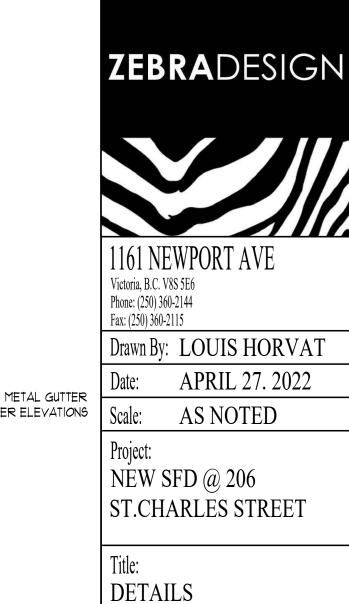
SCALE : 2'=1'-0'

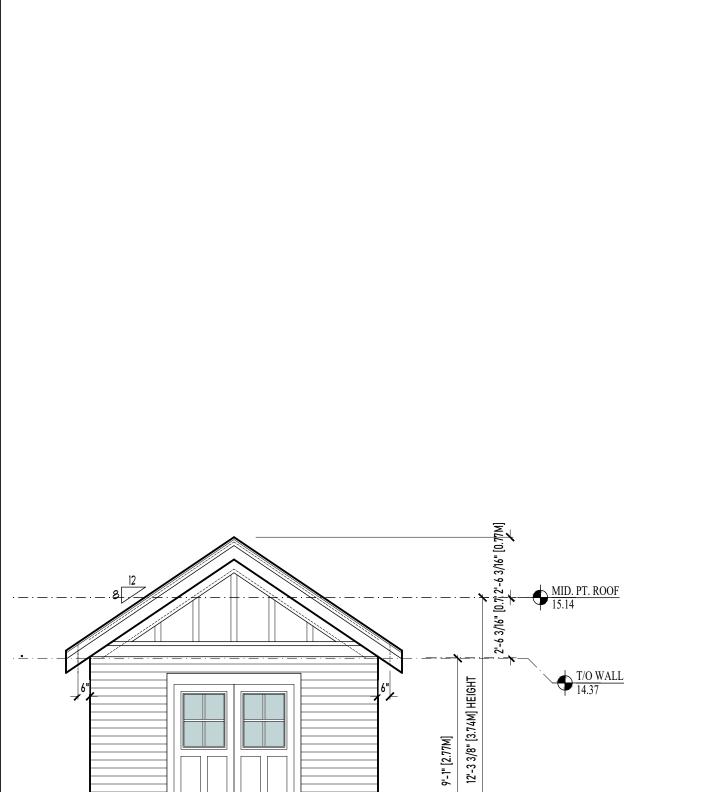




SCALE : 2"=1'-0"

