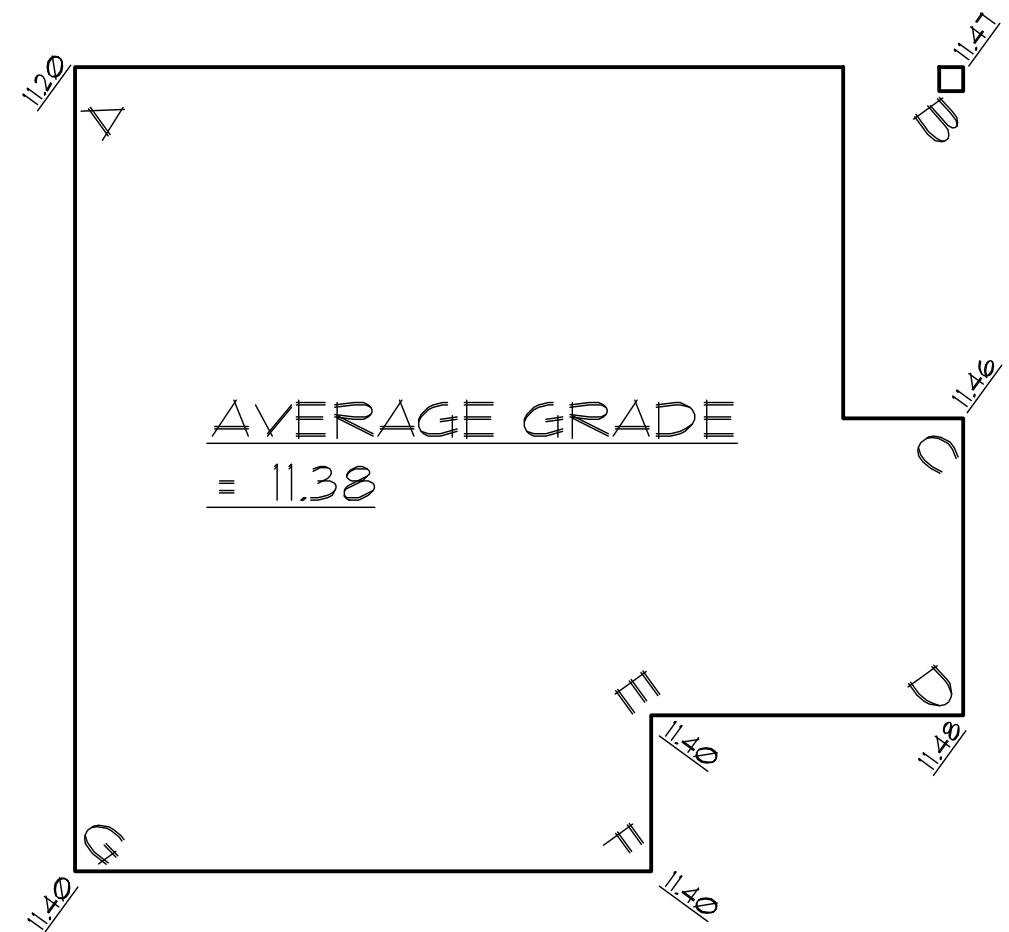
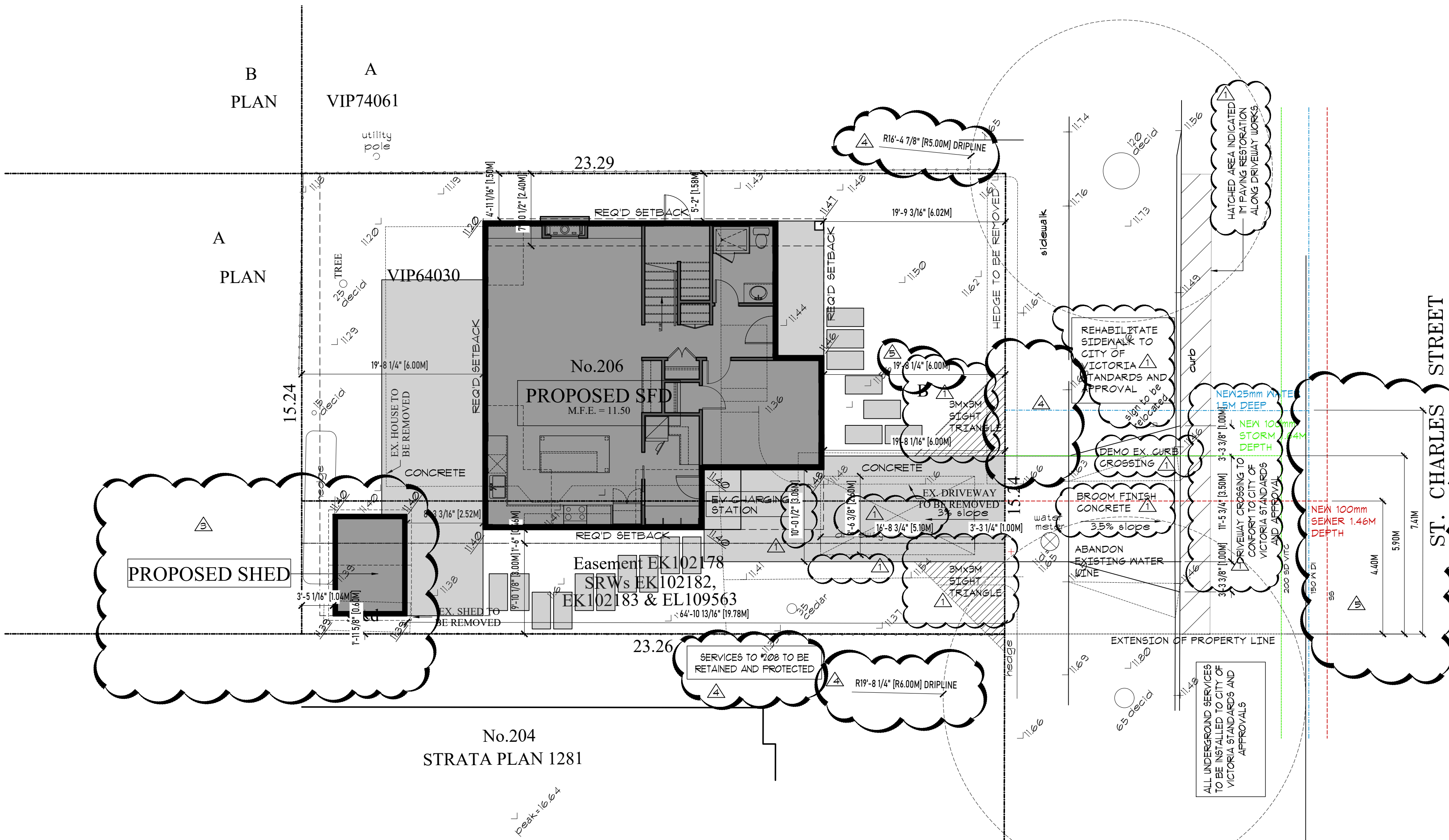


GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY DESIGNER OF ANY ERRORS OR DISCREPANCIES.
2. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
3. EXTERIOR DIMENSIONING IS TO FACE OF CONCRETE/SHEATHING.
- INTERIOR DIMENSIONING IS TO CENTRE-LINE OF FITTING.
4. ITEMS NOTED BY THE OWNER/ENGINEER ON ALL STRUCTURE SHALL BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER, INCLUDING, BUT NOT LIMITED TO: SPANS, SHEAR WALLS, FOOTINGS AND FOUNDATION WALLS, BEAMS, JOISTS, LINTELS, COLUMNS AND CONNECTIONS. THIS APPLIES ALSO TO ITEMS NOTED AS 'ENGINEERED'. ENGINEERED DRAWINGS SHALL BE STAMPED WITH ENGINEER'S SEAL.
5. ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD CONSTRUCTION PRACTICE, AND SHALL CONFORM TO CURRENT LOCAL STANDARDS AND THE BRITISH COLONIAL BUILDING CODE 2018 OR RESIDENTIAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.
6. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INVESTIGATED AND ADVISE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE SPECIAL FOUNDATION DESIGN. ALL FOOTINGS TO FIRM BEARING.
7. PROVIDE ATTIC AND CRAWL SPACES WITH VENTILATION AND ACCESS IN ACCORDANCE WITH B.C.B.C. 2018 PART 9.
8. ALL WOOD FRAMING TO BE SPRUCE-PINE-FIR UNLESS NOTED OTHERWISE OR ENGINEERED. ALL FRAMING IS TO BE IN ACCORDANCE WITH B.C.B.C. 2018 AND GOOD CONSTRUCTION PRACTICE.
9. PROVIDE MINIMUM OF 8' (2600mm) CLEARANCE FROM GRADE TO WOOD CLADDING. MINIMUM EXTERIOR FOUNDATION WALLS SHALL NOT BE LESS THAN 6' (1800mm) ABOVE ADJACENT GRADE.
10. ALL WOOD LINTELS TO CONFORM TO B.C.B.C. 2018 PART 9 WHERE SUPPORTING FLOOR OR ROOF LOADS.
11. INSTALL INTERCONNECTED SMOKE ALARMS IN ACCORDANCE WITH B.C.B.C. 2018 PART 3.10.19. INSTALL INTERCONNECTED CO ALARMS IN ACCORDANCE WITH B.C.B.C. 2012 3.32.42.
12. ALL WOOD IN CONTACT WITH CONCRETE INCLUDING BILL FLATES MUST BE PRESSURE TREATED OR SEPARATED WITH SILL GASKET OR OTHER APPROVED MATERIAL.
13. ALL NOTED 'ENGINEERED' COMPONENTS, SUCH AS ROOF TRUSSES, BEAMS, AND ENGINEERED FLOOR SYSTEMS, REQUIRE ENGINEERED DRAWING SUBMITTAL AND MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
14. SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS, AND MILLWORK TO OWNER'S APPROVAL. WINDOWS MUST MEET NEW CRITERION FOR AIRTIGHTNESS, WATERTIGHTNESS, RESISTANCE TO WIND LOAD AND BREAK-IN (security). ALL WINDOWS TO COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-F-RATINGS FOR ALL WINDOWS WITHIN 2 METRES OF GRADE. THE RELEVANT GRADE REQUIREMENTS THAT THE RATINGS BE CLEARLY LABELLED ON ALL WINDOWS. ALL WINDOWS ARE TO BE ENGINEERED WITH SEALED DRAWINGS AND LETTERS OF ASSURANCE. WINDOWS AND DOORS MUST COMPLY WITH MUNICIPAL REQUIREMENTS FOR U-VALUE.
15. INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" (865mm) MIN TO 38" (965mm) MAX ABOVE NOISING.
16. INSTALL GUARDRAIL AT ALL BALCONIES, DECKS, AND PORCHES GREATER THAN 2' (600mm) ABOVE ADJACENT GRADE OR LEVEL. INSTALL GUARDRAIL AT 42" (1070mm) WHERE DECK IS GREATER THAN 6' (1800mm) ABOVE ADJACENT SURFACE. OTHERWISE 36" (915mm) GUARDRAIL ALLOWED.
- CANTILEVERED GLASS GUARDRAILS SHALL BE ANCHORED WITH GLAZING SHOE TO RESIST LATERAL LOADS PER B.C.B.C. 2018.
- OTHER GLASS RAIL ASSEMBLIES (GLAZING AND SUPPORTS) TO BE ENGINEERED AND SEALED LOADS, AND LETTERS OF ASSURANCE.
17. INSTALL WATERPROOF MEMBRANE ON BUILDING PAPER ON WATER-RESISTANT WALLBOARD (MIN 5/8" THICK) ON EXISTING AS SUBSTRATE. ALL WALL & CEILING AREAS OR STEAM/SHOWER. INSTALL WATER-RESISTANT WALLBOARD AROUND ALL LIET AREAS TO MIN 6'-0" (1829) HIGH.
18. PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH CURRENT LOCAL BUILDING BUILDING CODE AND BY-LAWS.
- MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FINAL FRAMING INSPECTION.
19. PROVIDE ELECTRICAL ENGINEERING BY APPROVED AND CERTIFIED CONTRACTOR. RECEPTACLES AND AFFLIANCE LOCATIONS TO BE APPROVED BY OWNER.
20. ANY ALTERNATIVE STRUCTURAL ENGINEERING TO BE APPROVED AND VERIFIED BY CERTIFIED STRUCTURAL ENGINEER. SUBMIT ENGINEERED DRAWINGS TO DESIGNER.
21. FIRE PROTECTION AND LIFE SAFETY PROVISIONS TO CONFORM TO THE REQUIREMENTS OF THE B.C.B.C. 2012 PART 9.
22. VERIFY EXISTING AND PROPOSED GRADING PRIOR TO SETTING OUT AND CUT, FILL, & COMPACT ACCORDING TO BUILDING ELEVATIONS.
23. ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES, AND MILLWORK TO OWNER'S APPROVAL.

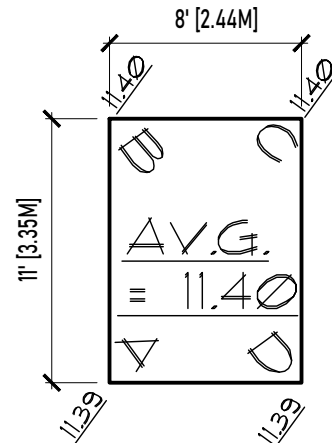
ABBREVIATIONS

A/A ATTIC ACCESS - MIN 24'X36'	PREF. PREFINISHED
AFB ABOVE FINISHED FLOOR	PL. POINT LOAD ABOVE
B/FB BASEMENT FLOOR ELEVATION	R45 ROD 4 SHELF
BU BUILT-UP	8FS STRUCE/FINISHER ?
CD CONTINUOUS	R43 TONGUE 1 GROOVE
DP DROPPED BEAM	T.O.3.TP OF SLAB
EC ENGINEERED CONNECTION	U.FE. UPPER FLOOR ELEVATION
REQS STRUCTURAL ENGINEER	UNLESS/ELSE NOTED OTHERWISE
ENG ENGINEERED	Y.O.S. VERIFY ON SITE
REQS STRUCTURAL ENGINEERING	
BY P. ENG C/A SEALED DRAWINGS	
FL FLUSH BEAM	
HM HEAD HEIGHT	
MFE MAIN FLOOR ELEVATION	
O.C. ON CENTRE	



2 AVERAGE GRADE CALCULATION

206 ST. CHARLES STREET - Average Grade Calculation							
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Average grade (total factors / perimeter)
AB	11.20	11.47	11.34	11.28	127.86	488.93	42.98
BC	11.47	11.48	11.47	4.46	51.13		
CD	11.48	11.43	11.47	3.77	43.24		
DE	11.48	11.40	11.44	3.96	46.30		
EF	11.40	11.40	11.40	1.98	22.57		
FG	11.40	11.40	11.40	7.32	83.45		
GA	11.40	11.20	11.30	10.21	115.37		
TOTAL				42.98	488.93		11.38



3. AVERAGE GRADE CALCULATION-SHED

206 ST. CHARLES STREET - Average Grade Calculation-SHED							
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Average grade (total factors / perimeter)
AB	11.39	11.40	11.40	3.35	38.17	131.95	11.58
BC	11.40	11.40	11.40	2.44	27.82		11.395
CD	11.40	11.39	11.40	3.35	38.17		
DA	11.39	11.39	11.39	2.44	27.73		
TOTAL				11.58	131.95		11.40

SITE DATA

LOCATION: BUILDING TYPE: ZONING:	206 ST. CHARLES STREET - VICTORIA NEW SFD R1-S2			
ZONING REQUIREMENTS	REQUIRED	PROPOSED		COMMENTS
LOT AREA	260 M ²	354.82 M ²	3819.30 FT ²	
LOT WIDTH	10 M MINIMUM	15.24 M	50.00 FT	
LOT DEPTH	NA	76.36 M	23.27 FT	
SETBACKS				
FRONT	6.00 M	6.00 M	19.68 FT	
REAR	6.00 M	6.00 M	19.68 FT	
SIDE NORTH	1.50 M (2.4 TO HABITABLE)	1.58 M	5.18 FT	VARIANCE
SIDE SOUTH	1.50 M (2.4 TO HABITABLE)	3.46 M	11.35 FT	
AVERAGE GRADE	NA	11.38 M	37.33 FT	
BUILDING HEIGHT	7.50 M (TWO STOREYS MAX)	7.12 M	23.35 FT	
BUILDING AREA				
UPPPER FLOOR AREA	NA	89.45 M ²	962.92 FT ²	
MAIN FLOOR AREA	NA	100.50 M ²	1081.87 FT ²	
TOTAL FLOOR AREA	190 M ²	189.95 M ²	2044.79 FT ²	
MAXIMUM F.A.R.	0.60	0.535		
BUILDING FOOTPRINT	NA	107.30 M ²	1155.00 FT ²	
MAXIMUM LOT COVERAGE	40%	60.24 %		
SITE IMPERVIOUS AREA	NA	196.39 M ²	2114.10 FT ²	
SITE PERMEABLE AREA	NA	158.43 M ²	1705.20 FT ²	
RAINWATER MANAGEMENT AREA		0 M ²	0 FT ²	
PROPOSED DEVELOPMENT				