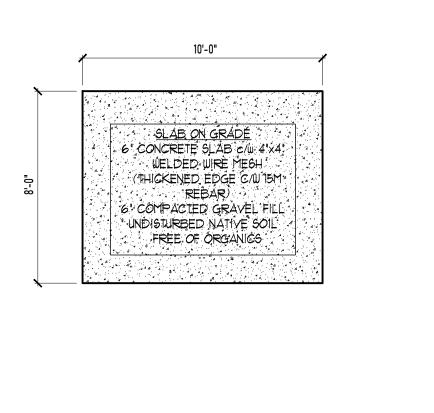




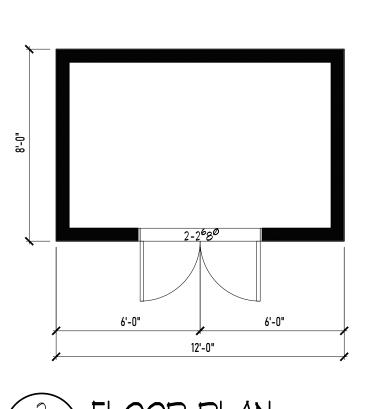


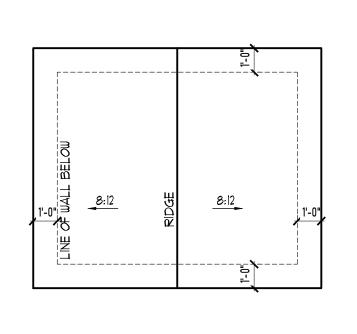
AVE GRADE 11.40





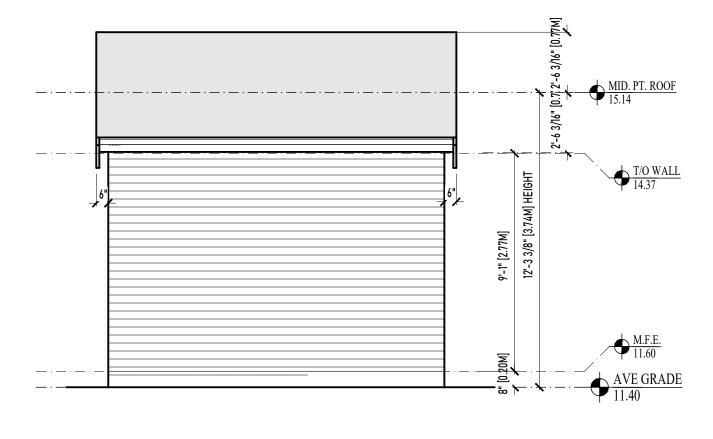
FOUNDATION PLAN SCALE : 1/4"=1"-0"



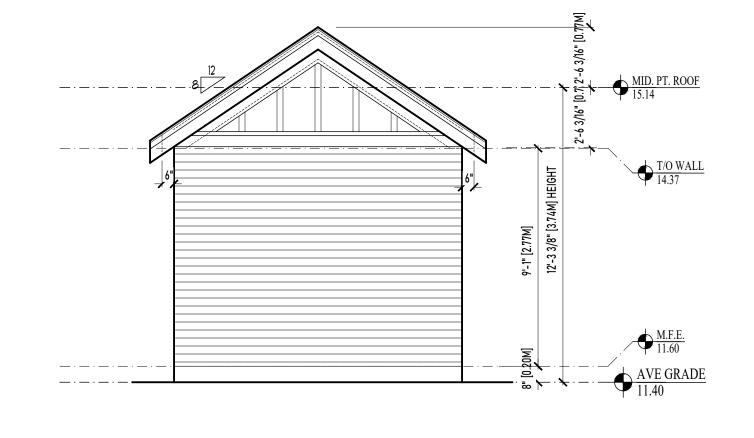




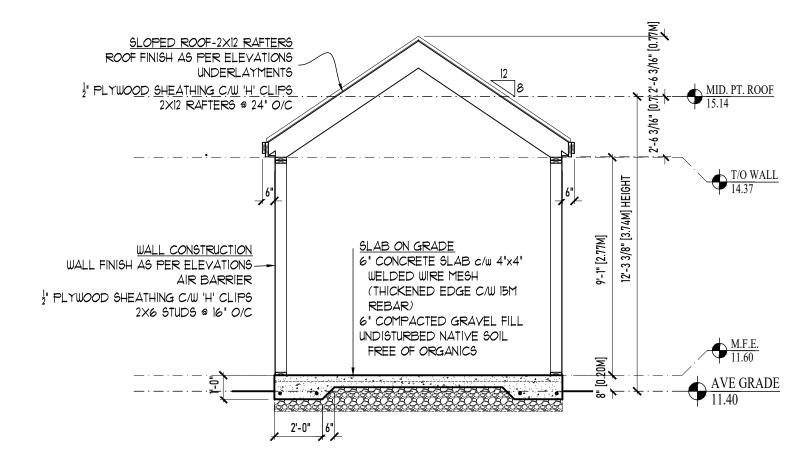






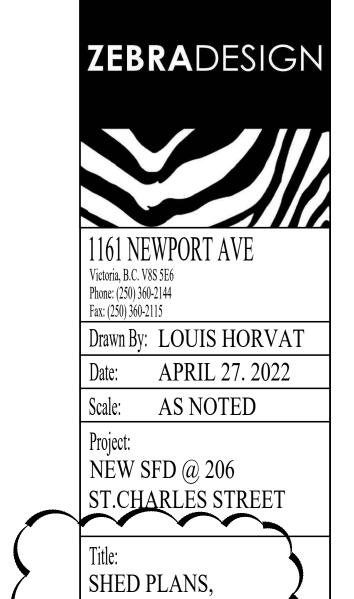








No.	REVISION	DATE
ß	add shed plans	2022.11.30
4	no changes	2022.12.05
<u>/</u> 5\	no changes	2023.04.21