SITE DATA - ACCESSORY BUILDING

LOCATION: BUILDING TYPE: ZONING:		206 ST. CHARLES STREET - VICTORIA ACCESSORY BUILDING (SHED) R1-S2		
ZONING REQUIREMENTS	REQUIRED	PROPOSED		COMMENTS
SETBACKS				
FRONT	18.00 M	19.78 M	64.89 FT	
REAR	0.60 M	1.04 M	3.41 FT	
SIDE NORTH	0.60 M	11.29 M	37.04 FT	
SIDE SOUTH	0.60 M	0.60 M	1.96 FT	
FROM BUILDING	2.40 M	2.52 M	8.26 FT	
AVERAGE GRADE	NA	11.40 M	37.40 FT	
BUILDING HEIGHT	4.00 M	3.74 M	12.27 FT	
BUILDING AREA				
TOTAL FLOOR AREA ACCESSORY BLDG	NA	8.91 M ²	96.00 FT ²	
TOTAL FLOOR AREA ALL ACCESSORY BLDG	37.00 M ²	8.91 M ²	96.00 FT ²	
BUILDING FOOTPRINT HOUSE	96.00	107.30 M ²	1155.00 FT ²	
BUILDING FOOTPRINT ACCESSORY BLDG	NA	8.91 M ²	96.00 FT ²	
TOTAL BUILDING FOOTPRINT	NA	116.21 M ²	1251.00 FT ²	
MAXIMUM LOT COVERAGE	40.00%	32.75 %		
REAR YARD AREA	NA	91.45 M ²	984.44 FT ²	
MAXIMUM LOT COVERAGE ACCESSORY	30.00%	9.74 %		

DRAWING LIST

A1	SITE PLAN, AND SITE DATA
A2	FLOOR PLANS
A3	EXTERIOR ELEVATIONS
A4	BUILDING SECTIONS
A5	DETAILS
A6	SHED DRAWINGS

No.	REVISION	DATE
△	revise grade calculation, dimension parking area, indicate driveway slope, sight triangles added, revise driveway width, revise driveway flares, add 1M asphalt restoration area, indicate demolition of existing curb crossing, indicate broom finish concrete for curb crossing, indicate sidewalk rehabilitation,	2022.09.12
△	underground services changed to coloured lines, new water and sanitary lines located, existing sanitary to remain, hedges removed	2022.11.09
△	add shed to site and drawing set	2022.11.30
△	add tree dripline, match civil servicing plan	2022.12.05
△	revise and match civil servicing plan, dimension modified	2023.04.21

RE-ISSUED FOR BP
APRIL 21, 2023



1161 NEWPORT AVE

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Fax: (250) 360-2115

Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

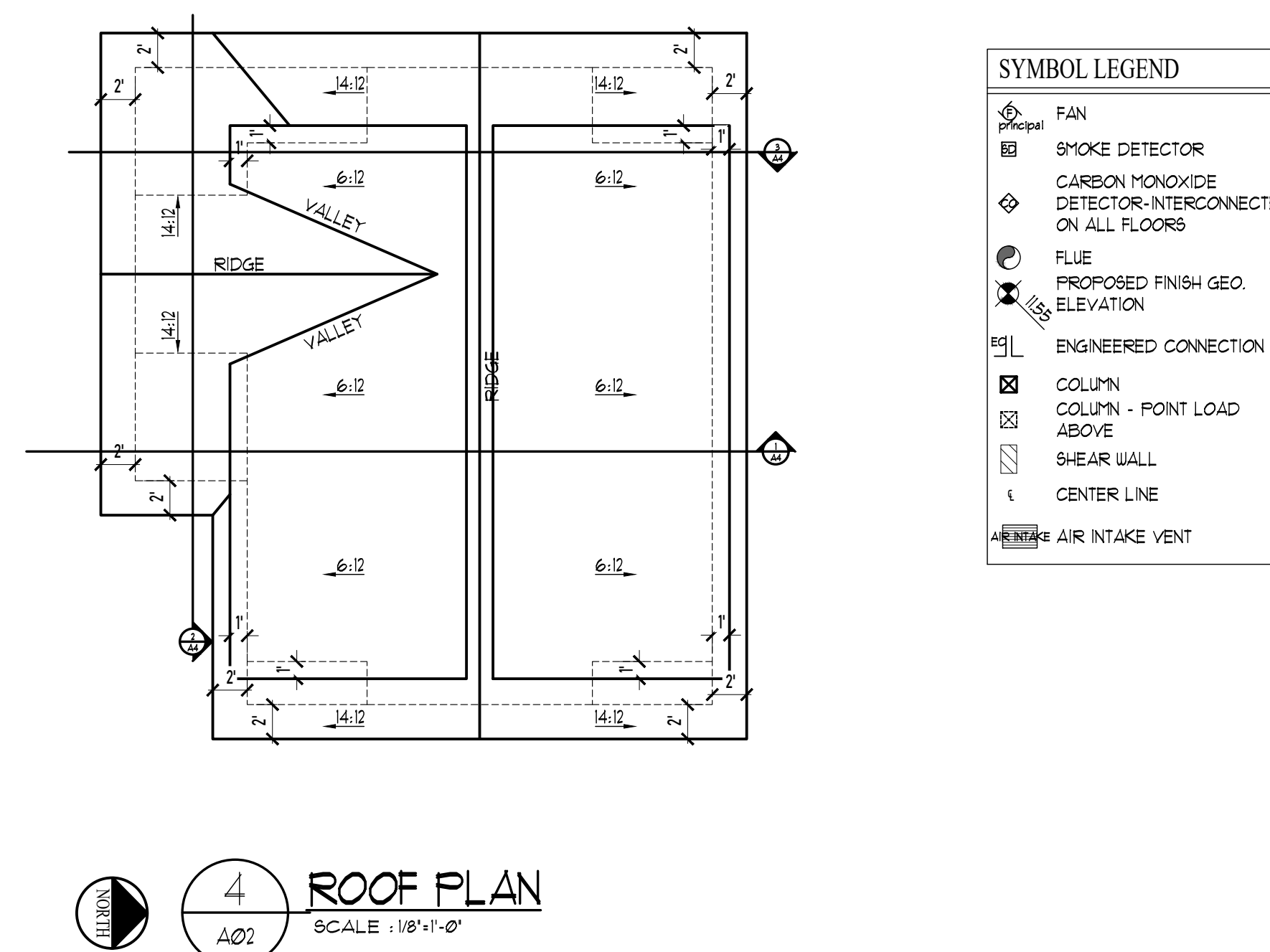
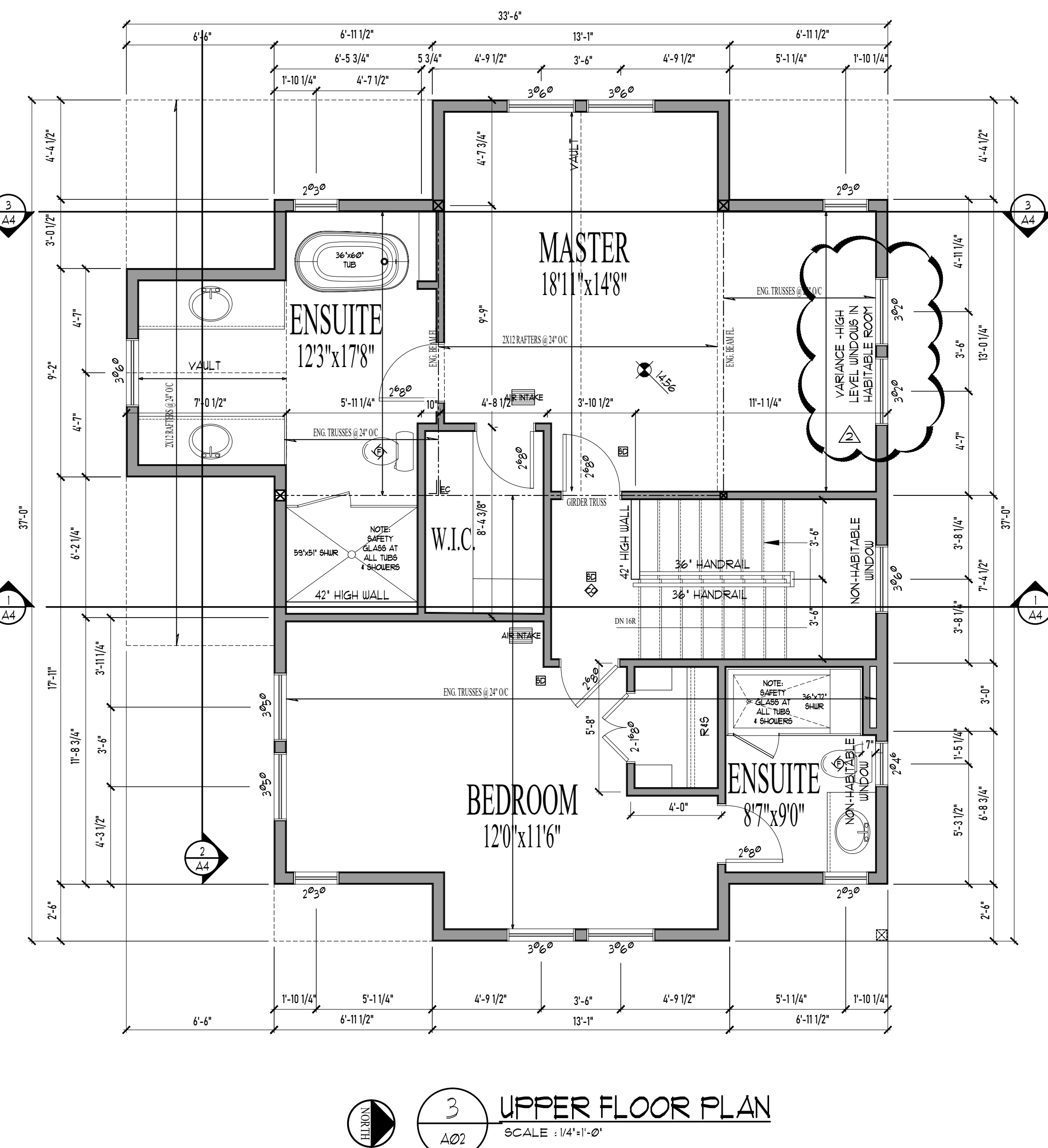
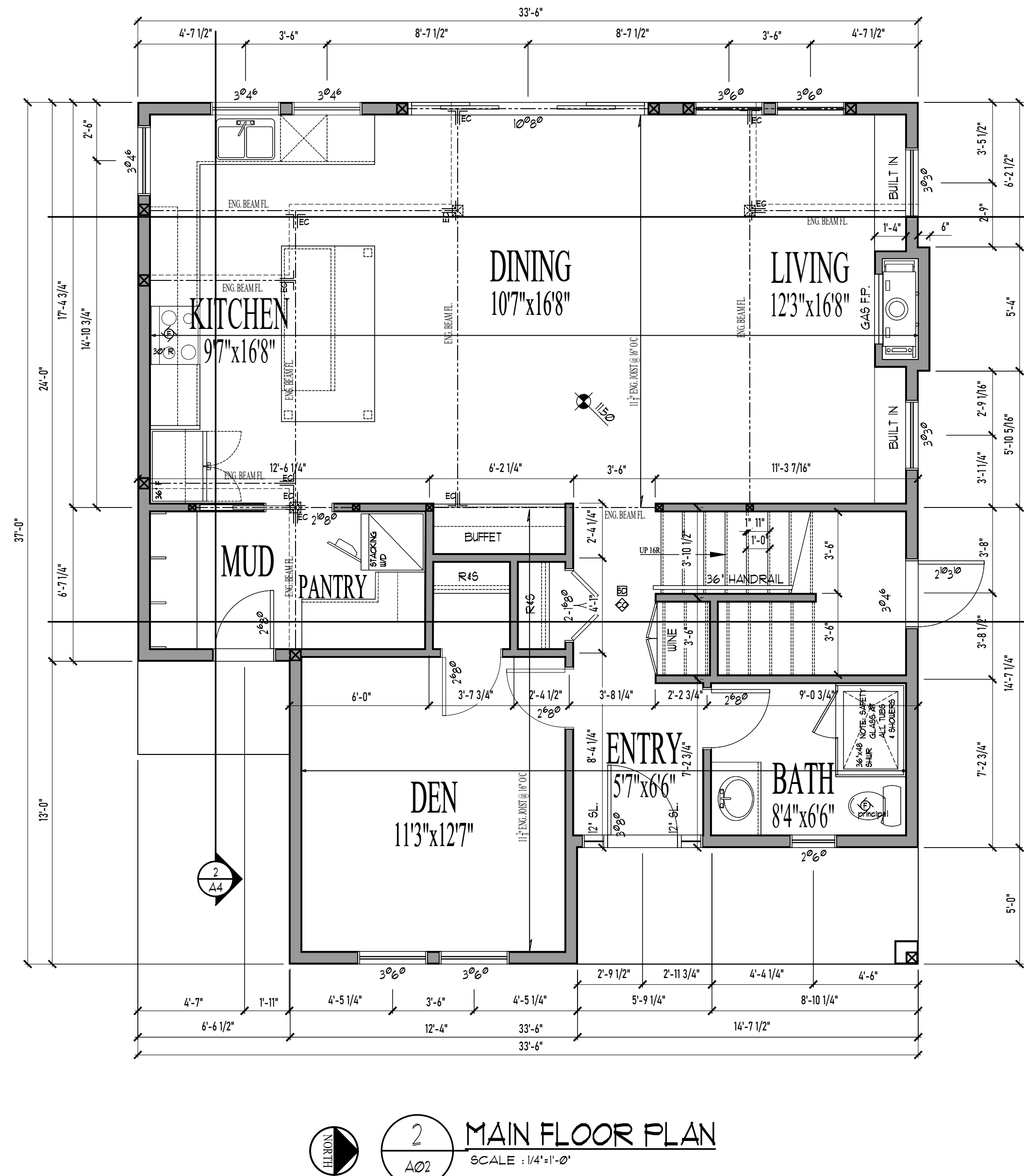
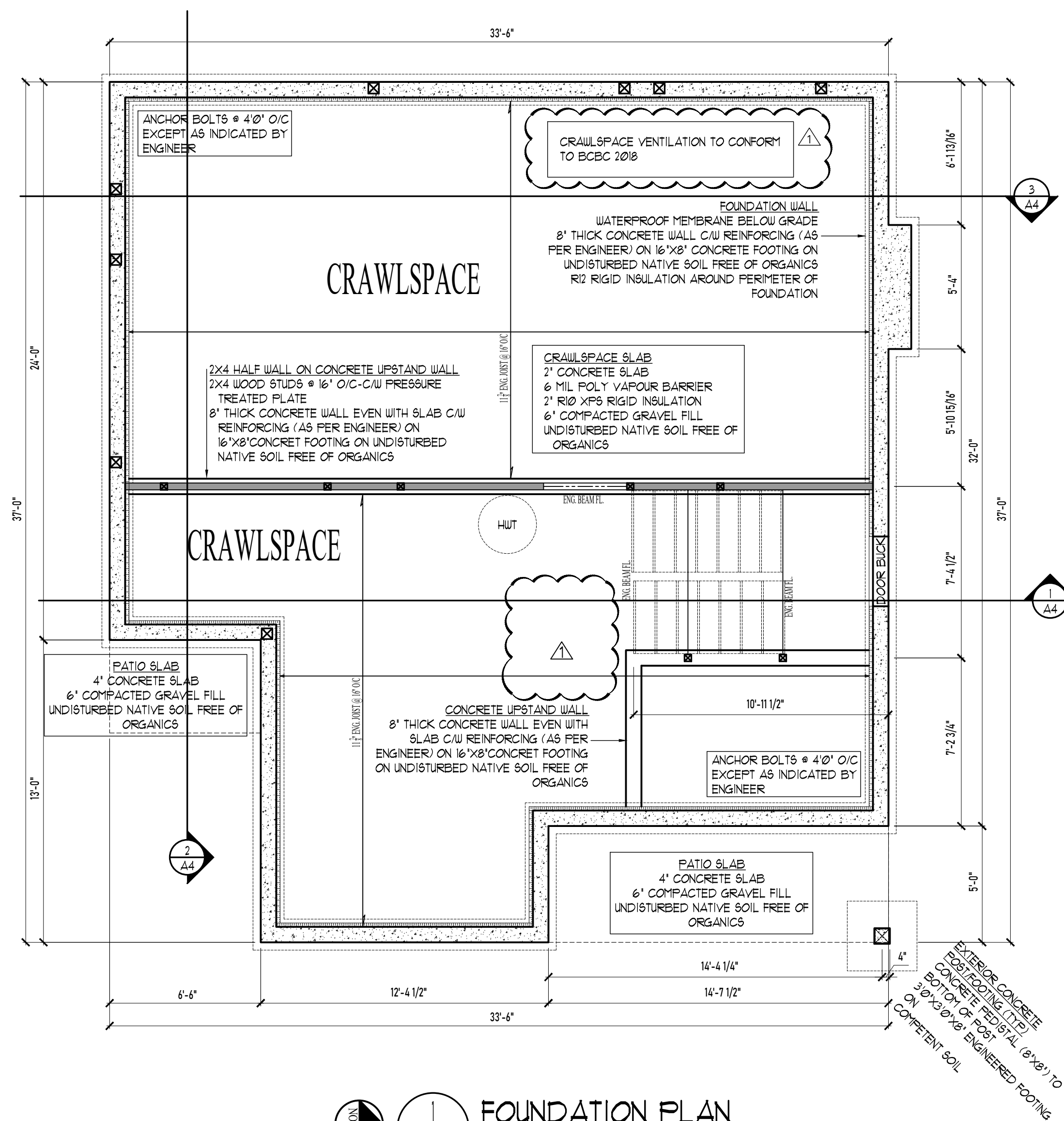
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


Project:
NEW SFD @ 206
ST.CHARLES STREET

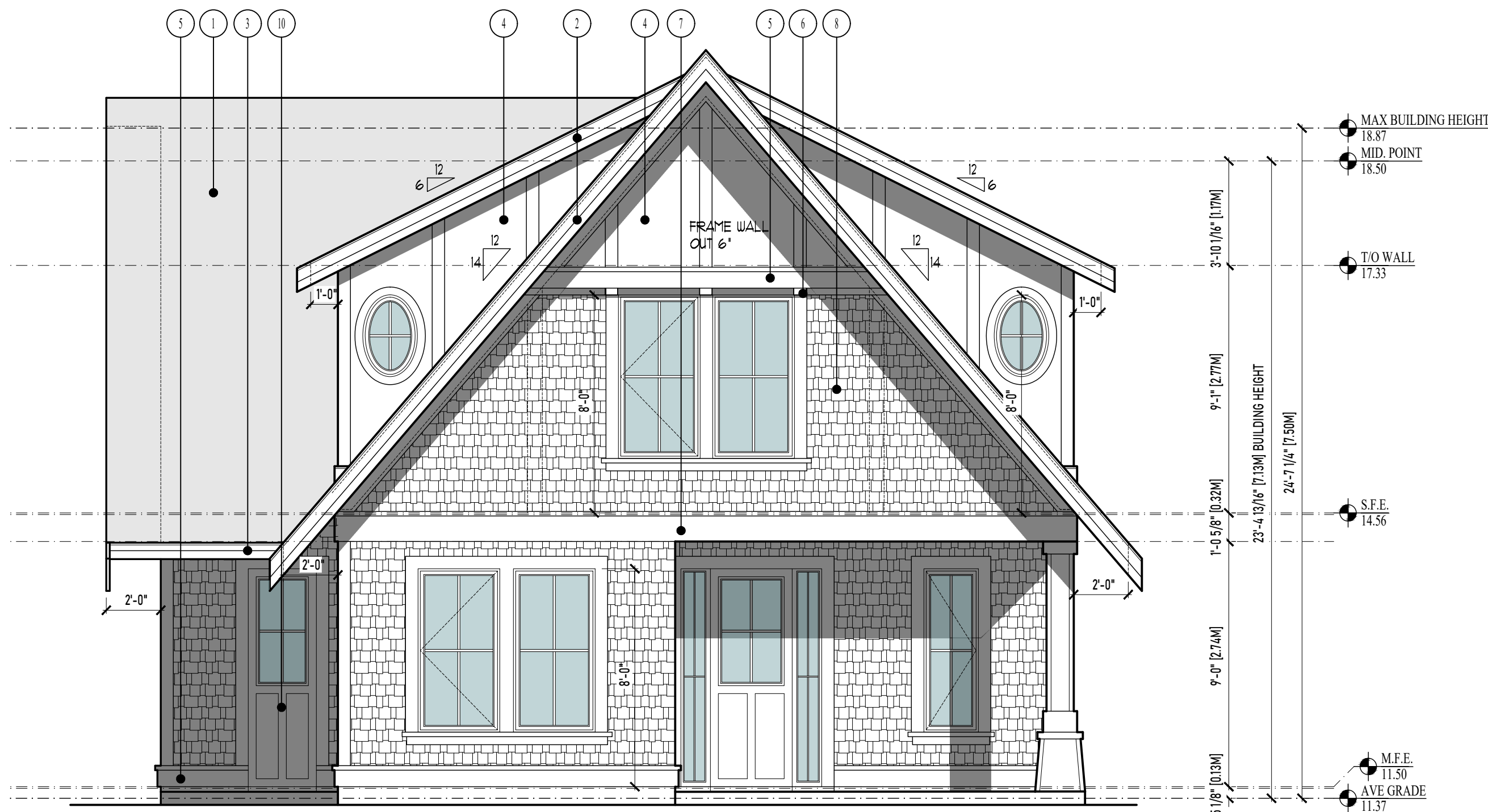
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Revision:	Sheet:
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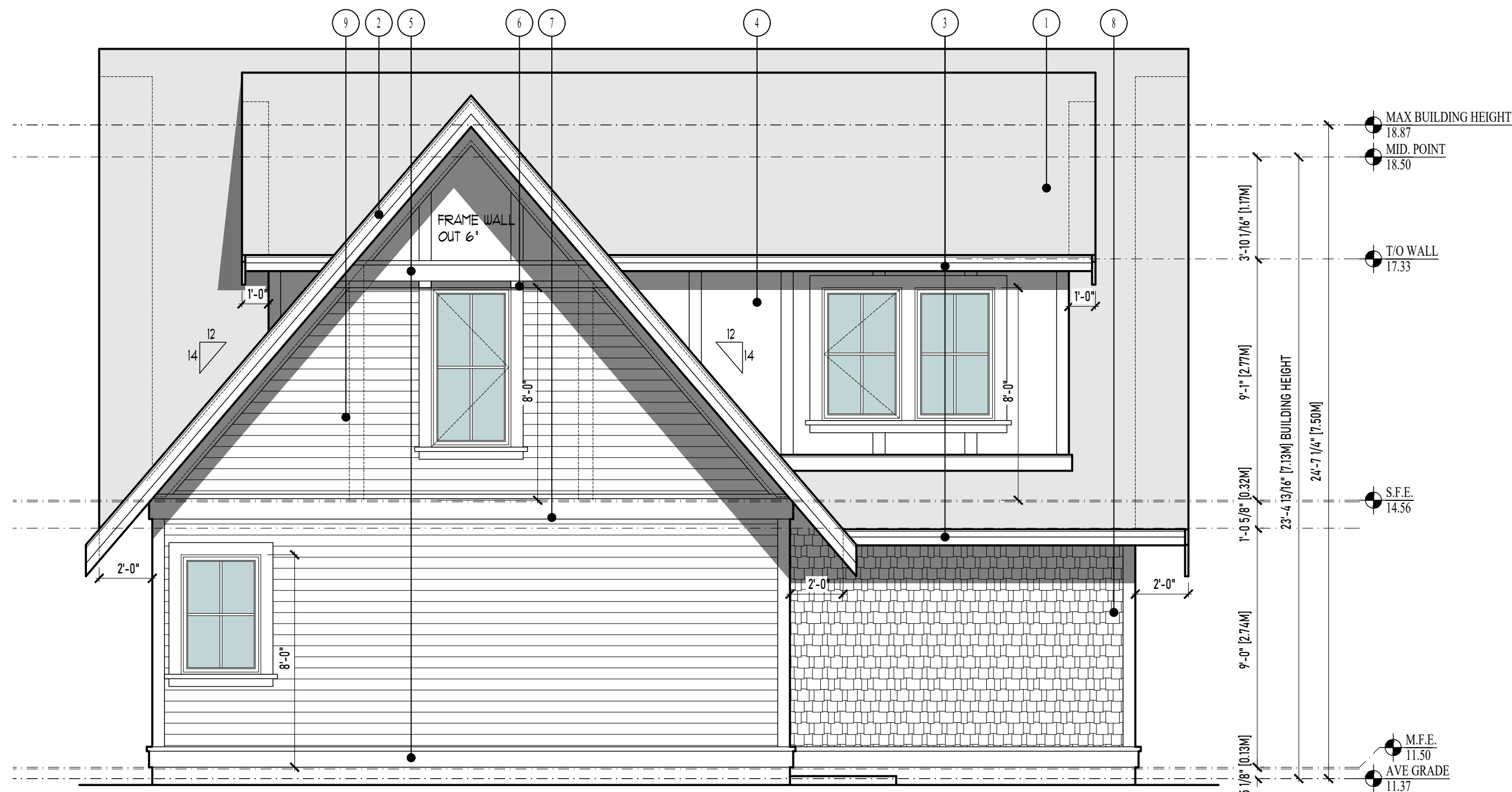
R4	A1
Proj.No. 2484	



No.	REVISION	DATE
	Furnace and HRV removed from plan, indicate crawlspace to be vented as per BCBC 2018,	2022.09.18
	habitable room windows indicated	2022.11.01
	no changes	2022.11.30
	no changes	2022.12.01
	no changes	2023.04.12

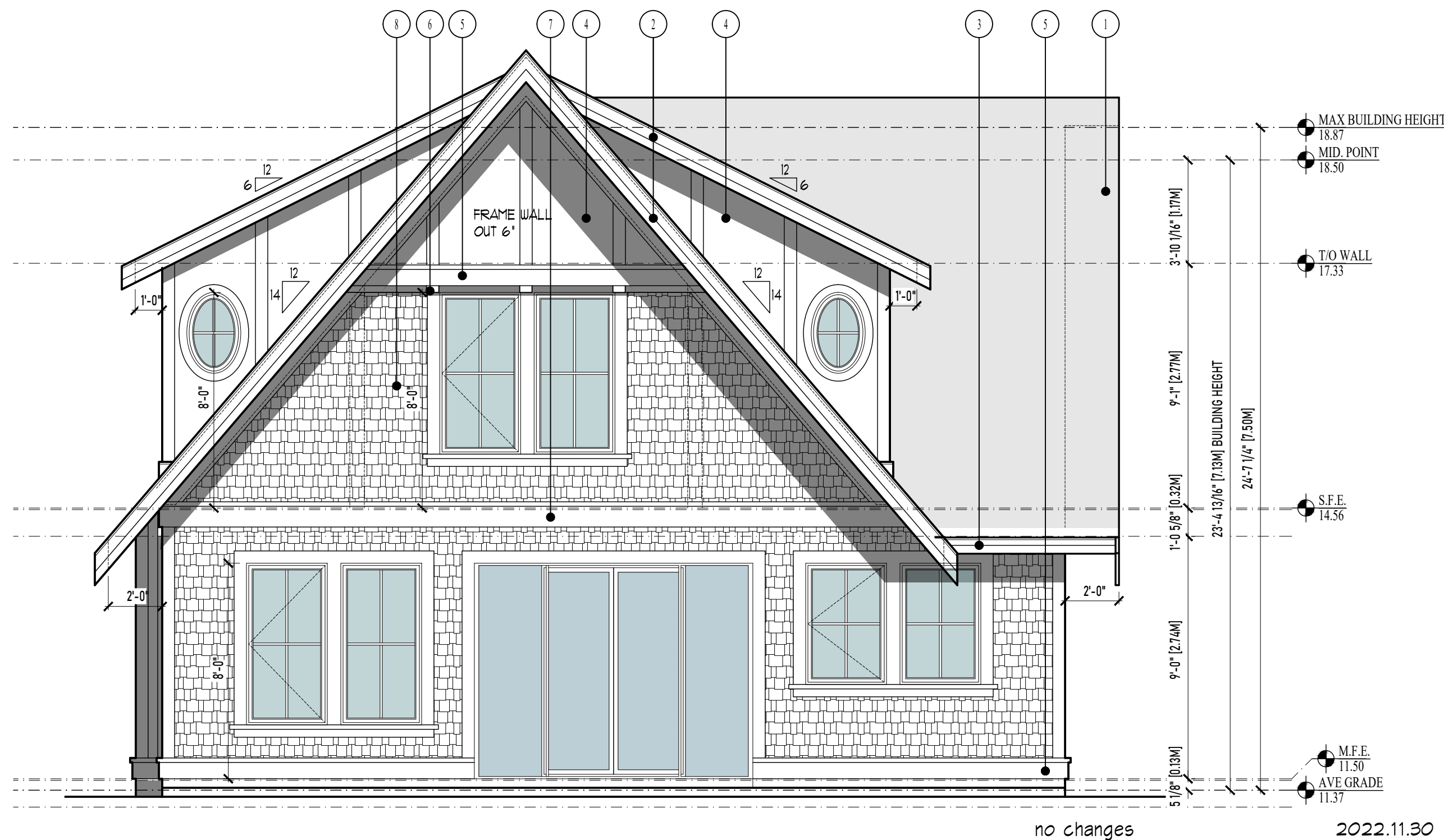


1 FRONT ELEVATION
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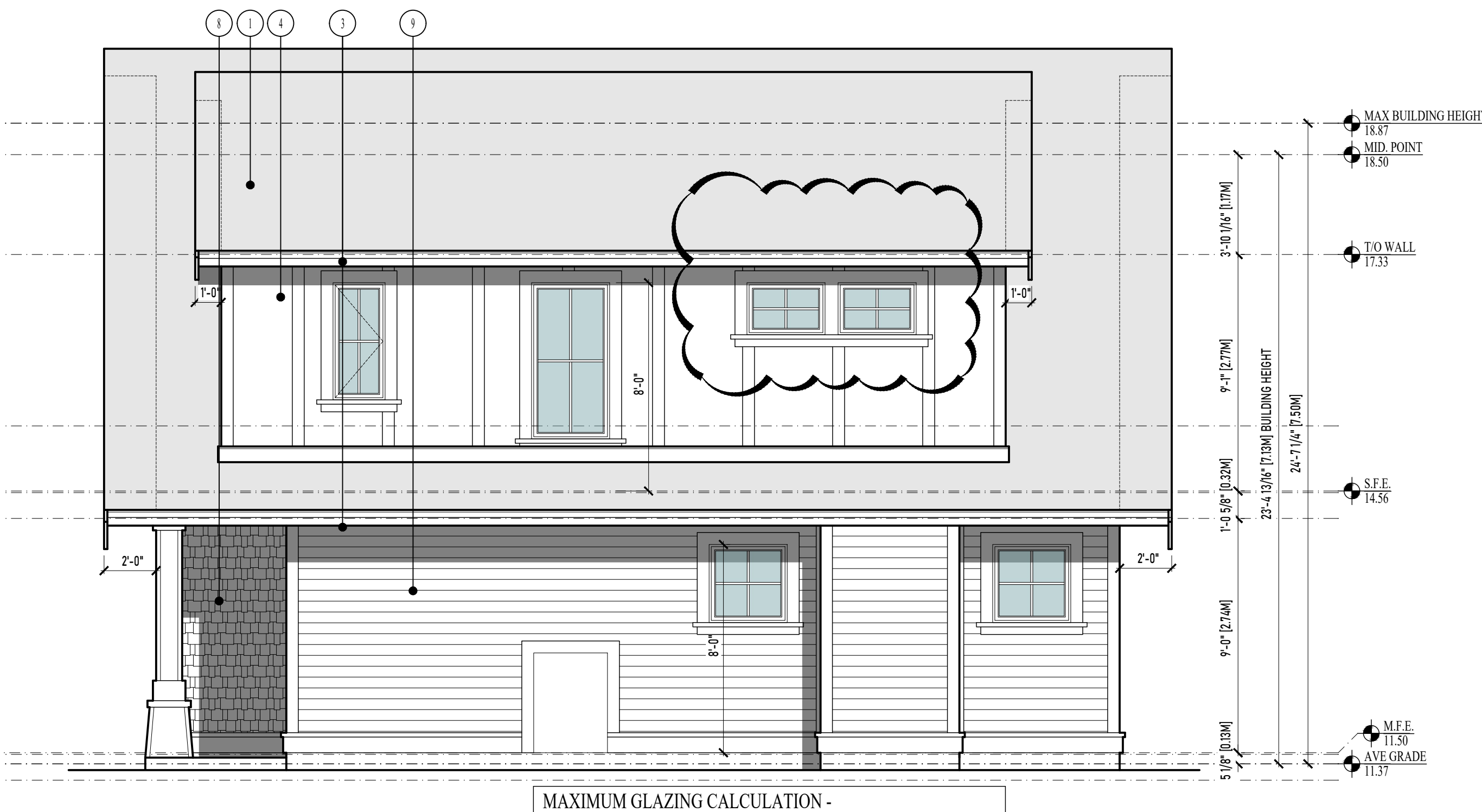
2 SOUTH ELEVATION
SCALE : 1/4"=1'-0"