SECTIONS AND 🔊

ELEVATIONS

Revision:

RE-ISSUED FOR BP

APRIL 21, 2023

ENVIRONMENTAL NOTES:

- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME

- BMP'S TO CONSIDER: - CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
 - NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
 - A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
 - SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE
- DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION. COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF
- STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
- PLACE DRAIN ROCK AND FILET FABRIC AT THE IN LET OF CULVERT AS PER DETAIL B. - SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF
- TREE DURING CONSTRUCTION. CONTACT VICTORIA ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILT FENCING AS PER DETAIL A IN LOCATION SHOWN ON PLAN. - ADHERE TO ALL CONDITIONS OF THE PROJECT ENVIRONMENTAL PROTOCOL WORKSHEET.

GENERAL CONSTRUCTION NOTES:

- CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION. 2. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO VICTORIA STANDARD SPECIFICATIONS AND
- DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
- 3. REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING
- CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION. REINSTATE ALL PRIVATE PROPERTY AND BOULEVARDS TO PRE-CONSTRUCTION CONDITIONS.
- CONTACT VICTORIA PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES. 6. ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE
- FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 7. NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING 8. CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS
- 9. ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.

DETAILED CONSTRUCTION NOTES:

ASPHALT SURFACE, LAP JOINT TO EXISTING.

- (1) EXISTING WATER CONNECTION TO BE DECOMMISSIONED BY CITY AT APPLICANTS EXPENSE.
- 2 NEW 25mm WATER CONNECTION AND METER BY CITY AT APPLICANTS EXPENSE.
- NEW 100mm PVC DR 35 STORM CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- NEW 100mm PVC DR 35 SEWER CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- (5) EXISTING STORM CONNECTION TO BE DECOMMISSIONED BY CITY AT APPLICANTS EXPENSE.
- (6) EXISTING SEWER CONNECTION TO BE FOUND AND CAPPED AT PROPERTY LINE BY CONTRACTOR.
- PROVIDE 3.5m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 3m DEEP.
- (8) CURB AND GUTTER TO BE REPLACED WITH NMC AND DROPS. REMOVE AND REPLACE TO NEAREST SAW CUT AND REMOVE A MINIMUM OF 0.6M WIDE STRIP OF ASPHALT AND REPLACE WITH NEW 50MM
- (9) EXISTING DRIVEWAY TO BE REMOVED AND BOULEVARD RESTORATION IN ACCORDANCE WITH PARKS SPECIFICATION TO BE COMPLETED.

—3m × 3m SIGHT LINES PER SCHEDULE C. TO BE CLEAR OF

DRIVEWAY DIMENSIONS
SCALE 1:100

3.5% -

(9)

-PROPOSED DRIVEWAY IN ACCURDANCE WITH STD DRG: TA-64 BY CUNTRACTUR

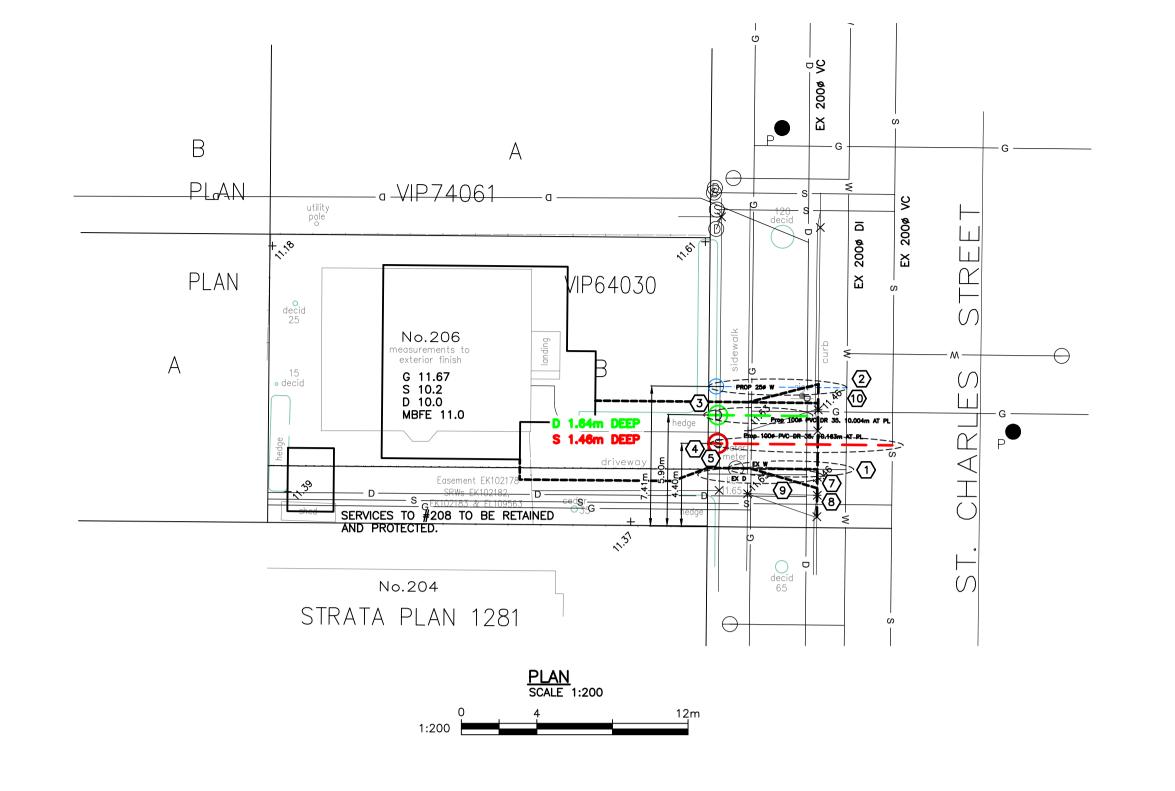
Pedestrian Signal 🖶 Traffic Signal 🚯 Ctrl Monument 🔊 Traverse Hub 🛧 Gas Valve 🤌 Water Meter

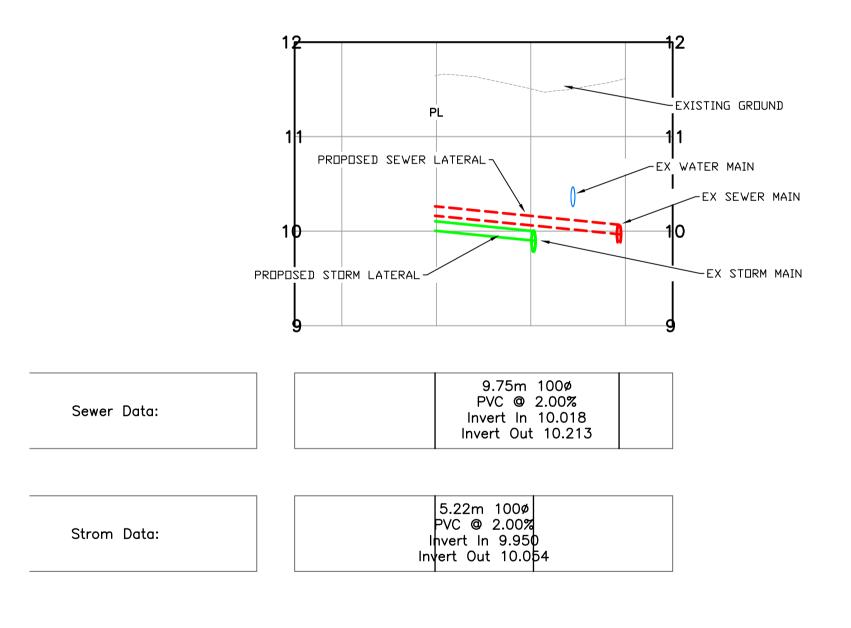
10.62

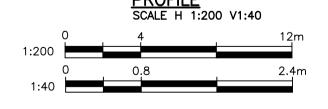
10.63

3%

(10) EXISTING SIGN TO BE RELOCATED TO APPROXIMATELY 1m FROM DRIVEWAY FLARE.







GENERAL NOTES:

DIMENSIONS ARE METRIC; MILLIMETERS ON DETAIL DRAWINGS; METERS ON 1:200 PLAN AND PROFILE, UNLESS OTHERWISE NOTED.