MAXIMUM GLAZING CALCULATION - SOUTH ELEVATION	
DISTANCE TO PROPERTY LINE	3.45 M (11.31')
EXPOSED BUILDING FACE AREA	65.11 M ² (705.01 SF)
GLAZING AREA	4.30 M ² (46.34 SF)
PERCENTAGE	6.54% (ALLOWED 15.53%)



3 REAR ELEVATION
SCALE : 1/4"=1'-0"

No.	REVISION	DATE
△	no changes	2022.09.12
△	habitable room windows indicated	2022.11.03
△	no changes	2022.11.30
△	no changes	2022.12.05
△	no changes	2023.04.21



4 NORTH ELEVATION
SCALE : 1/4"=1'-0"

MAXIMUM GLAZING CALCULATION - NORTH ELEVATION	
DISTANCE TO PROPERTY LINE	1.58 M (5.18')
EXPOSED BUILDING FACE AREA	65.11 M ² (705.01 SF)
GLAZING AREA	3.63 M ² (39.15 SF)
PERCENTAGE	5.6% (ALLOWED 8.16%)

FINISH SCHEDULE

- 1 ASPHALT SHINGLES
COLOUR: -
MANUFACTURER: -
- 2 2X6 OVER 2X10 FASCIA BOARDS - PAINT
COLOUR: -
MANUFACTURER: -
- 3 2X4 OVER 2X8 FASCIA BOARDS - PAINT
COLOUR: -
MANUFACTURER: -
- 4 CEMENTITIOUS PANEL C/W 5.5" BATTONS - PAINT
COLOUR: -
MANUFACTURER: -
- 5 2X8 BATTON C/W 2" WATERTABLE - PAINT
COLOUR: -
MANUFACTURER: -
- 6 5.5"X3" DENTAL MOULDING - PAINT
COLOUR: -
MANUFACTURER: -
- 7 2X12 BATTON C/W 2" WATERTABLE - PAINT
COLOUR: -
MANUFACTURER: -
- 8 CEMENTITIOUS SHAKES - PAINTED
COLOUR: -
MANUFACTURER: -
- 9 CEMENTITIOUS SIDING - PAINT
COLOUR: -
MANUFACTURER: -
- 10 WOOD DOORS - STAINED
COLOUR: -
MANUFACTURER: -

- WINDOWS TO HAVE 5.5" TRIM C/W 2" WATERTABLE AND 3.5" BASE TRIM - PAINT
- DOORS TO BE TRIMED WITH 5.5" BOARDS - PAINT

GENERAL NOTES:
- WINDOW OPERATION SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS
- FLASH OVER ALL MATERIAL TRANSITIONS, AND DOOR & WINDOW HEADS
- NO COMBED-FACED TRIM
- ALL COLOURS BY DESIGNED AND OWNER

RE-ISSUED FOR BP
APRIL 21, 2023



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Date: APRIL 27, 2022

Scale: AS NOTED

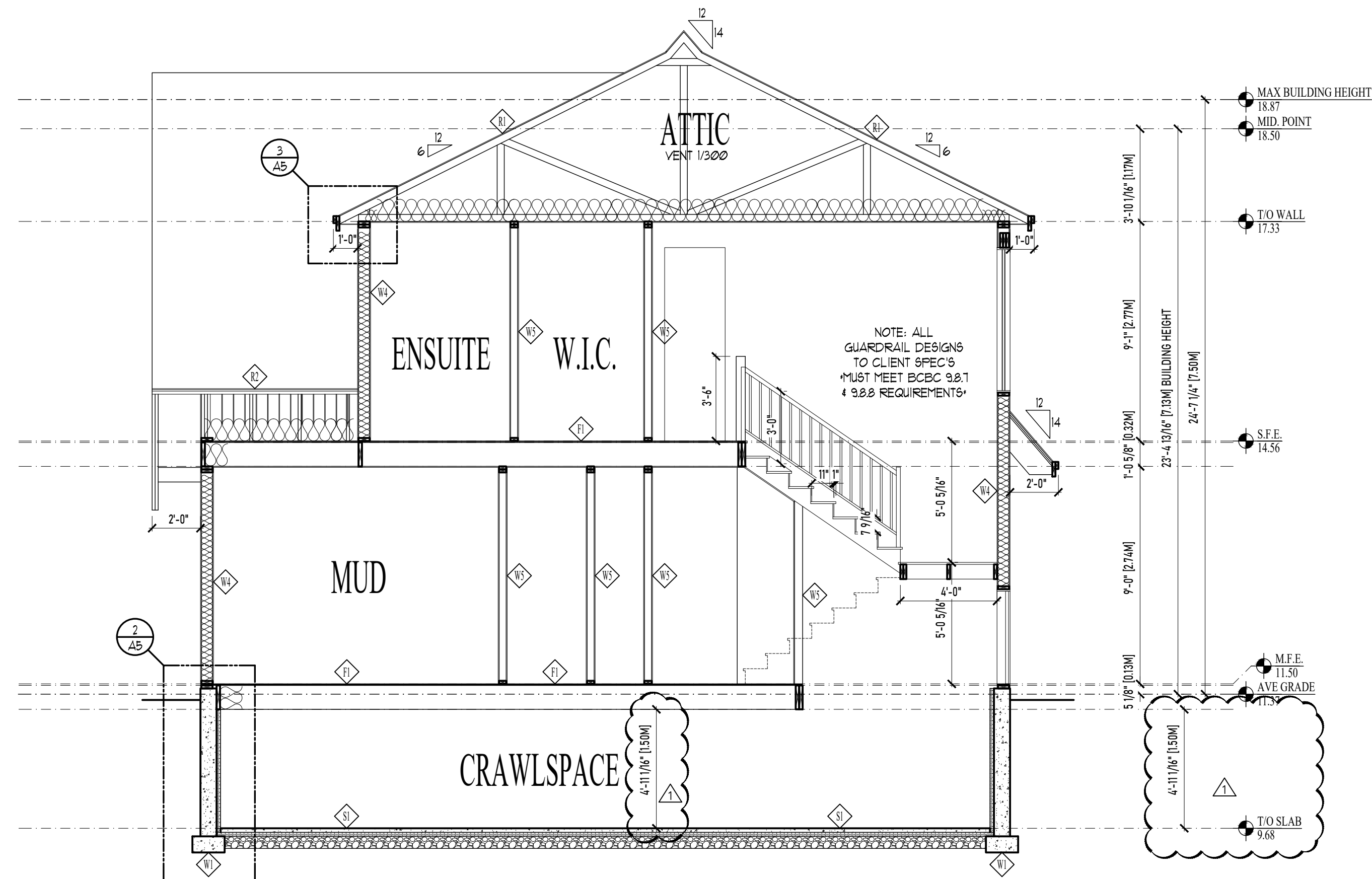
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NEW SFD @ 206
ST. CHARLES STREET

Title:
ELEVATIONS

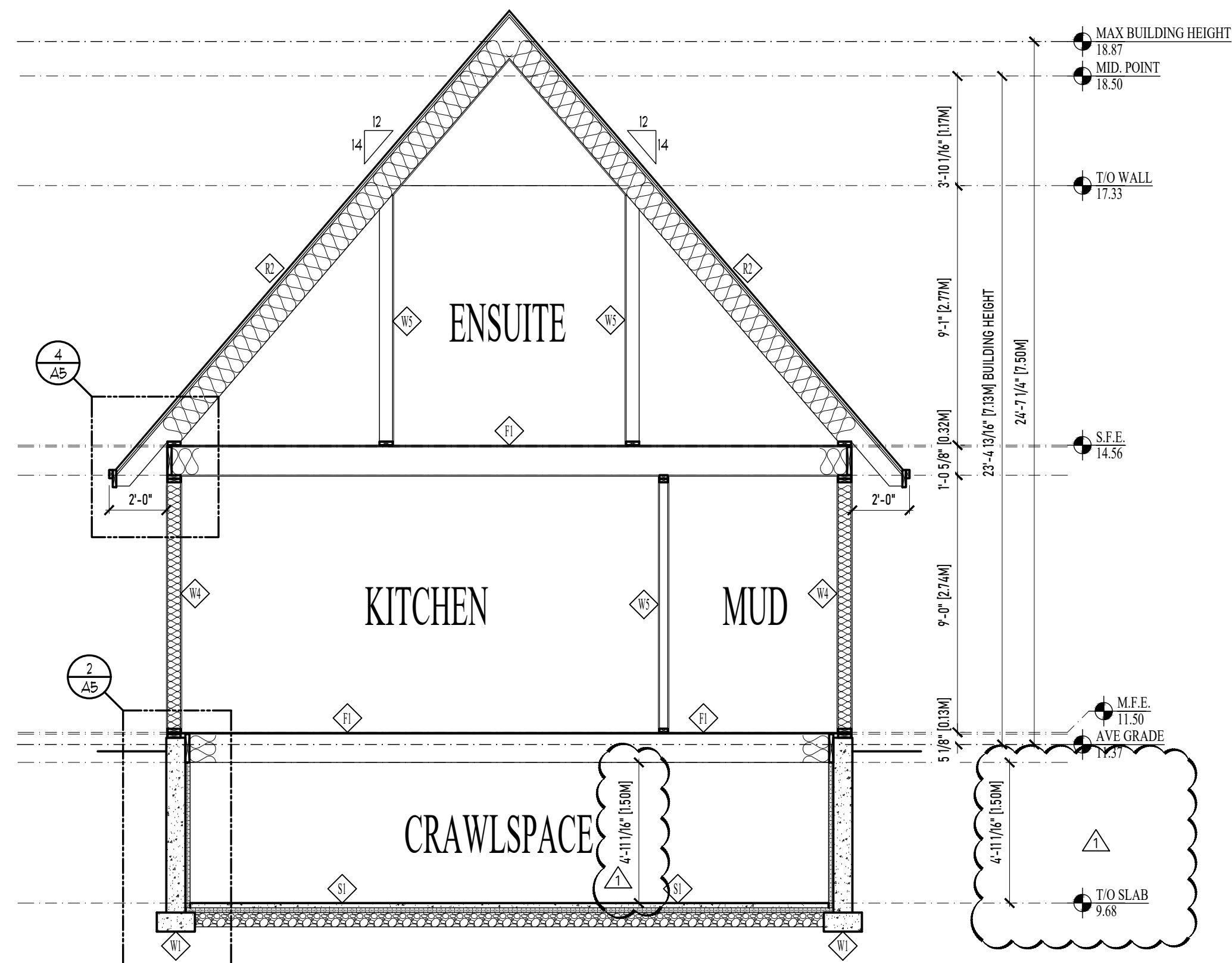
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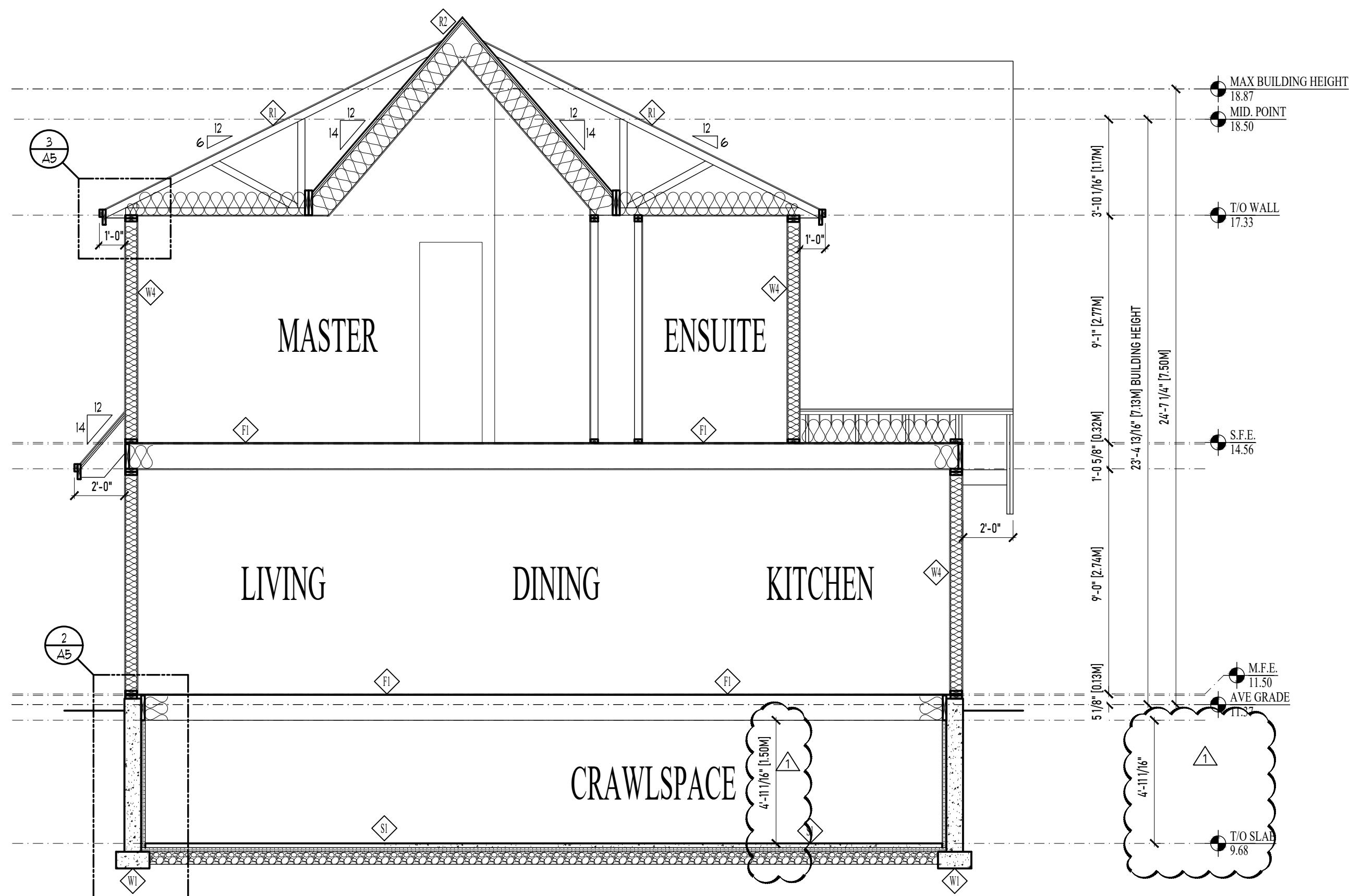
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Proj.No. 2484