INFORMATION THAT IS PROVIDED IN OUR PLANS, DESIGNS, OR SPECIFICATIONS IS INTENDED TO INDICATE THE GENERAL ARRANGEMENT OF WORK TO BE CARRIED OUT. AS THE PROJECT PROGRESSES,

THE DEGREE OF DETAIL THAT IS PROVIDED MAY REQUIRE ADDITIONS OR DELETIONS. EXISTING SERVICE INFORMATION WITHIN AREAS OF CONSTRUCTION MAY HAVE BEEN SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY, ADDITIONAL SERVICES MAY BE PRESENT BUT NOT INDICATED ON

THESE DRAWINGS. GENERAL REQUIREMENTS

REFER TO HOEL ENGINEERING'S "STATEMENT OF CONDITIONS" FOR ADDITIONAL INFORMATION AS TO THE USE OF THESE DOCUMENTS AND CONSTRUCTION OF THE WORKS.

REFER TO VICTORIA STANDARD DRAWINGS AND SPECIFICATIONS AND PERMITS, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS, LATEST EDITION, BC HYDRO, TELUS, SHAW AND FORTIS GAS DRAWINGS AND SPECIFICATIONS, AND OTHER AGENCIES/ SUB-CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR INFORMATION NOT COVERED ON THESE DRAWINGS.

ALL OTHER CONSTRUCTION, MATERIAL AND INSTALLATION OF SERVICES NOT COVERED SPECIFICALLY BY THE BC BUILDING CODE, BC ELECTRICAL CODE, OR BY OTHER BYLAWS OR SPECIFICATIONS SHALL BE IN GENERAL CONFORMANCE WITH THE MASTER MMCD SPECIFICATIONS/STANDARD DETAIL DRAWINGS, AND

UNLESS OTHERWISE SPECIFIED HEREIN, ALL WORK WITHIN PRIVATE PROPERTY AND EASEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE AND INSPECTED BY THE MUNICIPAL WORKS

USE OF INFORMATION THIS DOCUMENT MAY NOT BE USED, COPIED OR SHARED WITHOUT THE EXPRESS WRITTEN AUTHORITY OF HOEL ENGINEERING LTD AND AT NO TIME MAY IT BE USED OR REFERENCED IN ANY FORM FOR

COORDINATION REQUIREMENTS

COMMUNICATION AND REPORTING CONTACT BC ONE-CALL PRIOR TO CONSTRUCTION FOR FOR SERVICES LOCATE. 1-800-474-6886 THE CONTRACTOR IS TO COORDINATE AND COMMUNICATE WITH THE ENGINEER, ALL UTILITIES, AND AUTHORITIES HAVING JURISDICTION, WELL IN ADVANCE (2-WORKING DAYS MINIMUM) OF THE START OF ANY EXCAVATION AND COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL SUB-CONSULTANTS, CONTRACTORS AND TRADES REQUIRED FOR THE COMPLETION OF THE WORKS.

THE CONTRACTOR SHALL PROVIDE THE REQUIRED QUALITY CONTROL AND CONFORMANCE TESTING REPORTS TO THE ENGINEER AT THE COMPLETION OF EACH PHASE OF THE WORK.

A TREE BYLAW PERMIT IS TO BE OBTAINED PRIOR TO ANY SITE ACTIVITIES.

A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL ROAD ALLOWANCE MUST BE OBTAINED BEFORE WORKS COMMENCE.

A PERMIT TO CROSS OR WORK NEAR FORTIS GAS PIPELINE IS REQUIRED. CONTACT 1-877-599-0996

WHEN GIVING ADVANCE NOTIFICATION, THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE SCHEDULING DEMAND AND PRIOR COMMITMENTS OF ALL PARTIES.

FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN DELAYS, REJECTION OF THE WORK, OR EXPENSIVE TESTING TO PROVE COMPLIANCE.

IN THE EVENT THAT THE CONTRACTOR IS NOT PROVIDING HIS OWN CONSTRUCTION LAYOUT, THE ENGINEER IS TO BE NOTIFIED BY EMAIL OR OTHERWISE IN WRITING AT LEAST 5 DAYS BEFORE ANY CONSTRUCTION LAYOUT IS REQUIRED.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONDITIONS ARE NOT FAVORABLE TO THE ACHIEVEMENT OF THE DESIGN INTENT.