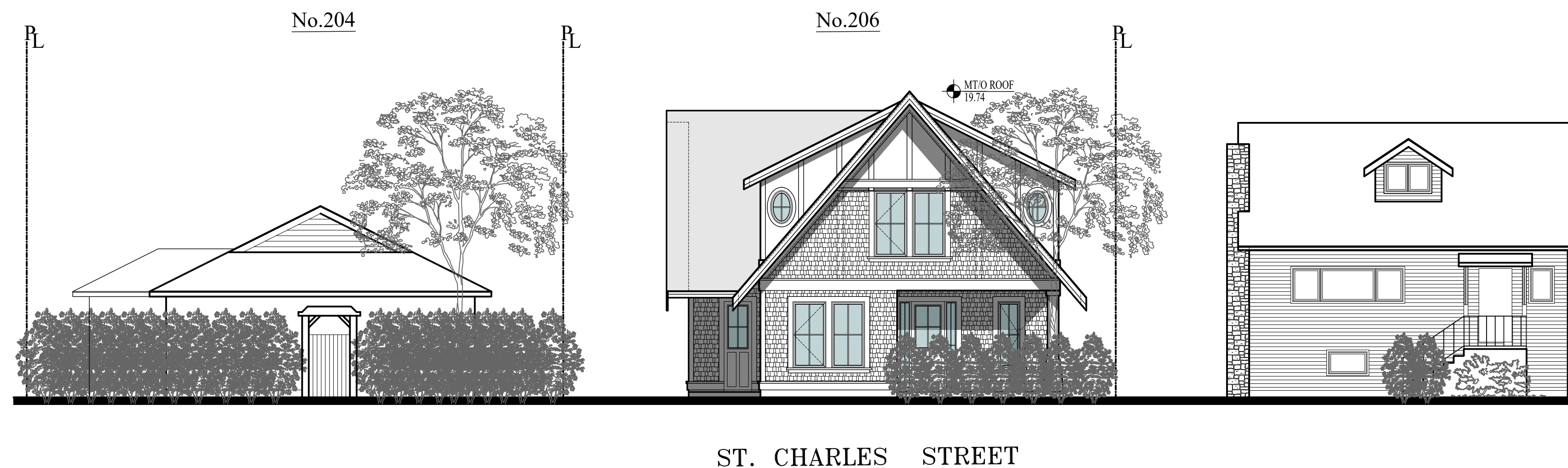
1 BUILDING SECTION
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2 BUILDING SECTION
SCALE: 1/4"=1'-0"



3 BUILDING SECTION
SCALE: 1/4"=1'-0"



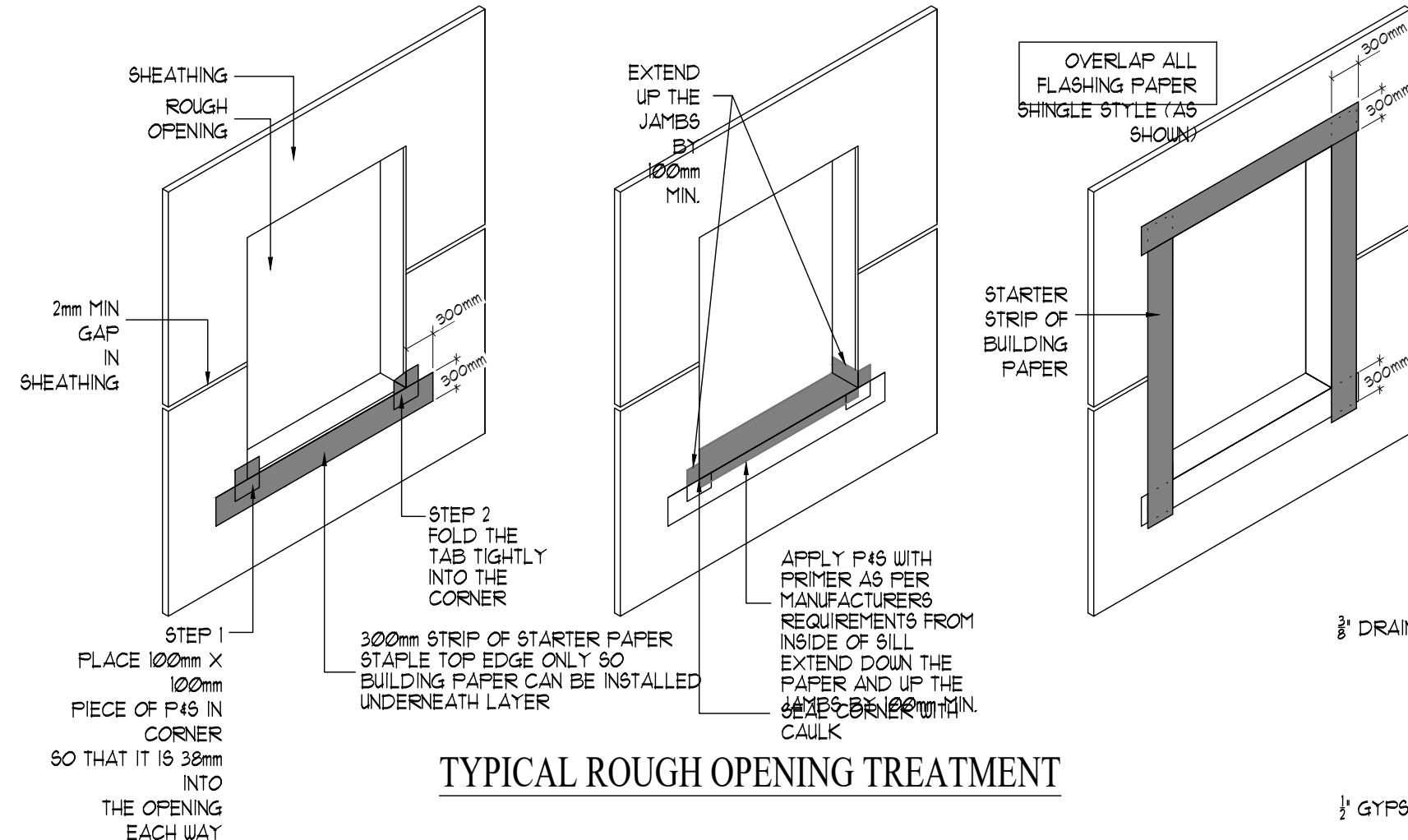
4 STREETSCAPE
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CONSTRUCTION SCHEDULE	
ROOF TYPES 1. SLOPED ROOF-ENG. TRUSSES ROOF FINISH AS PER ELEVATIONS UNDERLAYMENTS 1" PLYWOOD SHEATHING C/W 1/4" CLIPS FREENGINEERED TRUSSES @ 24" O/C R40 LOOSE FILL INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT 2. SLOPED ROOF-2X12 RAFTERS ROOF FINISH AS PER ELEVATIONS UNDERLAYMENTS 1" PLYWOOD SHEATHING C/W 1/4" CLIPS 2X3 FURLINGS @ 24" O/C 2X12 RAFTERS @ 24" O/C R40 GLASS FIBER BATT INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT	WALL TYPES 1. FOUNDATION WALL WATERPROOF MEMBRANE BELOW GRADE 8" THICK CONCRETE WALL C/W REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS 2" RIGID INSULATION AROUND INTERIOR OF CRAWLSPACE 2. CONCRETE UPSTAND WALL 8" THICK CONCRETE WALL EVEN WITH SLAB C/W REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS 3. 2X4 HALF WALL ON CONCRETE UPSTAND WALL 2X4 WOOD STUDS @ 16" O/C C/W PRESSURE TREATED PLATE 8" THICK CONCRETE WALL EVEN WITH SLAB C/W REINFORCING (AS PER ENGINEER) ON 16"X8" CONCRETE FOOTING ON UNDISTURBED NATIVE SOIL FREE OF ORGANICS 4. EXTERIOR WALL ASSEMBLY EXTERIOR FINISH AS PER ELEVATIONS 3" (10mm) CAPILLARY BREAK MAT AIR BARRIER 1" PLYWOOD SHEATHING 2X6 WOOD STUDS @ 16" R20 GLASS FIBER BATT INSULATION 6 MIL POLY VAPOUR BARRIER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT 5. INTERIOR WALL ASSEMBLY 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT 2X4 OR 2X6 WOOD STUDS @ 24" SOUND INSULATION AS DIRECTED BY OWNER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT
EXTERIOR SOFFITS 1X4 T&G V-GROOVE CEDAR SOFFIT C/W 1" WIDE INSECT/VENT SCREEN	
FLOOR TYPES 1. FLOOR ASSEMBLY-II 1/2" ENG. JOIST FLOOR FINISH 3" T&G PLYWOOD SUBFLOOR -NAILED, GLUED AND SCREWED 11 1/2" FREENGINEERED JOISTS @ 16" O/C SOUND INSULATION AS INDICATED BY OWNER 1" GYPSUM WALL BOARD TAPED, SANDED AND READY FOR PAINT	
SLAB TYPES 1. CRAWLSPACE SLAB 2" CONCRETE SLAB 6 MIL POLY VAPOUR BARRIER 2" RIGID INSULATION 6" COMPACTED GRAVEL FILL UNDISTURBED NATIVE SOIL FREE OF ORGANICS	

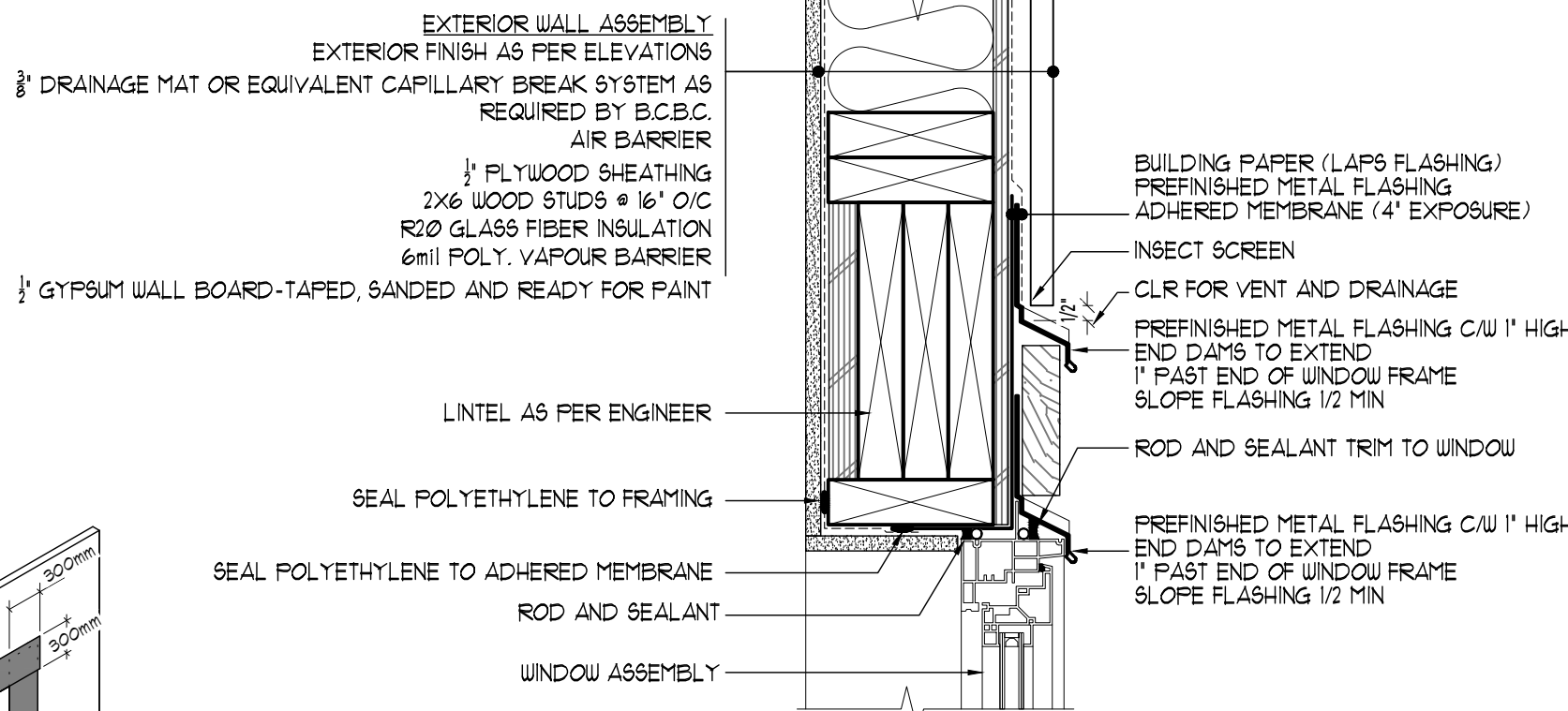
No.	REVISION	DATE
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3	no changes	2022.12.05
4	no changes	2023.04.21

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APRIL 21, 2023

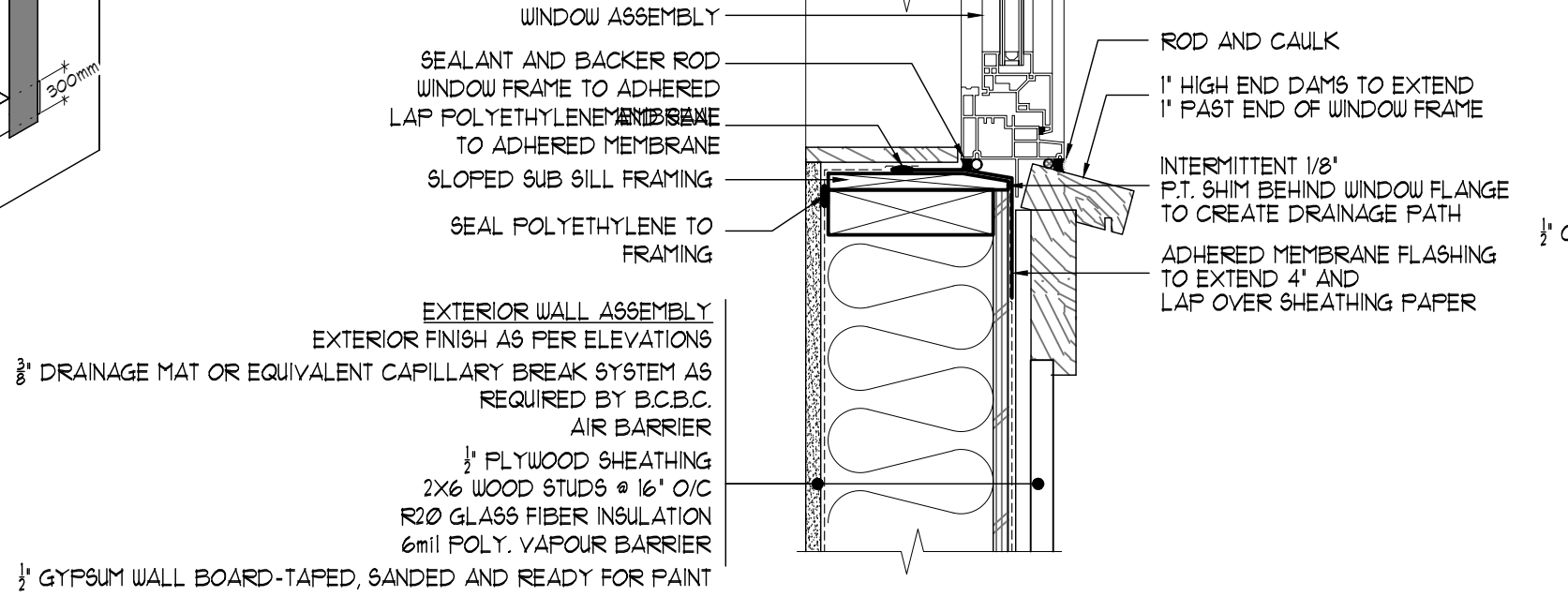
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Project:
NEW SFD @ 206
ST.CHARLES STREET
Title:
SECTIONS AND
STREETSCAPE
Revision:
Sheet:
R4A4
Proj.No. 2484