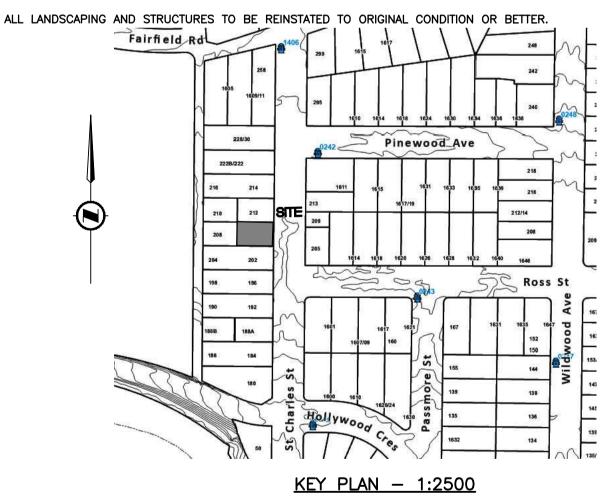
CONTRACTOR REQUESTED CONSTRUCTION CHANGES MUST BE SUBMITTED AND APPROVED BY THE

ENGINEER PRIOR TO IMPLEMENTATION.

CONFORMANCE TESTING IS TO BE PROVIDED BY THE CONTRACTORS TESTING ENGINEER FOR ALL ROAD CROSSINGS, ROAD BASE, CONCRETE, AND PAVING CONSTRUCTION MATERIALS AND AS OTHERWISE REQUIRED BY VICTORIA OR THE ENGINEER.

ALL TESTING IS TO BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.

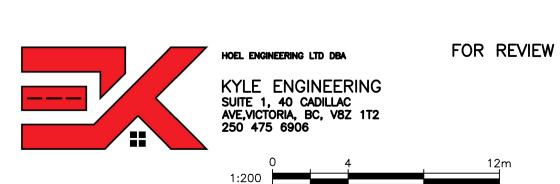
MISCELLANEOUS ALL PUBLIC ROADS ARE TO BE MAINTAINED MUD AND DUST FREE DURING CONSTRUCTION.



PERMIT TO PRACTICE NUM: 1000348

Scale: Hor: 1:200 Vertical: 1:40

4/21/23



Date: DEC 2022

FOR PROPOSED SERVICES OF , SECTION 19, VICTORIA DISTRICT, PLAN VIP64030

PID 023-534-320

206 ST. CHARLES STREET

CITY OF VICTORIA CONFIRM UNDERGROUND DESIGN APPROVED FILE **LEGEND** REVISIONS APPROVED **REVISIONS** LOCATIONS WITH Drain —D— Curb —C— Concrete Box ☒ Valve REVISION # 1 REVISION # 2 REVISION # 3 Date Signed Approved By 206 ST. CHARLES STREET UTILITY COMPANIES **DESIGN** ✓D✓ Sidewalk S/W Wood Box roposed Municipal Infrastructure — — — — — — Ditch Approved Date Signed Approved Date Signed Approved Date Signed Design Engineer THE LOCATION AND ELEVATION OF THE EXISTING SERVICES PLAN UNDERGROUND INFRASTRUCTURE SHOWN ON THIS Manager of Development DRAWING MAY NOT BE ACCURATE OR COMPLETE. l Elev: 21.77m —₩— | Cleanout B.M.: CV028BC THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS Manager of Development Manager of Development Manager of Development DRAWING Sheet 1 of 1 Standard Mount \bigcirc | Traffic Sign \bigcirc | Silt Trap \square | Cap / Plug \longrightarrow | Air Valve Design: ESK Checked: Drawn: ESK Development Coordinator MUST BE CONFIRMED PRIOR TO THE START OF Development Coordinator

(N)

10.45

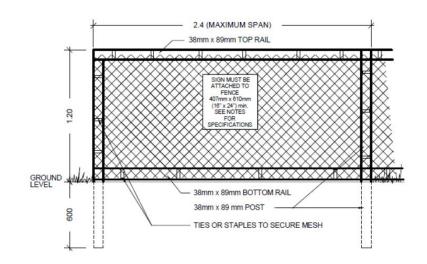
driveway

ANY EXCAVATION.



TREE PROTECTION SIGN

*Arborist to supervise installation of all works and materials to mitigate construction impacts and placement of temporary barrier fencing.



TREE PROTECTION FENCING

*Specifications for tree protection fencing:

1) the fence will be constructed using 38x89mm [2"x4"] wood frame:

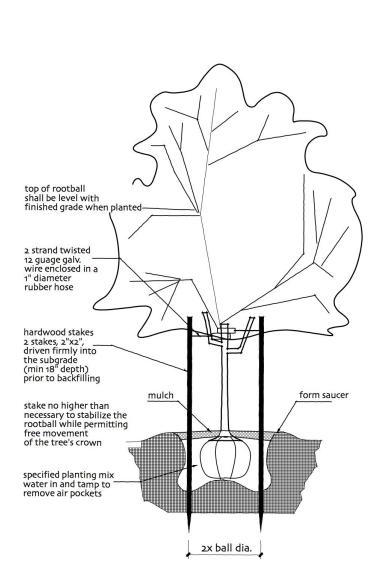
- Use orange snow fencing mesh and secure to the wood frame with "zip" ties or galvanized staples.

2) Attach a sign with a minimum size of 407mmx 610mm [16"x24"] with the

A) **DO NOT ENTER** - Tree Protection Zone [for retained trees], or B) **DO NOT ENTER** - Future Tree Planting Zone [for tree planting sites]

This Sign must be affixed on every fence face or at least every ten (10) linear

*In rocky areas, metal posts [T-bar or Rebar] drilled into rock will be accepted.



TREE PLANTING DETAIL SCALE: NTS



ROCK BOULDERS & COTTAGE STYLE PLANTINGS



DROUGHT RESISTANT PERENNIALS



NOTES:

See architectural plans for full site plan and full extent of property.

Plant material, installation and maintenance to conform to BCSLA/ BCLNA standard (current edition). All growing medium to comply to BCLSA/ BCLNA standard designation "1P - Level-1 Well Groomed Areas". Irrigtion is optional. If required by homeowner, the underground irrigation system to be installed for new garden areas or as directed by homeowner. Irrigation materials and installation to conform, as a minimum, to BCSLA/ BCLNA Standard (current edition) and IIABC Standards. All irrigation piping under hardsurfaces to be sleeved.

Exisitng fencing to remain. Any new fencing to meet municpal bylaw requirements. A new 1M ht fence to be installed in locations as shown on the landscape plan.

All existing trees located on plan are approximate. Size and dripline of trees are not shown, and should be verified by a surveyor and /or arbourist where necessary. See Arborist report for significant trees on this site. Arborist to be retained for removal of trees and for protection of existing where required. Install tree protection fencing for boulevard or protected tree(s) where necessary. Contractor to locate, identify and have crews be aware of all new and existing services on and into the property.