TYPICAL ROUGH OPENING TREATMENT

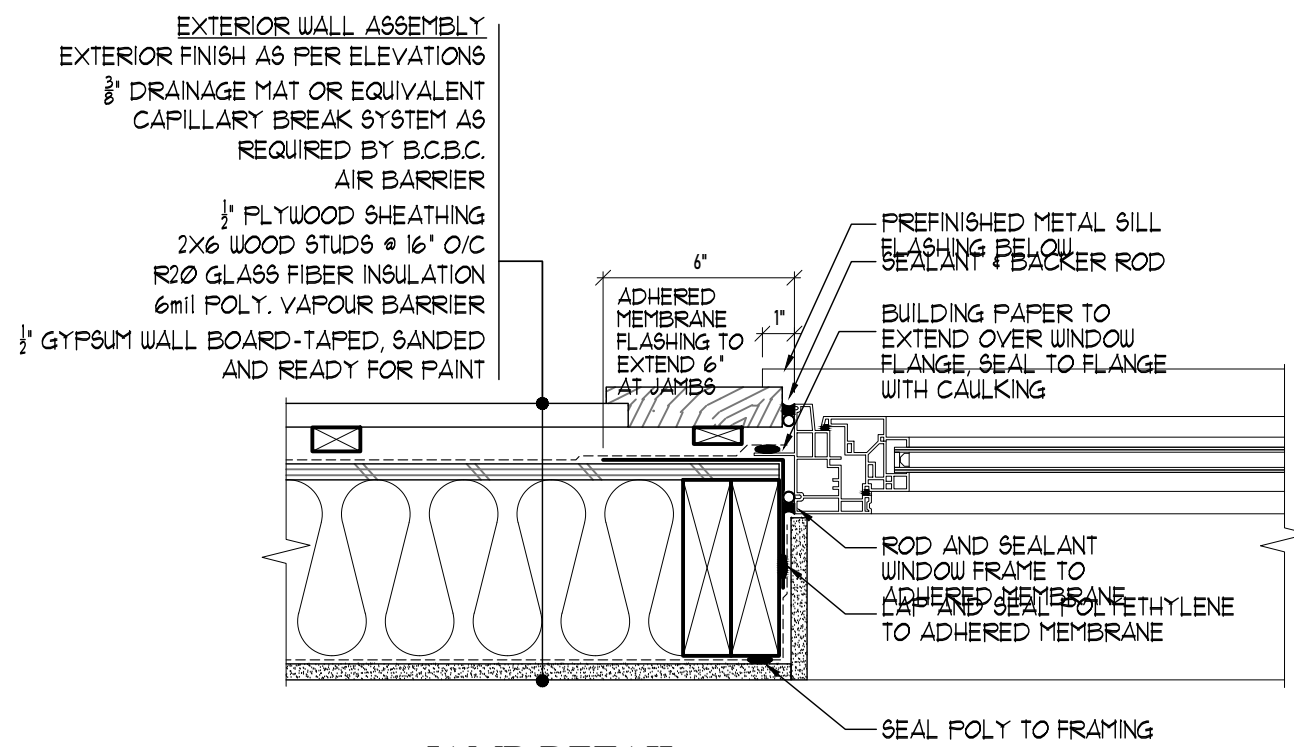


HEAD DETAIL



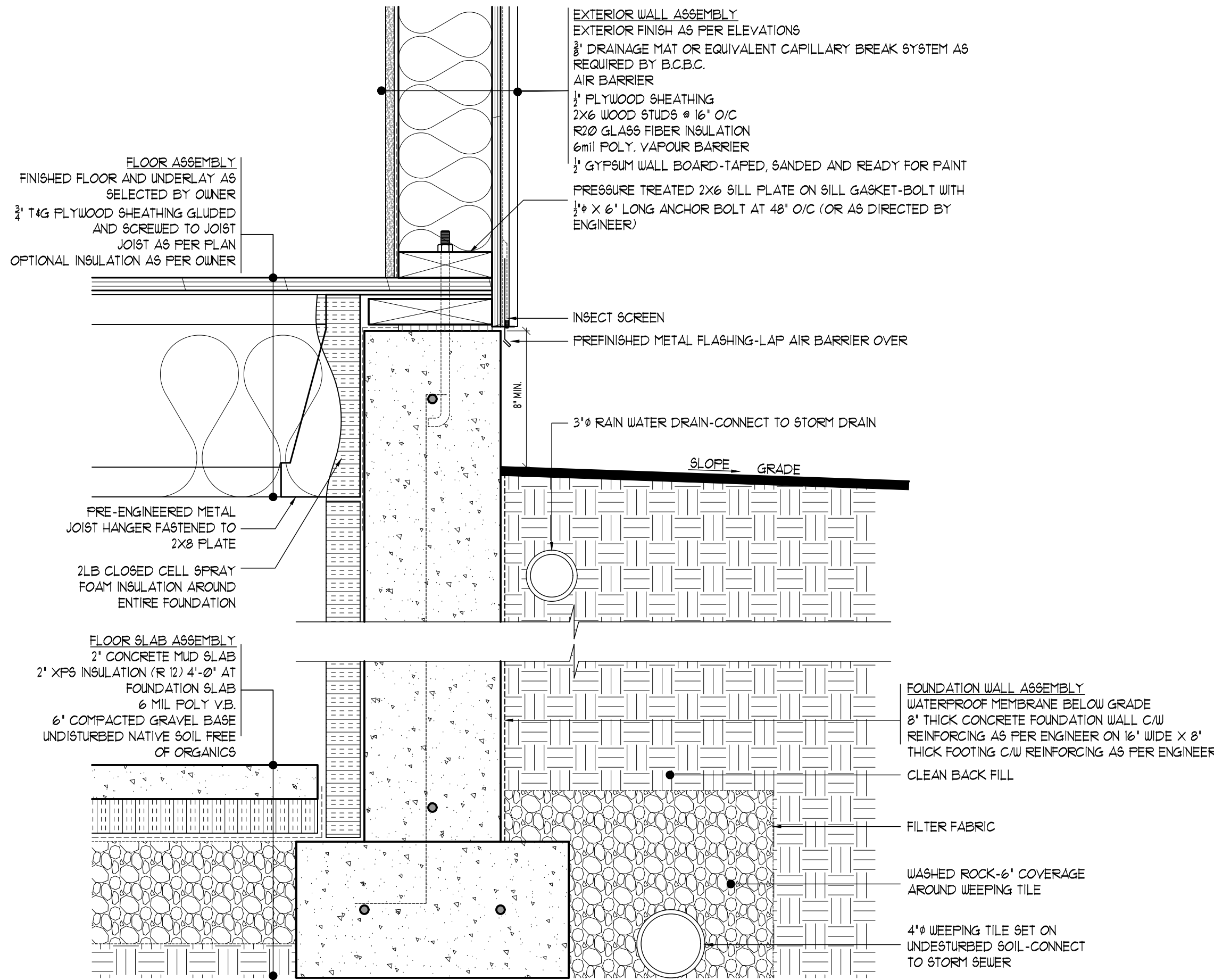
SILL DETAIL

1 WINDOW DETAILS
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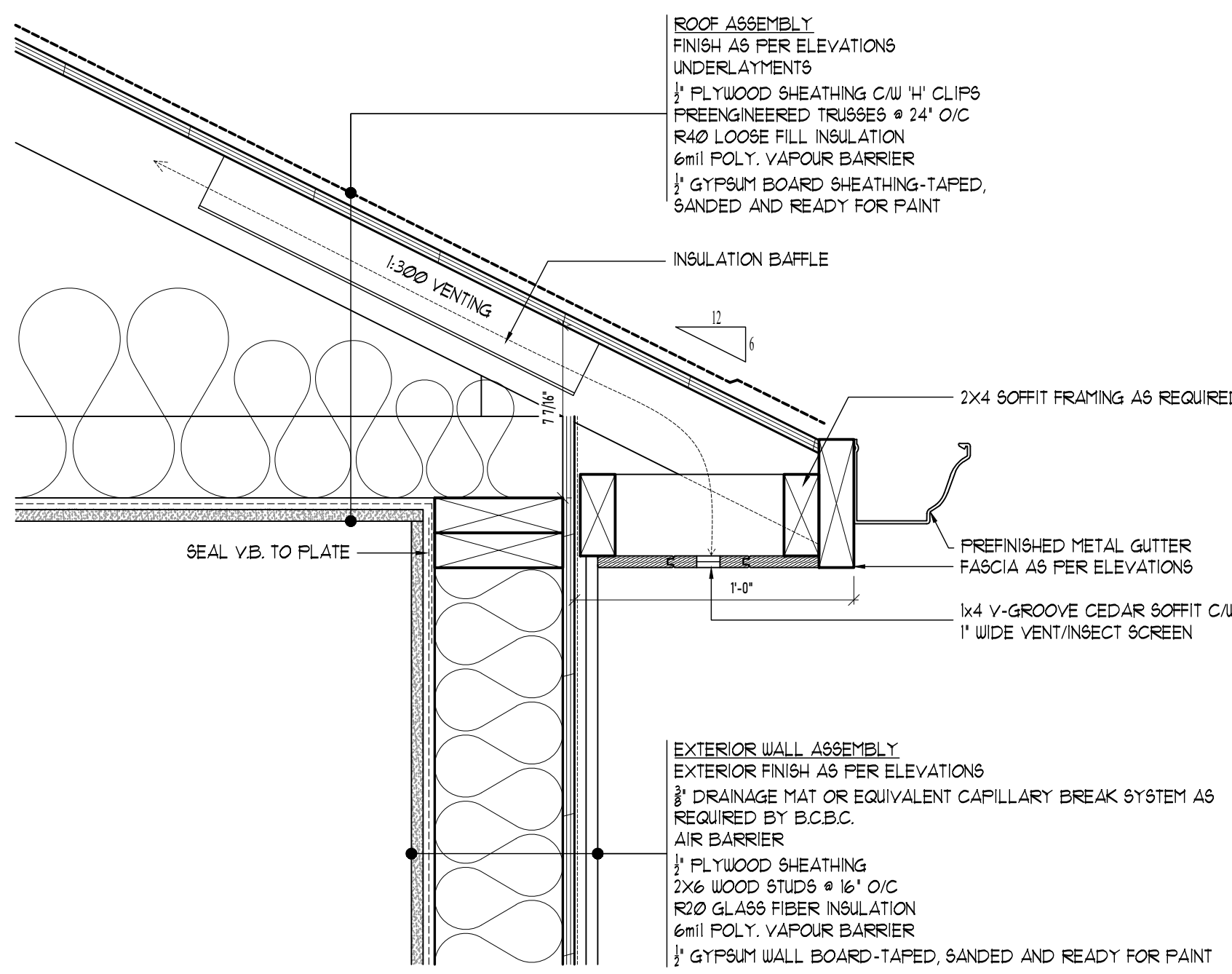


JAMB DETAIL

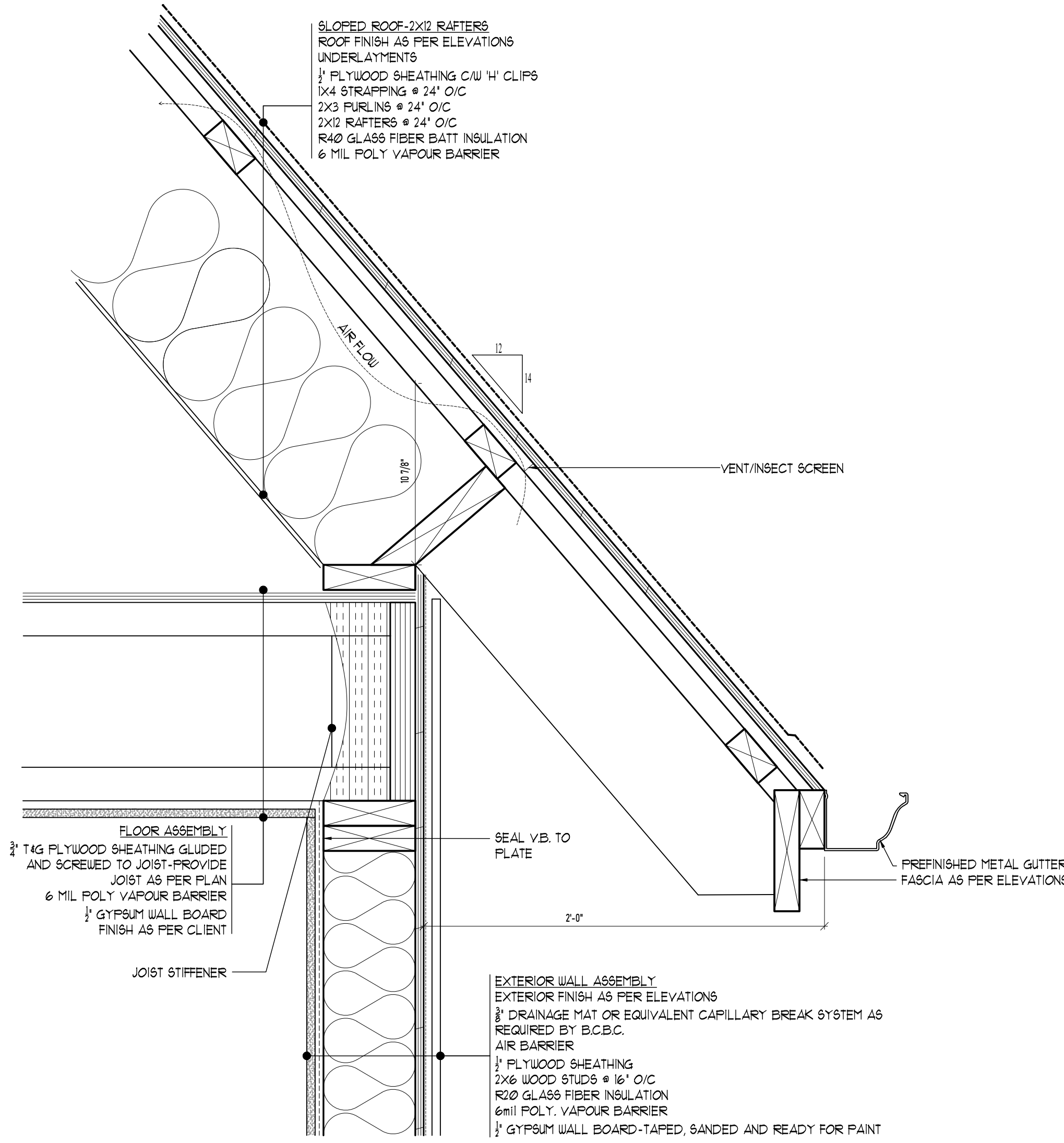
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△	no changes	2022.11.30
△	no changes	2022.12.05
△	no changes	2023.04.21



2 FOUNDATION DETAIL
SCALE : 2"=1'-0"



3 EAVE DETAIL
SCALE : 2"=1'-0"



4 EAVE DETAIL
SCALE : 2"=1'-0"

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Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

Scale: AS NOTED

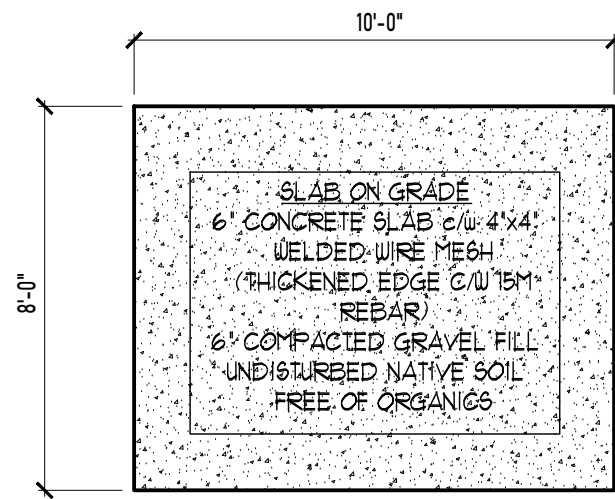
Project:
NEW SFD @ 206
ST.CHARLES STREET

Title:
DETAILS

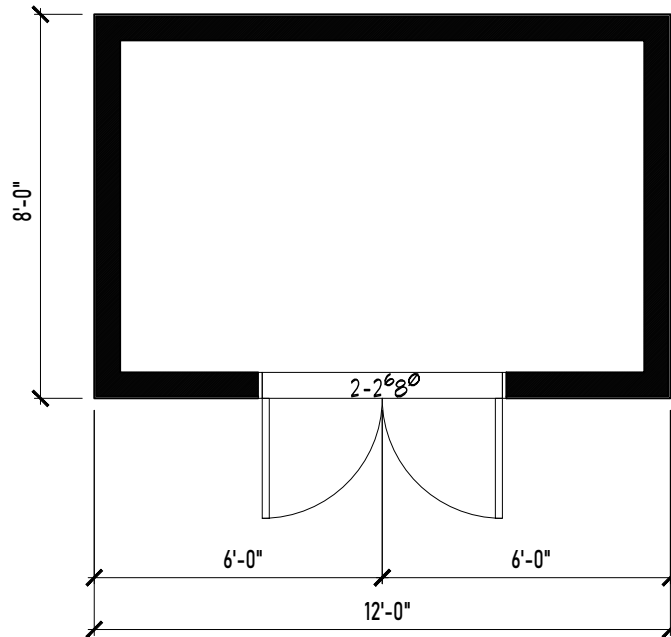
Revision:

Sheet:

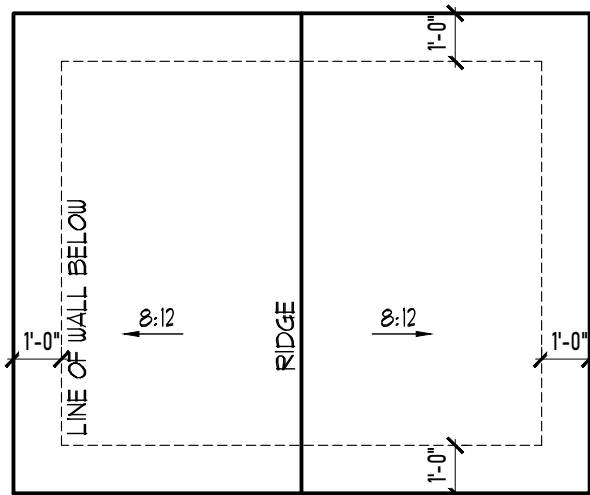
R4 A5
Proj.No. 2484



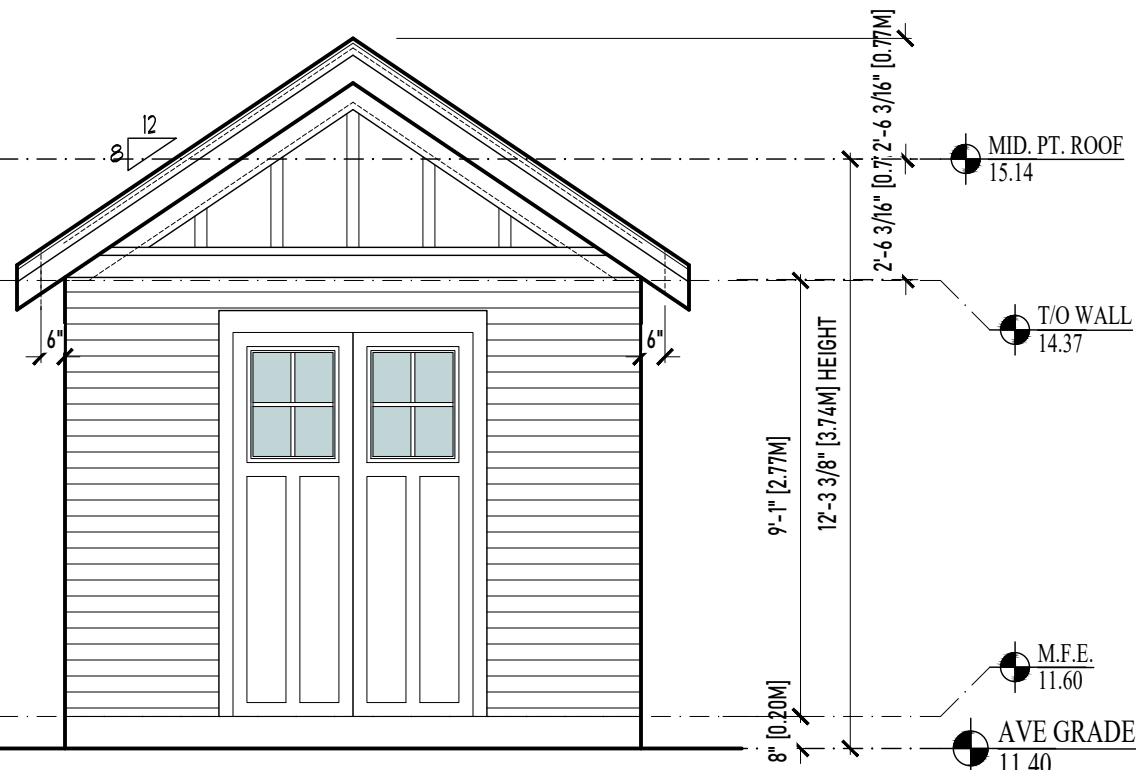
1 FOUNDATION PLAN
SCALE : 1/4"=1'-0"



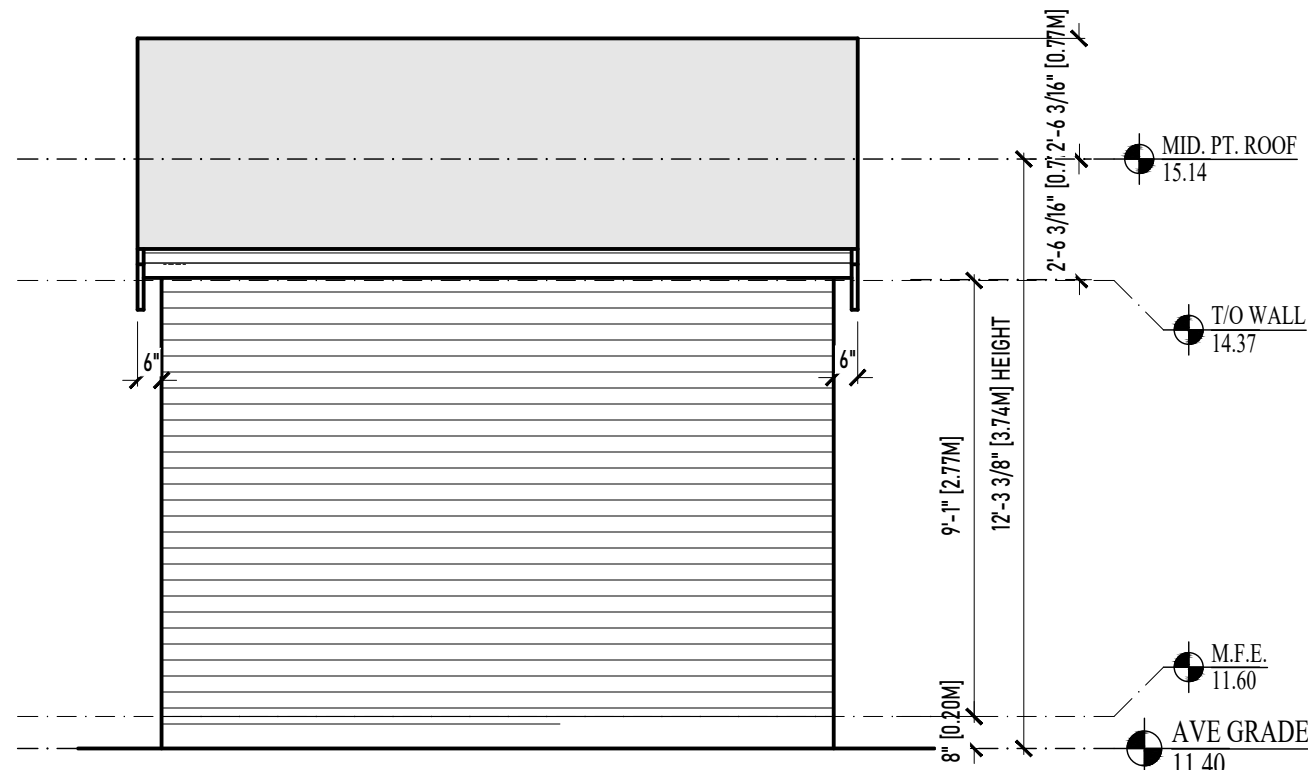
2 FLOOR PLAN
SCALE : 1/4"=1'-0"



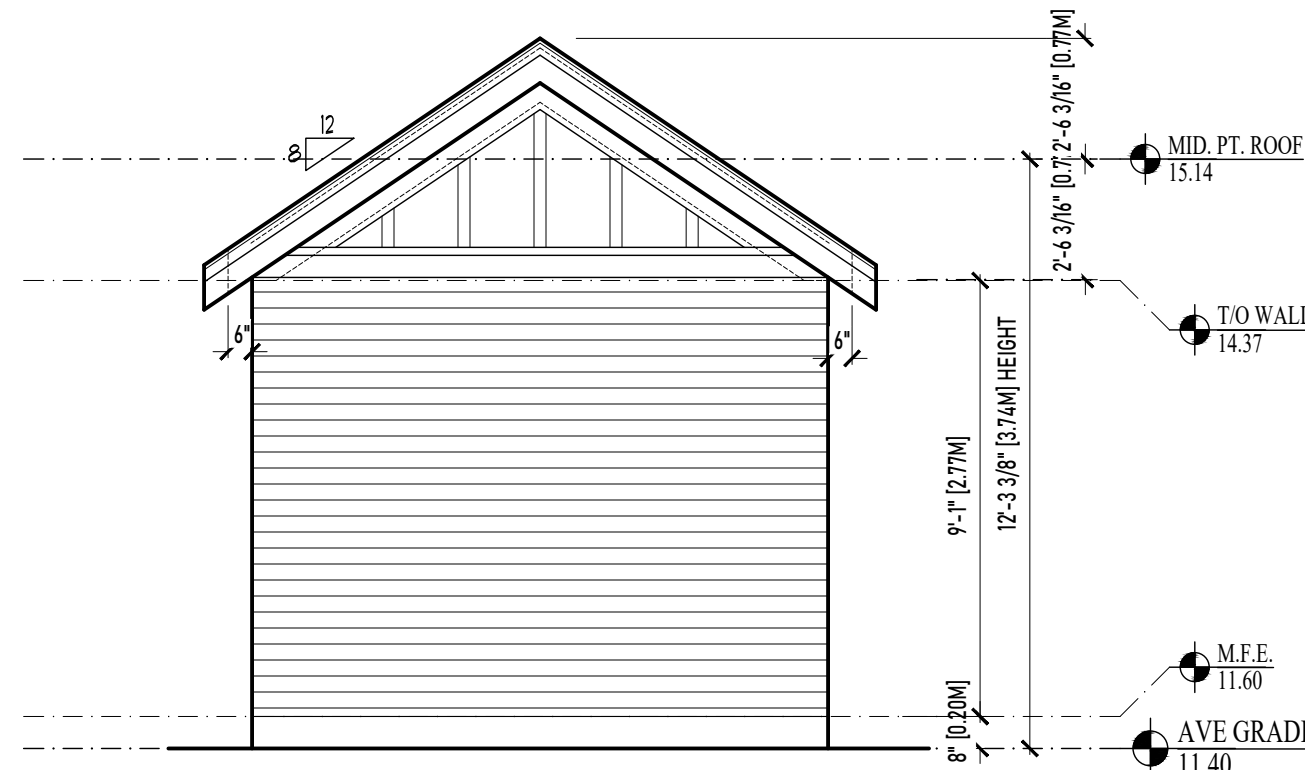
3 ROOF PLAN
SCALE : 1/4"=1'-0"



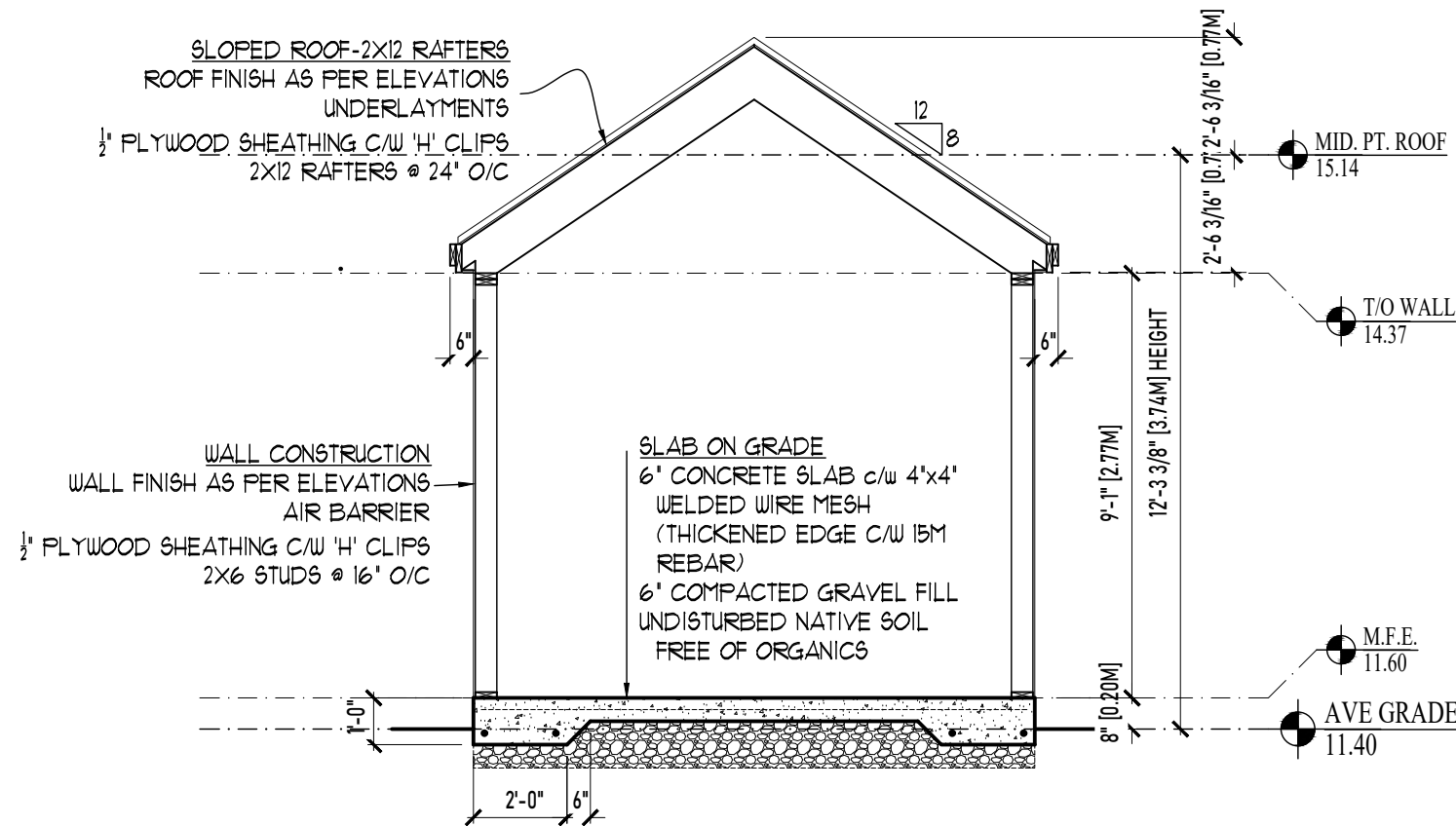
4 FRONT ELEVATION
SCALE : 1/4"=1'-0"



5 SIDE ELEVATION
SCALE : 1/4"=1'-0"



6 REAR ELEVATION
SCALE : 1/4"=1'-0"



7 SECTION
SCALE : 1/4"=1'-0"

No.	REVISION	DATE
△	add shed plans	2022.11.30
△	no changes	2022.12.05
△	no changes	2023.04.21

RE-ISSUED FOR BP
APRIL 21, 2023



1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-3144
Fax: (250) 360-2115

Drawn By: LOUIS HORVAT

Date: APRIL 27, 2022

Scale: AS NOTED

Project:
NEW SFD @ 206
ST.CHARLES STREET

Title:
SHED PLANS,
SECTIONS AND
ELEVATIONS

Revision: Sheet:

R4 A6
Proj.No. 2484

ENVIRONMENTAL NOTES:

- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME BMP'S TO CONSIDER:
 - CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
 - NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
 - A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
 - SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
 - COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
 - STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
 - PLACE DRAIN ROCK AND FILET FABRIC AT THE IN LET OF CULVERT AS PER DETAIL B.
- SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT VICTORIA ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILT FENCING AS PER DETAIL A IN LOCATION SHOWN ON PLAN.
- ADHERE TO ALL CONDITIONS OF THE PROJECT ENVIRONMENTAL PROTOCOL WORKSHEET.

GENERAL CONSTRUCTION NOTES:

- CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
- REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITION.
- REINSTATE ALL PRIVATE PROPERTY AND BOULEVARDS TO PRE-CONSTRUCTION CONDITIONS.
- CONTACT VICTORIA PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES.
- ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-6886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING WORKS.
- CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
- ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.