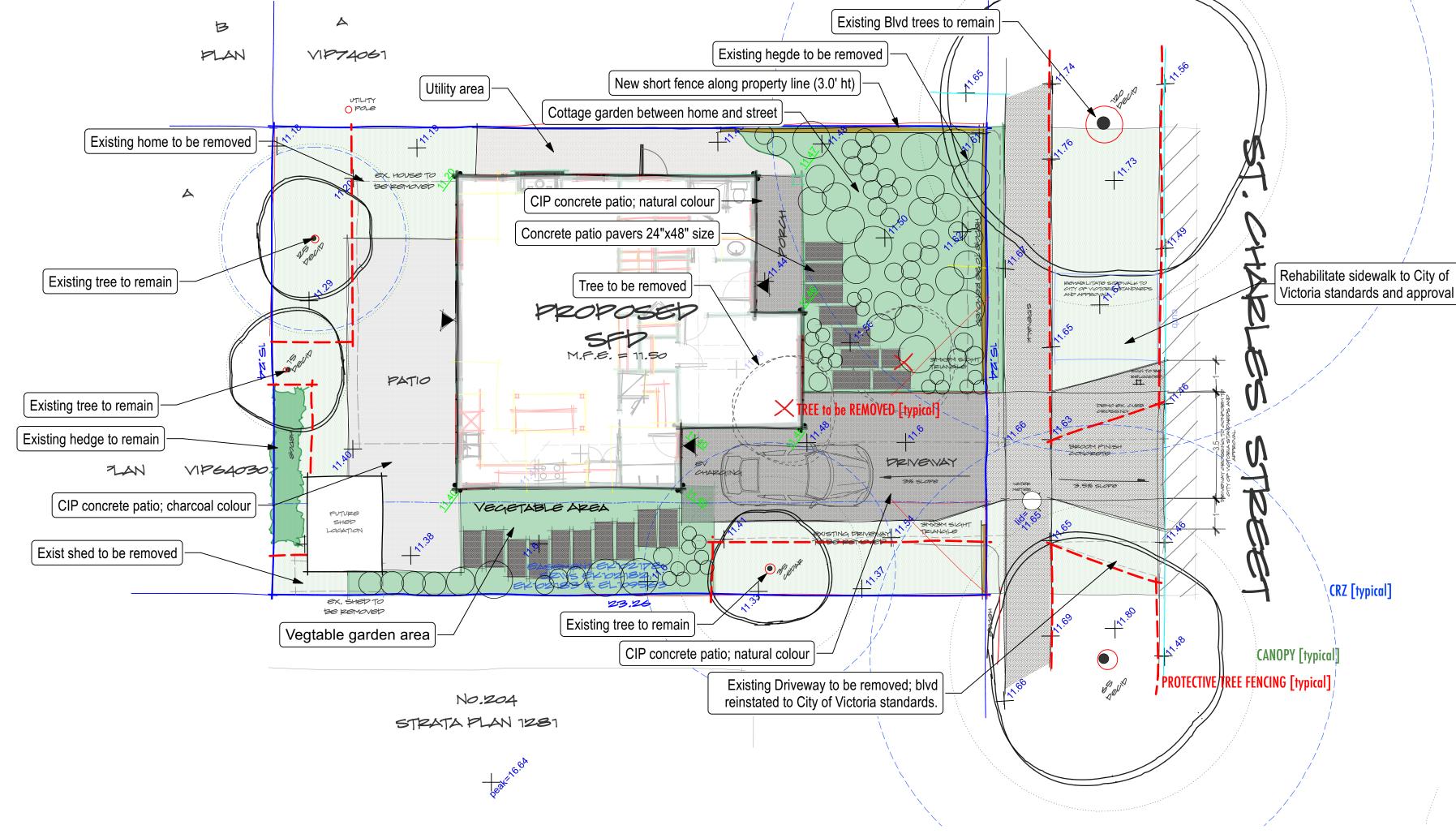
Patio area sizes are approximate and subject to change.

Plant recomendations are subject to change depending on owner's selections and preference. Vegetable area is shown for approximate location only. Actual plant material for this area to be determined by the homeowner.

RECOMMENDED PLANT LIST

	BOTANICAL NAME	COMMON NAME	SIZE /REMARKS
	TREES Acer palmatum Bloodgood Styrax japonica	Bloodgood Japanese Maple Japanese Snowbell	2.4M ht. 3cm. cal. /B&B
	SHRUBS & PERENNIALS Alchemilla mollis robusta Buxus Microphylla Winter Gem Ceanothus Euonymus Alatus Compacta Hamamellis Int. Jellena Hakonechloa macra aureola Helleborus argutifolius Hosta Hadspen Blue Lavandula Munstead Liriope Muscari Polystichum munitum Ribes Sang. King Edward Rosemary Officinalis Rudbeckia Fulgida Spiraea japonica Goldflame	Lady's Mantlke Littleleaf Boxwood California Lilac Dwarf Burning Bush Orange Witch Hazel Hokone Grass Corsican Hellebore Hadspen Blue Hosta English Lavender Big Blue Lily Turf Western Sword Fern Ornamental Currant Rosemary Orange Coneflower Goldflame Spirea	#1 Pot #5 Pot 1.5M. Ht. #5 Pot 1.5M. Ht. #1 Pot #1 Pot #1 Pot #1 Pot #3 Pot #3 Pot #3 Pot #1 Pot #3 Pot #3 Pot #3 Pot
8	VINES & GROUNDCOVER Arctostaphylos uva ursi Thymus pseudolanuginosus Parthenossissus Tricus. Veitchii	Kinnickinnick Wooly Thyme Boston Ivy	SP3 SP3 #2 Pot / Staked

FRUIT TREES & VEGETABLES - Multiple types and kinds of Veggies for the vegetable garden area



SKL.01 19.NOV.2022 LATEST REVISION: 09.MAY.23

206 ST. CHARLES STREET



SKL.01 ST CHARLES STREET :: RESIDENTIAL DEVELOPMENT ::

Victoria

:: landscape layout ::