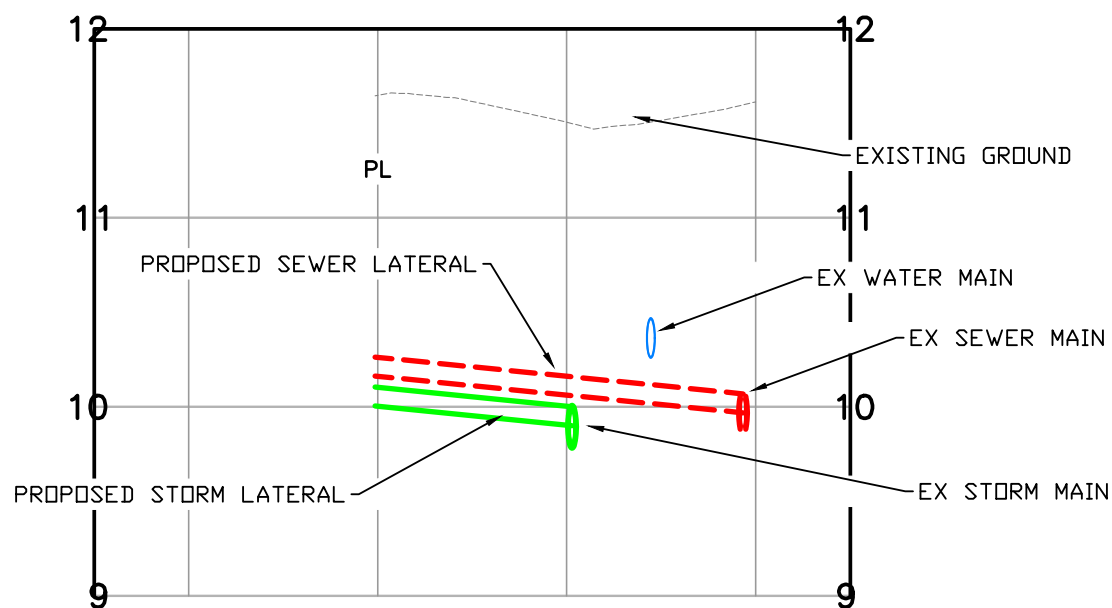
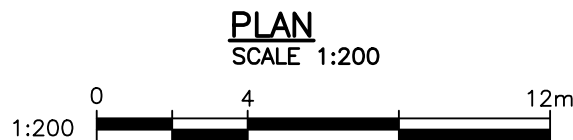
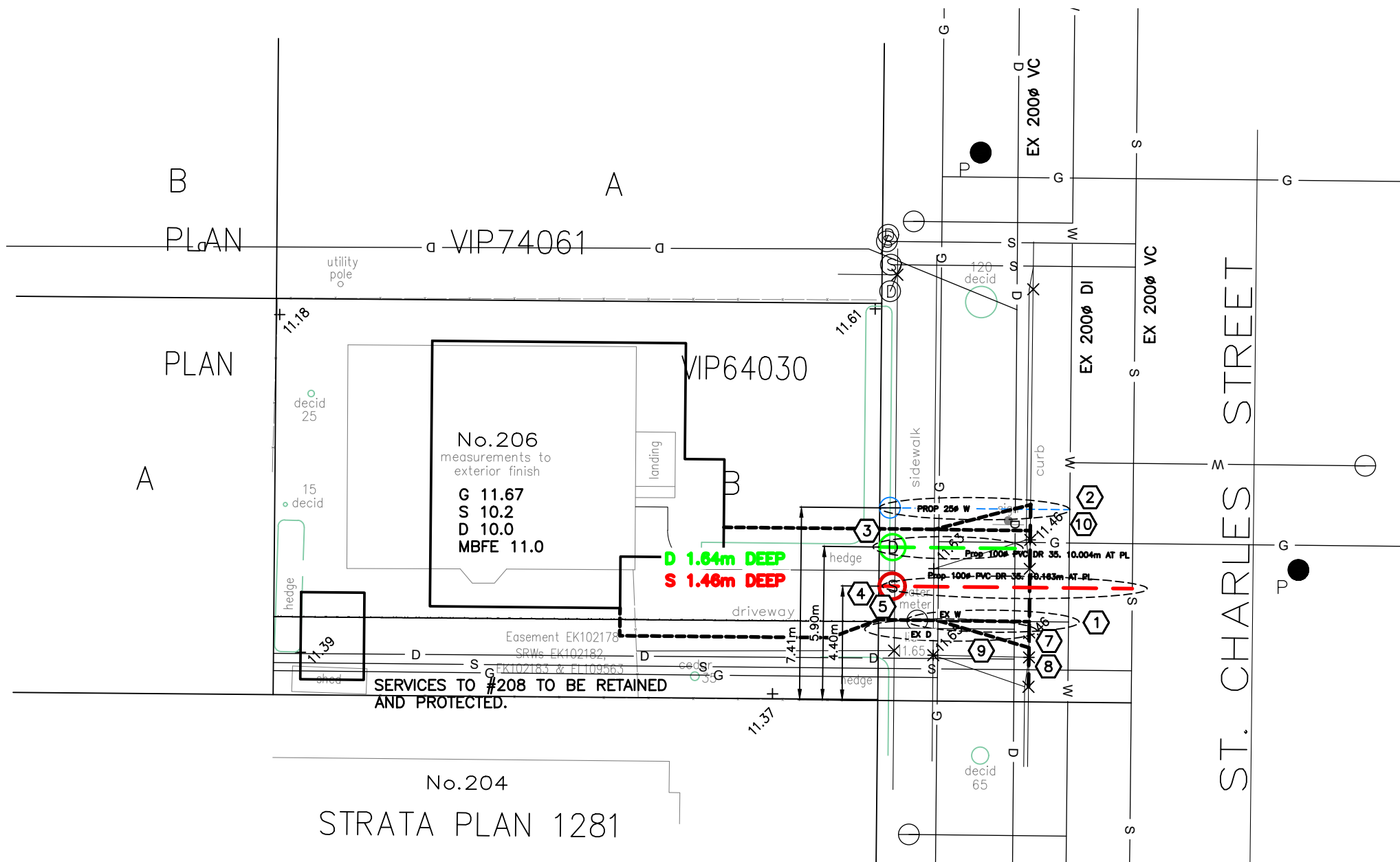
DETAILED CONSTRUCTION NOTES:

- EXISTING WATER CONNECTION TO BE DECOMMISSIONED BY CITY AT APPLICANTS EXPENSE.
- NEW 25mm WATER CONNECTION AND METER BY CITY AT APPLICANTS EXPENSE.
- NEW 100mm PVC DR 35 STORM CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- NEW 100mm PVC DR 35 SEWER CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- EXISTING STORM CONNECTION TO BE DECOMMISSIONED BY CITY AT APPLICANTS EXPENSE.
- EXISTING SEWER CONNECTION TO BE FOUND AND CAPPED AT PROPERTY LINE BY CONTRACTOR.
- PROVIDE 3.5m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 3m DEEP.
- CURB AND GUTTER TO BE REPLACED WITH NMC AND DROPS. REMOVE AND REPLACE TO NEAREST JOINT.
- SAW CUT AND REMOVE A MINIMUM OF 0.6M WIDE STRIP OF ASPHALT AND REPLACE WITH NEW 50MM ASPHALT SURFACE, LAP JOINT TO EXISTING.
- EXISTING DRIVEWAY TO BE REMOVED AND BOULEVARD RESTORATION IN ACCORDANCE WITH PARKS SPECIFICATION TO BE COMPLETED.
- EXISTING SIGN TO BE RELOCATED TO APPROXIMATELY 1m FROM DRIVEWAY FLARE.

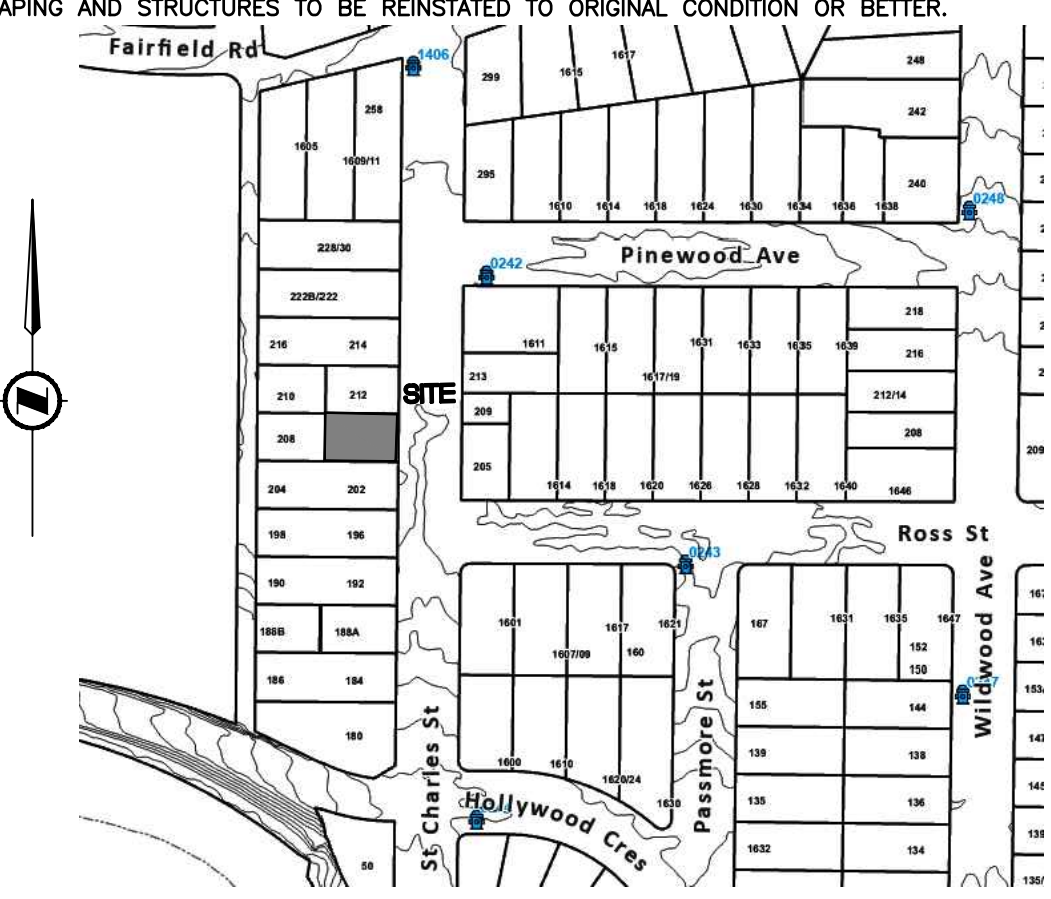
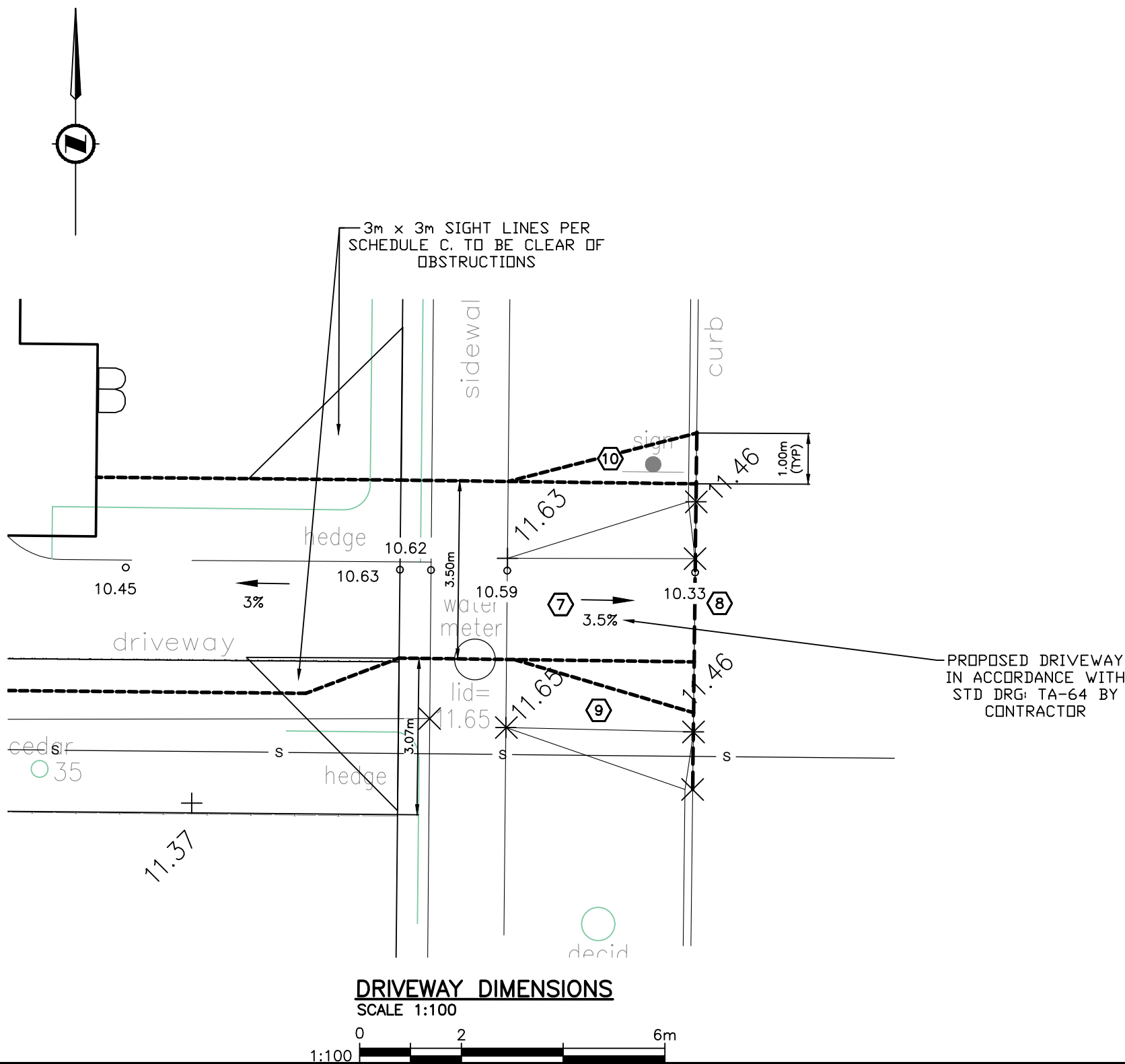
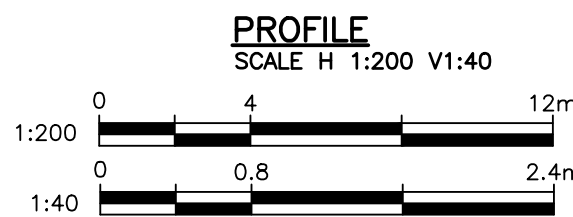
SAW CUT AND REMOVE A MINIMUM OF 0.6M WIDE STRIP OF ASPHALT AND REPLACE WITH NEW 50MM ASPHALT SURFACE, LAP JOINT TO EXISTING.

EXISTING DRIVEWAY TO BE REMOVED AND BOULEVARD RESTORATION IN ACCORDANCE WITH PARKS SPECIFICATION TO BE COMPLETED.

EXISTING SIGN TO BE RELOCATED TO APPROXIMATELY 1m FROM DRIVEWAY FLARE.



Sewer Data:	9.75m 100ø PVC @ 2.00% Invert In 10.018 Invert Out 10.213
Strom Data:	5.22m 100ø PVC @ 2.00% Invert In 9.950 Invert Out 10.054

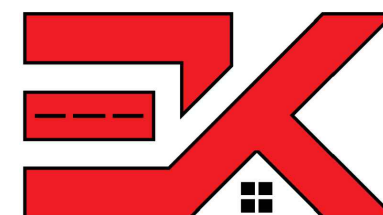


KEY PLAN - 1:2500

FOR PROPOSED SERVICES OF
LOT B , SECTION 19, VICTORIA DISTRICT , PLAN VIP64030
PID 023-534-320

206 ST. CHARLES STREET

PERMIT TO PRACTICE NUM: 1000348



KYLE ENGINEERING
SUITE 1, 40 CADILLAC
AVE, VICTORIA, BC, V8Z 1T2
250 475 6906

FOR REVIEW



CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES	LEGEND										REVISIONS		REVISIONS APPROVED						DESIGN APPROVED			CITY OF VICTORIA		FILE No.	-																		
	Existing Municipal Infrastructure										Drain	—D—	Curb	—C—	Concrete Box	☒	Valve	☒	6	REVISION # 1			REVISION # 2			REVISION # 3			Approved By	Date	Signed	206 ST. CHARLES STREET	DESIGN No.	DRAWING No.	Sheet 1 of 1								
	Proposed Municipal Infrastructure										Ditch	—D—	Sidewalk	S/W	Wood Box	☒	Flush Valve	☒	5	Approved			Approved			Approved			Design Engineer														
	Existing External U/G Utilities										Sewer	—S—	Manhole	○	Catch Basin	☒	Hydrant	☒	4	Design Engineer			Design Engineer			Design Engineer			Manager of Development														
	Proposed External U/G Utilities										Water	—W—	Cleanout	□	Culvert	☒	Reducer	☒	3	Manager of Development			Manager of Development			Manager of Development			Development Coordinator														
	Street Lighting										Pole Mount	☒	Standard Mount	☒	Traffic Sign	☒	Silt Trap	☒	Cap / Plug	☒	Air Valve	☒	2	Development Coordinator			Development Coordinator			Development Coordinator						Development Coordinator							
	Post Top										☒	Pedestrian Signal	☒	Traffic Signal	☒	Ctrl Monument	☒	Traverse Hub	☒	Gas Valve	☒	Water Meter	☒	1																			
THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.																																B.M. : CV028BC			Elev: 21.77m								
																																			Design: ESK			Drawn: ESK			Checked: Date: DEC 2022		
																																			Scale: Hor: 1:200			Vertical: 1:40					

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